



Plymouth City Commission
Regular Meeting Agenda
Monday, May 4, 2026 7:00 p.m.
Plymouth City Hall & Online Zoom Webinar

City of Plymouth
201 S. Main St.
Plymouth, Michigan 48170-1637

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

Join Zoom Webinar: May 4 <https://us02web.zoom.us/j/81224322013>
Passcode: 239441 Webinar ID: 812 2432 2013

1. CALL TO ORDER

- a. Pledge of Allegiance
- b. Roll Call
- c. Proclamations – Asian American & Pacific Islander Heritage Month, Jewish American Heritage Month, Municipal Clerks Week, National Police Week, and Public Works Week

2. APPROVAL OF MINUTES

- a. April 20, 2026 City Commission Regular Meeting Minutes

3. APPROVAL OF THE AGENDA

4. ENACTMENT OF THE CONSENT AGENDA

Unless moved to be placed as a separate item on the agenda, items on the Consent Agenda will be approved by one motion as Agenda Item #4.

- a. Special Event: Regeneration Foundation 5K Charity Ruck and Walk, 5/16/26
- b. Special Event: Christmas in Plymouth, 12/11 & 12/12/26

5. CITIZEN COMMENTS

This section of the agenda allows up to 3 minutes for public comments to present information for items not on the current agenda. Upon arising to address the Commission, speakers should first identify themselves by clearly stating their name and address. Comments must be limited to the subject of the item.

6. COMMISSION COMMENTS

7. OLD BUSINESS

- a. Zoning Ordinance Amendments - Batch 4, Version 2 - Second Reading

8. NEW BUSINESS

- a. Designation of Street Administrator
- b. Intergovernmental Agreement – Multi Modal Path to Hines Dr.
- c. Wayne County Hazard Mitigation Plan 2025 Update
- d. Solid Waste Contract Consent of Change of Control
- e. Emergency Authorization Confirmation – Compressors at Cultural Center
- f. Riverside Cemetery – Mausoleum Repairs – Construction Manager

9. REPORTS AND CORRESPONDENCE

- a. Liaison Reports
- b. Appointments

10. ADJOURNMENT

Meetings of the City of Plymouth are open to all without regard to race, sex, color, age, national origin, religion, height, weight, marital status, disability, or any other trait protected under applicable law. Any individual planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) should submit a request to the ADA Coordinator at 734-453-1234 ext. 234 at least two working days in advance of the meeting so an attempt can be made to make reasonable accommodation. The request may also be submitted via mail at 201 S. Main St. Plymouth, MI 48170, or email to clerk@plymouthmi.gov.

City of Plymouth Strategic Plan 2022-2026

GOAL AREA ONE - SUSTAINABLE INFRASTRUCTURE

OBJECTIVES

1. Identify and establish sustainable financial model(s) for major capital projects, Old Village business district, 35th District Court, recreation department, and public safety
2. Incorporate eco-friendly, sustainable practices into city assets, services, and policies; including more environmentally friendly surfaces, reduced impervious surfaces, expanded recycling and composting services, prioritizing native and pollinator-friendly plants, encouraging rain gardens, and growing a mature tree canopy
3. Partner with or become members of additional environmentally aware organizations
4. Increase technology infrastructure into city assets, services, and policies
5. Continue sustainable infrastructure improvement for utilities, facilities, and fleet
6. Address changing vehicular habits, including paid parking system /parking deck replacement plan, electric vehicle (EV) charging stations, and one-way street options

GOAL AREA TWO – STAFF DEVELOPMENT, TRAINING, AND SUCCESSION

OBJECTIVES

1. Create a 5-year staffing projection
2. Review current recruitment strategies and identify additional resources
3. Identify/establish flex scheduling positions and procedures
4. Develop a plan for an internship program
5. Review potential department collaborations
6. Hire an additional recreation professional
7. Review current diversity, equity, and inclusion training opportunities
8. Seek out training opportunities for serving diverse communities

GOAL AREA THREE - COMMUNITY CONNECTIVITY

OBJECTIVES

1. Engage in partnerships with public, private and non-profit entities
2. Increase residential/business education programs for active citizen engagement
3. Robust diversity, equity, and inclusion programs
4. Actively participate with multi-governmental lobbies (Michigan Municipal League, Conference of Western Wayne, etc.)

GOAL AREA FOUR - ATTRACTIVE, LIVABLE COMMUNITY

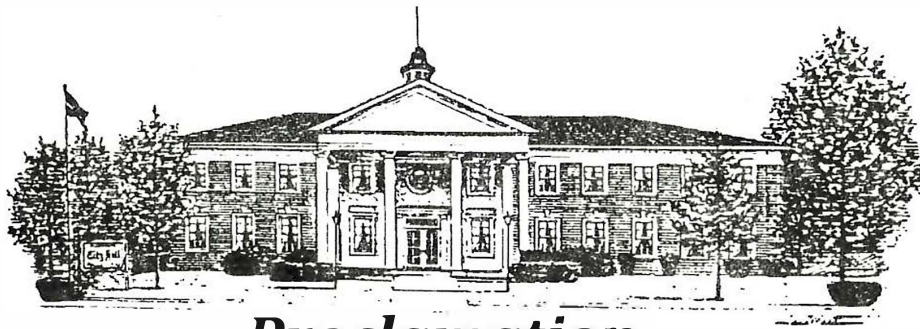
OBJECTIVES

1. Create vibrant commercial districts by seeking appropriate mixed-use development, marketing transitional properties, and implementing Redevelopment Ready Communities (RRC) practices
2. Improve existing and pursue additional recreational and public green space opportunities and facilities for all ages
3. Develop multi-modal transportation plan which prioritizes pedestrian and biker safety
4. Improve link between Hines Park, Old Village, Downtown Plymouth, Plymouth Township, and other regional destinations
5. Maintain safe, well-lit neighborhoods with diverse housing stock that maximizes resident livability and satisfaction
6. Modernize and update zoning ordinance to reflect community vision
7. Implement Kellogg Park master plan

"The government in this community is small and accessible to all concerned."

-Plymouth Mayor Joe Bida

November 1977



Proclamation

WHEREAS *Asian American and Pacific Islander (AAPI) Heritage Month commemorates the immigration of the first Japanese people to the United States on May 7, 1843, and marks the anniversary of the completion of the transcontinental railroad on May 10, 1869, in which many workers who laid the tracks were Chinese immigrants; and,*

WHEREAS *Asian Americans are the fastest growing population in the nation and Michigan, with approximately 350,000 Asian Americans in Michigan, making up over 3.5% of the state's population; and,*

WHEREAS *members of the AAPI community have shared their resilient family values, strong work ethic, dedication to education, and diversity in faith and creed, which have strengthened our great democracy; and,*

WHEREAS *Asian Americans and Pacific Islanders living in Michigan are a vital and valued part of our state, making significant contributions to academia, business, medicine, law, technology, government, science, and social justice, making our state a better place to live; and,*

NOW, THEREFORE, *I, Linda Filipczak, Mayor of the City of Plymouth, Michigan, do hereby proclaim May 2026, as*

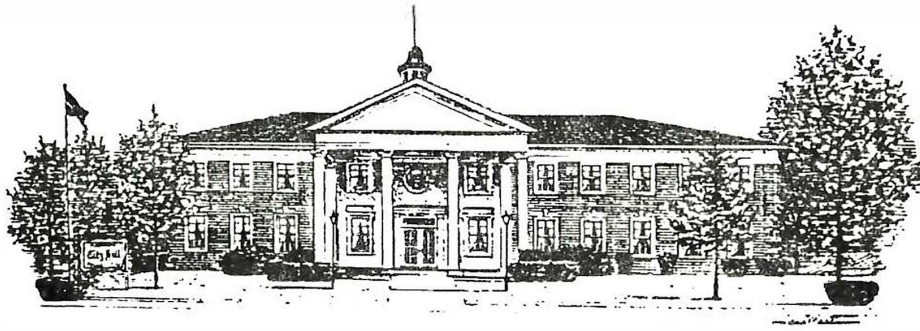
Asian American and Pacific Islander Heritage Month

in the City of Plymouth, Michigan, and we should recognize and celebrate the many significant cultural, historical, and economic contributions Asian Americans and Pacific Islanders have made to Michigan and the United States.



In Witness Whereof, I have hereunto set my hand and have caused the Official Seal of the City of Plymouth, Michigan to be affixed this 4th day of May, Two Thousand Twenty-Six.

*Linda Filipczak, Mayor
City of Plymouth, Michigan*



Proclamation

- WHEREAS** *since the first Jewish immigrants arrived in the United States in the 16th century, Jewish people have been instrumental in the prosperity of our state and nation; and,*
- WHEREAS** *Michigan has a vibrant Jewish population who make significant contributions to government, countless industries, and the arts; and,*
- WHEREAS** *throughout their rich history, Jewish Americans have worked to improve the conditions of marginalized groups across the nation, including during the Civil Rights Movement; and,*
- WHEREAS** *during this month, I encourage all to seek out ways to engage with Jewish history, including museum exhibits, literary works, and more; and,*
- WHEREAS** *the principles of diversity and inclusion make our state stronger; and,*

NOW THEREFORE, I, Linda Filipczak, Mayor of the City of Plymouth, do hereby proclaim May 2026 as

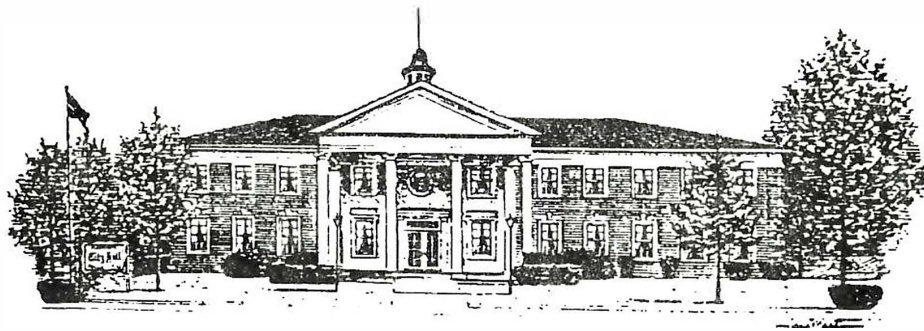
Jewish American Heritage Month

In the City of Plymouth, Michigan, and I urge all citizens to celebrate the many contributions Jewish people continue to make in Plymouth, the state of Michigan and throughout the United States.

In Witness Whereof, I have hereunto set my hand and have caused the Official Seal of the City of Plymouth, Michigan to be affixed this 4th day of May, Two Thousand Twenty-Six.



*Linda Filipczak, Mayor
City of Plymouth, Michigan*



Proclamation

WHEREAS *The Office of the Professional Municipal Clerk is a time honored and vital part of local government that exists throughout the world; and*

WHEREAS *The Office of the Professional Municipal Clerk provides the professional link between the citizens, the local governing bodies and agencies of government at other levels; and*

WHEREAS *Professional Municipal Clerks have pledged to be ever mindful of their neutrality and impartiality, rendering equal service to all; and*

WHEREAS *Professional Municipal Clerks continually strive to improve the administration of the affairs of the Office of the Professional Municipal Clerk through participation in several educational programs and professional organizations; and*

WHEREAS *It is most appropriate that we recognize the accomplishments of the Office of the Professional Municipal Clerk;*

NOW, THEREFORE, I, Linda Filipczak, Mayor of the City of Plymouth, do hereby proclaim the week of May 3-9, 2026 as

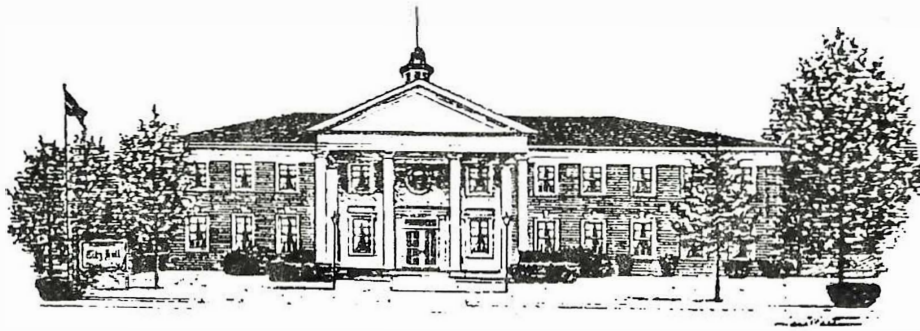
Professional Municipal Clerks Week

in the City of Plymouth and further extend appreciation to ours and all Professional Municipal Clerks, for the vital services they provide and their dedication to the communities they represent.



In Witness Whereof, I have hereunto set my hand and caused the Seal of the City of Plymouth to be affixed hereto this 4th day of May of Two Thousand Twenty-Six.

*Linda Filipczak, Mayor
City of Plymouth, Michigan*



Proclamation

WHEREAS *The Congress and President of the United States have designated May 15 as Peace Officers' Memorial Day, and the week in which May 15 falls as National Police week; and*

WHEREAS *the members of the law enforcement agency of the City of Plymouth play an essential role in safeguarding the rights and freedoms of the City of Plymouth; and*

WHEREAS *it is important that all citizens know and understand the duties, responsibilities, hazards, and sacrifices of their law enforcement agency, and that members of our law enforcement agency recognize their duty to serve the people by safeguarding life and property, by protecting them against violence and disorder, and by protecting the innocent against deception and the weak against oppression; and*

WHEREAS *the men and women of the law enforcement agency of the City of Plymouth unceasingly provide a vital public service;*

NOW, THEREFORE, I, Linda Filipczak, Mayor of the City of Plymouth, call upon all citizens of the City of Plymouth and upon all patriotic, civic, and educational organizations to observe the week of May 15, 2026 as

National Police Week

with appropriate ceremonies and observances in which all of our people may join in commemorating law enforcement officers, past and present, who, by their faithful and loyal devotion to their responsibilities, have rendered a dedicated service to their communities and, in so doing, have established for themselves an enviable and enduring reputation for preserving the rights and security of all citizens.

I further call upon all citizens of City of Plymouth and upon all patriotic, civic, and educational organizations to observe the day of May 15, 2026 as

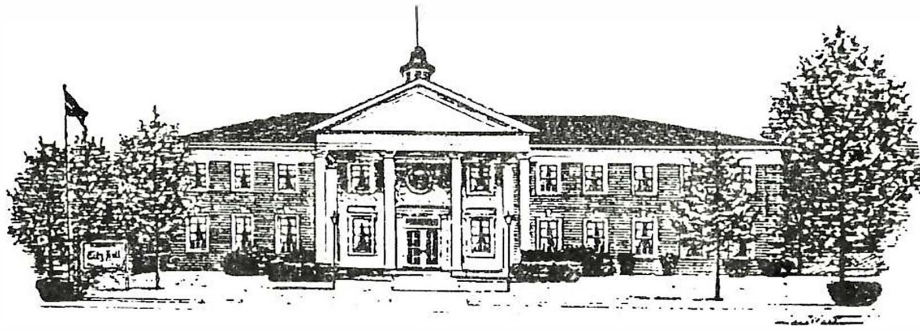
Peace Officers' Memorial Day

in honor of those law enforcement officers who, through their courageous deeds, have made the ultimate sacrifice in service to their community or have become disabled in the performance of duty, and let us recognize and pay respect to the survivors of our fallen heroes.



In Witness Whereof, I have hereunto set my hand and caused the Seal of the City of Plymouth to be affixed hereto this 4th Day of May of Two-Thousand Twenty-Six.

*Linda Filipczak, Mayor
City of Plymouth, Michigan*



Proclamation

WHEREAS *public works professionals focus on infrastructure, facilities, and services that are of vital importance to sustainable and resilient communities and to public health, high quality of life, and well-being of the people of the City of Plymouth; and,*

WHEREAS *these infrastructure, facilities, and services could not be provided without the dedicated efforts of public works professionals, who are engineers, managers, and employees at all levels of government and the private sector, who are responsible for rebuilding, improving, and protecting our nation's transportation, water supply, water treatment and solid waste systems, public buildings, and other structures and facilities essential for our citizens; and,*

WHEREAS *it is in the public interest for the citizens, civic leaders, and children in the City of Plymouth to gain knowledge of and maintain an ongoing interest and understanding of the importance of public works and public works programs in their respective communities; and,*

WHEREAS *the year 2026 marks the 66th annual National Public Works Week sponsored by the American Public Works Association, be it now,*

NOW THEREFORE, I, Linda Filipczak, Mayor of the City of Plymouth, do hereby designate the week of May 17-23, 2026, as

National Public Works Week

in the City of Plymouth, Michigan, and I urge all citizens to join with representatives of the American Public Works Association and government agencies in activities, events, and ceremonies designed to pay tribute to our public works professionals, engineers, managers, and employees, and to recognize the substantial contributions they make to protecting our national health, safety, and advancing quality of life for all.



In Witness Whereof, I have hereunto set my hand and have caused the Official Seal of the City of Plymouth, Michigan to be affixed this 4th day of May, Two Thousand Twenty-Six.

*Linda Filipczak, Mayor
City of Plymouth, Michigan*



City of Plymouth
City Commission Regular Meeting Minutes
Monday, April 20, 2026, 7:00 p.m.
Plymouth City Hall 201 S. Main Street

ITEM #2.a

City of Plymouth
201 S. Main St.
Plymouth, Michigan 48170-1637

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

1. CALL TO ORDER

- a. Mayor Linda Filipczak called the meeting to order at 7:00 p.m. leading the Pledge of Allegiance.
- b. Present: Mayor Linda Filipczak, Mayor Pro Tem Joe Elliott, Commissioners Alanna Maguire, Brock Minton, Karen Sisolak

Excused: Commissioners Latricia Horstman, Jennifer Kehoe

Also present: City Manager Chris Porman, City Attorney Bob Marzano, and various members of the City Administration

- c. Filipczak acknowledged Arab American Heritage Month with a proclamation.

Chief Al Cox made a presentation to retired Lt. Jamie Grabowski acknowledging his 28 years of service to the City of Plymouth Police Department.

2. APPROVAL OF MINUTES

Motion to approve the April 6, 2026 City Commission Regular Meeting Minutes made by Minton, supported by Kehoe;

There was a voice vote.

MOTION PASSED UNANIMOUSLY

3. APPROVAL OF THE AGENDA

Motion to approve the agenda for April 20, 2026 made by Maguire, supported by Sisolak;

There was a voice vote.

MOTION PASSED UNANIMOUSLY

4. ENACTMENT OF THE CONSENT AGENDA

Motion to approve the consent agenda for April 20, 2026 made by Minton, supported by Elliott;

- a. Approval of March 2026 Bills
- b. Special Event: Plymouth Memorial Day Parade, 5/25/26
- c. Special Event: Pumpkin Palooza 2026, 10/18/26

There was a voice vote.

MOTION PASSED UNANIMOUSLY

5. CITIZEN COMMENTS

Sherryl Underwood 9048 Rocker: Was concerned about wreckless driving and dangerous behaviors of young riders of motorized bikes.

Ed Walton 1465 Palmer: Complemented and thanked DMS for their post-storm clean-up efforts.

Mark Waller 1051 N Mill St.: Saturday May 2 is the Old Village Yard and Trunk Sale from 8am-3pm.

Ron Picard 1373 Sheridan: Hopes e-bike issues are handled prior to DDA Streetscape bike lane completion.

6. COMMISSION COMMENTS

Filipczak and Minton echoed the concerns for safe use of motorized bikes and thanked the Administration and Chief Cox for making the educational material available for the public regarding rules and regulations motorized bikes. Filipczak also thanked the DDA and others involved for their work on the ArtWalk; Thanked Wes Graff for the State of the Community luncheon.

Elliott: Spoke about two upcoming events: Vaisakhi Sikh Harvest Celebration is Friday, April 24 from 6-9pm at PARC and "Ours to Protect Plymouth" is Thursday, April 23 at Chicane from 6-7pm.

7. OLD BUSINESS

None

8. NEW BUSINESS

a. 2026/27 Road Salt Order

Motion to approve the following resolution made by Maguire, supported by Elliott;

RESOLUTION 2026-37

WHEREAS The City of Plymouth operates a road system and the winter months require that the City take certain snow and ice control measures to ensure the public safety; and

WHEREAS The City of Plymouth uses a significant amount of Road Salt to keep the City's roads passable during the winter months; and

WHEREAS The City may choose to participate in the State of Michigan group purchasing plan known as the MIDEAL for the purchase of Road Salt.

NOW THEREFORE BE IT RESOLVED THAT the City Commission of the City of Plymouth does hereby authorize the City Administration to enter into an agreement with the State of Michigan for the purchase of Road Salt through the MIDEAL Extended Purchasing Plan for the 2026 - 27 winter season. The City shall contract 1700 tons of road salt and comply with the terms of the MIDEAL contract when it is awarded.

There was a voice vote.

MOTION PASSED UNANIMOUSLY

b. CIA/TIF Development Plan

Motion to approve the following resolution made by Minton, supported by Magire;

[A copy of the plan can be found in the agenda packet for the 4/20/2026 City Commission meeting:

<https://www.plymouthmi.gov/common/pages/GetFile.ashx?key=I3NEAZiN>]

RESOLUTION 2026-38

RESOLUTION APPROVING
DEVELOPMENT PLAN AND TAX INCREMENT FINANCING PLAN FOR
CITY OF PLYMOUTH OLD VILLAGE CORRIDOR IMPROVEMENT AUTHORITY

City of Plymouth
County of Wayne, Michigan

Minutes of a regular meeting of the City Commission of the City of Plymouth, Michigan, held in the City Hall on April 20, 2026, at 7:00 o'clock p.m., prevailing Eastern Time.

PRESENT: Members _____

ABSENT: Members _____

The following preamble and resolution were offered by Member _____ and support by Member _____:

WHEREAS, the City of Plymouth Old Village Corridor Improvement Authority (the "Authority") has prepared and recommended for approval the Development Plan and Tax Increment Financing Plan (the "Plan") which is on file with the City Clerk; and

WHEREAS, on January 20, 2026, the City Commission held a public hearing on the Plan pursuant to Part 6, Act 57, Public Acts of Michigan, 2018, as amended (the "Act"); and

WHEREAS, the City Commission has given the taxing jurisdictions in which the Development Area is located an opportunity to express their views and recommendations regarding the Plan, as required by the Act; and

WHEREAS, after consideration of the Plan, the City Commission has determined to approve the Plan.

NOW, THEREFORE, BE IT RESOLVED THAT:

1. Findings. The City Commission adopts this Resolution based on the following considerations:

(a) The Plan meets the requirements set forth in 620(2) of the Act.

(b) The proposed method of financing the development is feasible and the Authority has the ability to arrange the financing.

(c) The development is reasonable and necessary to carry out the purposes of the Act.

(d) The land included within the Development Area to be acquired, if any, is reasonably necessary to carry out the purposes of the Plan and the purposes of the Act in an efficient and economically satisfactory manner.

(e) The development Plan is in reasonable accord with the land use plan of the City.

(f) Public services, such as fire and police protection and utilities, are or will be adequate to service the project area.

(g) Changes in zoning, streets, street levels, intersections, and utilities, to the extent required by the Plan, are reasonably necessary for the project and for the City.

2. Public Purpose. The City Commission hereby determines that the Plan constitutes a public purpose.

3. Best Interest of the Public. The City Commission hereby determines that it is in the best interests of the public to proceed with the Plan in order to correct and prevent deterioration and to promote economic growth in the Development Area.

4. Approval and Adoption of Plan. The Plan is hereby approved and adopted. A copy of the Plan and all later amendments thereto shall be maintained on file in the City Clerk's office.

5. Establishment of Tax Increment Financing Account; Approval of Depositary. The Treasurer of the Authority shall establish a separate fund which shall be kept in a depositary bank account or accounts in a bank or banks approved by the Treasurer of the City, to be designated Corridor Improvement Authority Tax Increment Financing Account. All moneys received by the Authority pursuant to the Plan shall be deposited in the Tax Increment Financing Account. All moneys in the Tax Increment Financing Account and earnings thereon shall be used only in accordance with the Plan.

6. Payment of Tax Increment Revenues to Authority. The City Treasurer and the County Treasurer shall transmit tax increment revenues to the Treasurer of the Authority for deposit in the Tax Increment Financing Account. The payments shall be made on the date or dates on which the City Treasurer and the County Treasurer are required to remit taxes to each of the taxing jurisdictions.

7. Annual Report. The Authority shall annually submit to the City Commission and the State Tax Commission, a report on the status of the Tax Increment Financing Account, as required by the Act.

8. Conflict and Severability. All resolutions and orders or parts thereof in conflict with the provisions of the Resolution are to the extent of such conflict hereby repealed, and each section of the Resolution and each subdivision of any section thereof is hereby declared to be independent, and the finding or holding of any section or subdivision thereof to be invalid or void shall not be deemed or held to affect the validity of any other section or subdivision of the Resolution.

AYES: Members _____

NAYS: Members _____

RESOLUTION DECLARED ADOPTED.

Maureen Brodie
City Clerk

I hereby certify that the foregoing is a true and complete copy of a resolution adopted by the City Commission of the City of Plymouth, County of Wayne, State of Michigan, at a Regular meeting held on April 20, 2026, and that said meeting was conducted and public notice of said meeting was given pursuant to and in full compliance with the Open Meetings Act, being Act 267, Public Acts of Michigan, 1976, as amended, and that the minutes of said meeting were kept and will be or have been made available as required by said Act.

Maureen Brodie
City Clerk

There was a voice vote.
MOTION PASSED UNANIMOUSLY

c. Zoning Ordinance Amendments to Sections 78-100 – Batch 4 – Version 2 - 1ST Reading

Motion to approve the following resolution made by Minton, supported by Sisolak;

RESOLUTION 2026-39

WHEREAS The Planning Commission of the City of Plymouth reviewed the proposed zoning ordinance amendments which update Section 78-100 of the City's Zoning Ordinance; and

WHEREAS The Planning Commission held a public hearing on March 11, 2026, to receive public comments about the zoning ordinance amendments; and

WHEREAS At the conclusion of the public hearing, the Planning Commission approved the text amendment and recommended review and approval by the City Commission; and

WHEREAS The City Commission has completed a first reading of the proposed language.

NOW THEREFORE BE IT RESOLVED THAT the City Commission of the City of Plymouth does hereby approve the zoning ordinance amendments to Section 78-100.

NOW THEREFORE BE IT FURTHER RESOLVED THAT the City Commission will hold a second reading of the proposed zoning ordinance amendments at their next regular meeting.

There was a voice vote.

MOTION PASSED UNANIMOUSLY

d. Software Renewal

Motion to approve the following resolution made by Sisolak, supported by Minton;

RESOLUTION 2026-40

WHEREAS The City of Plymouth and the Plymouth Downtown Development Authority (DDA) Have utilized Placer.ai to provide anonymized visitor and mobility data to support Event planning, economic development, infrastructure discussions, and public safety Coordination; and

WHEREAS This data has proven valuable in understanding attendance patterns, supporting Sponsorship development, informing staffing and emergency planning, and assisting Interagency coordination; which helps us provide for the health, safety, and welfare of the City; and

WHEREAS Continued access to this information will support ongoing City and DDA operations And decision-making;

NOW, THEREFORE, BE IT RESOLVED that the Plymouth City Commission hereby approves the renewal of the Placer.ai subscription in the amount of \$16,538, and authorizes the City Manager or designee to execute all necessary documents.

Commissioners discussed concerns regarding data privacy and requested additional information from the vendor.

There was a voice vote.

MOTION PASSED 4-1

e. Residential Cross Connection Program

Motion to approve the following resolution made by Elliott, supported by Sisolak;

[Program information and agreement can be found in the agenda packet for the 4/20/2026 City Commission meeting: <https://www.plymouthmi.gov/common/pages/GetFile.ashx?key=I3NEAZiN>]

RESOLUTION 2026-41

WHEREAS In order to protect the public health, safety and welfare and the public water supply the City is required to have a Cross Connection Program; and

WHEREAS The City of Plymouth operates a water distribution system in accordance with Requirements of the Michigan Department of Environment, Great Lakes, and Energy (EGLE); and

WHEREAS The City is required to maintain a Cross Connection Control Program, including Residential properties, in order to comply with State regulations and protect the public Water supply; and

WHEREAS The implementation of a Residential Cross Connection Control Program is necessary to Ensure continued compliance with the Safe Drinking Water Act and EGLE requirements;

NOW THEREFORE BE IT RESOLVED THAT the City Commission of the City of Plymouth does hereby authorize a Professional Services Contract with Hydro Corp of Troy, Michigan to complete the City's Residential Cross Connection Program at a cost of \$34,095.21 per year for the first year of a five-year contract for a total \$184,670.67. Funding from this program comes from the Water/Sewer Fund.

There was a voice vote.

MOTION PASSED UNANIMOUSLY

f. Commercial/Industrial Cross Connection Contract Revision

Motion to approve the following resolution made by Minton, supported by Maguire;

[The revised agreement can be found in the agenda packet for the 4/20/2026 City Commission meeting: <https://www.plymouthmi.gov/common/pages/GetFile.ashx?key=I3NEAZiN>]

RESOLUTION 2026-36

WHEREAS The City of Plymouth operates a water distribution system in accordance with requirements of the State of Michigan Department of Environment, Great Lakes, and Energy (EGLE); and

WHEREAS In order to protect the public health, safety and welfare and the public water supply the City is required to have a Cross Connection Program; and

WHEREAS The City Commission did, at its April 6th City Commission Meeting approved a 3-year contract for Commercial/Industrial Cross Connection Control Program to HydroCorp; and

WHEREAS The City of Plymouth and HydroCorp are desirous of revising the contract terms to 5-years, with updated pricing, which provides some savings to the City.

NOW THEREFORE BE IT RESOLVED THAT the City Commission of the City of Plymouth does hereby authorize the revision to a Professional Services Contract with Hydro Corp of Troy, Michigan to complete the City's Commercial/Industrial Cross Connection Program at a cost of (\$22,065.00 per year) for the first year of a five-year contract for a total \$119,508. Funding from this program comes from the Water/Sewer Fund.

There was a voice vote.

MOTION PASSED UNANIMOUSLY

9. REPORTS AND CORRESPONDENCE

a. Liaison Reports

Minton: There will be no HDC meeting for May.

Elliott: There was a Planning Commission sub-committee meeting earlier today and he provided an update on the status of a Compatibility Ordinance. Next meeting will be May 11, 2026.

Sisolak: Reported on her attendance of a Semcog Government 101 training session.

b. Appointments

None

10. ADJOURNMENT

The next regular City Commission meeting is 7:00 pm on Monday, May 4 at Plymouth City Hall.

A motion to adjourn the meeting was made by Maugire, supported by Sisolak;

There was a voice vote.

MOTION PASSED UNANIMOUSLY

Filipczak adjourned the meeting at 7:44 p.m.

LINDA FILIPCZAK
MAYOR

MAUREEN A. BRODIE, CMC, MiPMC
CITY CLERK

DRAFT



Special Event Application

City of Plymouth
201 S. Main
Plymouth, Michigan 48170-1637

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

Complete this application in accordance with the City of Plymouth Special Events Policy, and return it to the City Manager's Office at least 21 calendar days prior to the starting date of the event.

FEES WILL BE CHARGED FOR ALL SPECIAL EVENTS. SEE ATTACHMENT B.

Sponsoring Organization's Legal Name		Regeneration Foundation					
Ph#	734-463-3006	Fax#		Email	jspindler@ethosperform.com	Website	regenfoundation.com
Address	44191 Plymouth Oaks Blvd, Suite 600		City	Plymouth	State	MI	Zip 48170
Sponsoring Organization's Agent's Name		Jen Spindler				Title	COO
Ph#	734-463-3006	Fax#		Email	jspindler@ethosperform.com	Cell#	843-421-6625
Address	44191 Plymouth Oaks Blvd, Suite 600		City	Plymouth	State	MI	Zip 48170

Event Name	Regeneration Foundation 5K Charity Ruck and Walk
Event Purpose	Ruck walk to raise funds for local veterans efforts
Event Date(s)	Saturday May 16, 2026
Event Times	8:30am-10:00am
Event Location	Ethos Plymouth, Walk to Veterans Memorial Downtown Plymouth, Walk back to Ethos Plymouth
What Kind Of Activities?	Walk

What is the Highest Number of People You Expect in Attendance at Any One Time?	50
Coordinating With Another Event?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> If Yes, Event Name: _____

Event Details:	(Provide a detailed description of all activities that will take place. Attach additional sheets if necessary.)
	We will be walking with ruck sacks or weight vests from Ethos Human Performance to Downtown Plymouth for a moment of silence at the Veterans memorial and back to Ethos. we will obey all traffic laws and not require any assistance with street crossings or hold up traffic. (see attached route).

RECEIVED APR 27 2026

1. **TYPE OF EVENT:** Based on Policy 12.2, this event is: *(Weddings Ceremonies – Please Review Section 12.2 f.)*
City Operated Co-sponsored Event Other Non-Profit Other For-Profit Political or Ballot Issue

2. **ANNUAL EVENT:** Is this event expected to occur next year? YES NO

If Yes, you can reserve a date for next year with this application (see Policy 12.15). To reserve dates for next year, please provide the following information:

Normal Event Schedule (e.g., third weekend in July):

Armed Forces Day

Next year's specific dates:

May 2027

See section 12.13 for license & insurance requirements for vendors

3. **FOOD VENDORS/ CONCESSIONS?** YES NO **OTHER VENDORS?** YES NO
4. **DO YOU PLAN TO HAVE ALCOHOL SERVED AT THIS EVENT?** YES NO
5. **WILL ALCOHOL BE SERVED ON PRIVATE PROPERTY AS PART OF THIS EVENT?** YES NO
6. **WILL YOU NEED ELECTRICITY AND/OR WATER?** YES NO

CITY SERVICES REQUIRED? If needed, please attach a letter indicating all requests for City Services.

(see Attachment B)

None. We will be stopping at all traffic crossings and obeying traffic laws, no plans to stop traffic.

7. **AN EVENT MAP IS** **IS NOT** attached. If your event will use streets and/or sidewalks (for a parade, run, etc.), or will use multiple locations, please attach a complete map showing the assembly and dispersal locations and the route plan. Also show any streets or parking lots that you are requesting to be blocked off.

8. **EVENT SIGNS:** Will this event include the use of signs? YES NO
If Yes, refer to Policy 12.8 for requirements, and describe the size and location of your proposed signs: **Please complete a sign illustration / description sheet and include with the application.**

Signs or banners approved by the City of Plymouth for Special Events shall be designed and made in an artistic and workman like manner. THE CITY MANAGER MUST APPROVE ALL SIGNS. SIGNS CANNOT BE ERECTED UNTIL APPROVAL IS GIVEN.

Signs and/or Banners may be used during the event only. Please refer to Special Event Policy for information related to the installation of banners on Downtown Street Light Poles in advance of event. NO SIGNS ARE ALLOWED IN THE PARK IN ADVANCE OF THE EVENT.

9. **UNLIMITED PARKING:** Are you requesting the removal of time limits on parking (see Policy 12.5)?

YES NO

If Yes, list the lots or locations where/why this is requested:

10. **CERTIFICATION AND SIGNATURE:** I understand and agree on behalf of the sponsoring organization that
- a. a Certificate of Insurance must be provided which names the City of Plymouth as an additional named insured party on the policy. (See Policy 12.10 for insurance requirements)
 - b. Event sponsors and participants will be required to sign Indemnification Agreement forms (refer to Policy 12.12).
 - c. All food vendors must be approved by the Wayne County Health Department, and each food and/or other vendor must provide the City with a Certificate of Insurance which names the City of Plymouth as an additional named insured party on the policy. (See Policy 12.13)
 - d. The approval of this Special Event may include additional requirements and/or limitations, based on the City's review of this application, in accordance with the City's Special Event Policy. The event will be operated in conformance with the Written Confirmation of Approval. (see Policy 12.11 and 12.16)
 - e. The sponsoring organization will provide a security deposit for the estimated fees as may be required by the City, and will promptly pay any billing for City services which may be rendered, pursuant to Policy 12.3 and 12.4.

As the duly authorized agent of the sponsoring organization, I hereby apply for approval of this Special Event, affirm the above understandings, and agree that my sponsoring organization will comply with City's Special Event Policy, the terms of the Written Confirmation of Approval, and all other City requirements, ordinance and other laws which apply to this Special Event.

04/20/2026

Date


Signature of Sponsoring Organization's Agent

RETURN THIS APPLICATION at least twenty (21) days prior to the first day of the event to: City


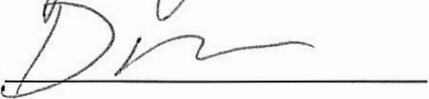
**Manager's Office
City Hall
201 S. Main Street
Plymouth MI 48170**

Phone: (734) 453-1234 ext. 203

11. INDEMNIFICATION AGREEMENT

INDEMNIFICATION AGREEMENT

The Regeneration Foundation (*organization name*) agree(s) to defend, indemnify, and hold harmless the City of Plymouth, Michigan, from any claim, demand, suit, loss, cost of expense, or any damage which may be asserted, claimed or recovered against or from the Charity 5K Ruck and Walk (*event name*) by reason of any damage to property, personal injury or bodily injury, including death, sustained by any person whomsoever and which damage, injury or death arises out of or is incident to or in any way connected with the performance of this contract, and regardless of which claim, demand, damage, loss, cost of expense is caused in whole or in part by the negligence of the City of Plymouth or by third parties, or by the agents, servants, employees or factors of any of them.

Signature 
Witness 

Date 04/20/2026
Date 04/20/2026



Department of the Treasury
Internal Revenue Service
Tax Exempt and Government Entities
P.O. Box 2508
Cincinnati, OH 45201

REGENERATION FOUNDATION
C/O MICHAEL MIES
33612 SCHOOLCRAFT RD
LIVONIA, MI 48150

Date:
03/20/2023
Employer ID number:
88-3410415
Person to contact:
Name: Julie Chen
ID number: 31261
Telephone: 877-829-5500
Accounting period ending:
December 31
Public charity status:
170(b)(1)(A)(vi)
Form 990 / 990-EZ / 990-N required:
Yes
Effective date of exemption:
July 21, 2022
Contribution deductibility:
Yes
Addendum applies:
No
DLN:
26053658001662

Dear Applicant:

We're pleased to tell you we determined you're exempt from federal income tax under Internal Revenue Code (IRC) Section 501(c)(3). Donors can deduct contributions they make to you under IRC Section 170. You're also qualified to receive tax deductible bequests, devises, transfers or gifts under Section 2055, 2106, or 2522. This letter could help resolve questions on your exempt status. Please keep it for your records.

Organizations exempt under IRC Section 501(c)(3) are further classified as either public charities or private foundations. We determined you're a public charity under the IRC Section listed at the top of this letter.


If we indicated at the top of this letter that you're required to file Form 990/990-EZ/990-N, our records show you're required to file an annual information return (Form 990 or Form 990-EZ) or electronic notice (Form 990-N, the e-Postcard). If you don't file a required return or notice for three consecutive years, your exempt status will be automatically revoked.

If we indicated at the top of this letter that an addendum applies, the enclosed addendum is an integral part of this letter.

For important information about your responsibilities as a tax-exempt organization, go to www.irs.gov/charities. Enter "4221-PC" in the search bar to view Publication 4221-PC, Compliance Guide for 501(c)(3) Public Charities, which describes your recordkeeping, reporting, and disclosure requirements.

Sincerely,

Stephen A. Martin
Director, Exempt Organizations
Rulings and Agreements

 **IRS** DEPARTMENT OF THE TREASURY
INTERNAL REVENUE SERVICE
CINCINNATI OH 45999-0023

Date of this notice: 07-26-2022

Employer Identification Number:
88-3410415

Form: SS-4

Number of this notice: CP 575 E

REGENERATION FOUNDATION
33612 SCHOOLCRAFT RD
LIVONIA, MI 48150

For assistance you may call us at:
1-800-829-4933

IF YOU WRITE, ATTACH THE
STUB AT THE END OF THIS NOTICE.

WE ASSIGNED YOU AN EMPLOYER IDENTIFICATION NUMBER

Thank you for applying for an Employer Identification Number (EIN). We assigned you EIN 88-3410415. This EIN will identify your entity, accounts, tax returns, tax returns, and documents, even if you have no employees. Please keep this notice in your permanent records.

Taxpayers request an EIN for business and tax purposes. Some taxpayers receive CP575 notices when another person has stolen their identity and are operating using their information. If you did **not** apply for this EIN, please contact us at the phone number or address listed on the top of this notice.

When filing tax documents, making payments, or replying to any related correspondence, it is very important that you use your EIN and complete name and address exactly as shown above. Any variation may cause a delay in processing, result in incorrect information in your account, or even cause you to be assigned more than one EIN. If the information is not correct as shown above, please make the correction using the attached tear-off stub and return it to us.

When you submitted your application for an EIN, you checked the box indicating you are a non-profit organization. Assigning an EIN does not grant tax-exempt status to non-profit organizations. Publication 557, Tax-Exempt Status for Your organization, has details on the application process, as well as information on returns you may need to file. To apply for recognition of tax-exempt status, organizations must complete an application on one of the following forms: Form 1023, Application for Recognition of Exemption Under Section 501(c)(3) of the Internal Revenue Code; Form 1023-EZ, Streamlined Application for Recognition of Exemption Under Section 501(c)(3) of the Internal Revenue Code; Form 1024, Application for Recognition Under Section 501(a); or Form 1024-A, Application for Recognition of Exemption Under Section 501(c)(4) of the Internal Revenue Code.

Nearly all organizations claiming tax-exempt status must file a Form 990-series annual information return (Form 990, 990-EZ, or 990-PF) or notice (Form 990-N) beginning with the year they legally form, even if they have not yet applied for or received recognition of tax-exempt status.

If you become tax-exempt, you will lose tax-exempt status if you fail to file a required return or notice for three consecutive years, unless a filing exception applies to you (search www.irs.gov for Annual Exempt Organization Return: Who Must File). We start calculating this three-year period from the tax year we assigned the EIN to you. If that first tax year isn't a full twelve months, you're still responsible for submitting a return for that year. If you didn't legally form in the same tax year in which you obtained your EIN, contact us at the phone number or address listed at the top of this letter. For the most current information on your filing requirements and other important information, visit www.irs.gov/charities.

IMPORTANT REMINDERS:

- * Keep a copy of this notice in your permanent records. This notice is issued only one time and the IRS will not be able to generate a duplicate copy for you. You may give a copy of this document to anyone asking for proof of your EIN.
- * Use this EIN and your name exactly as they appear at the top of this notice on all your federal tax forms.
- * Refer to this EIN on your tax-related correspondence and documents.
- * Provide future officers of your organization with a copy of this notice.

Your name control associated with this EIN is REGE. You will need to provide this information along with your EIN, if you file your returns electronically.

Safeguard your EIN by referring to Publication 4557, Safeguarding Taxpayer Data: A Guide for Your Business.

You can get any of the forms or publications mentioned in this letter by visiting our website at www.irs.gov/forms-pubs or by calling 800-TAX-FORM (800-829-3676).

If you have questions about your EIN, you can contact us at the phone number or address listed at the top of this notice. If you write, please tear off the stub at the bottom of this notice and include it with your letter.

Thank you for your cooperation.

Keep this part for your records.

CP 575 E (Rev. 7-2007)

Return this part with any correspondence so we may identify your account. Please correct any errors in your name or address.

CP 575 E

999999999

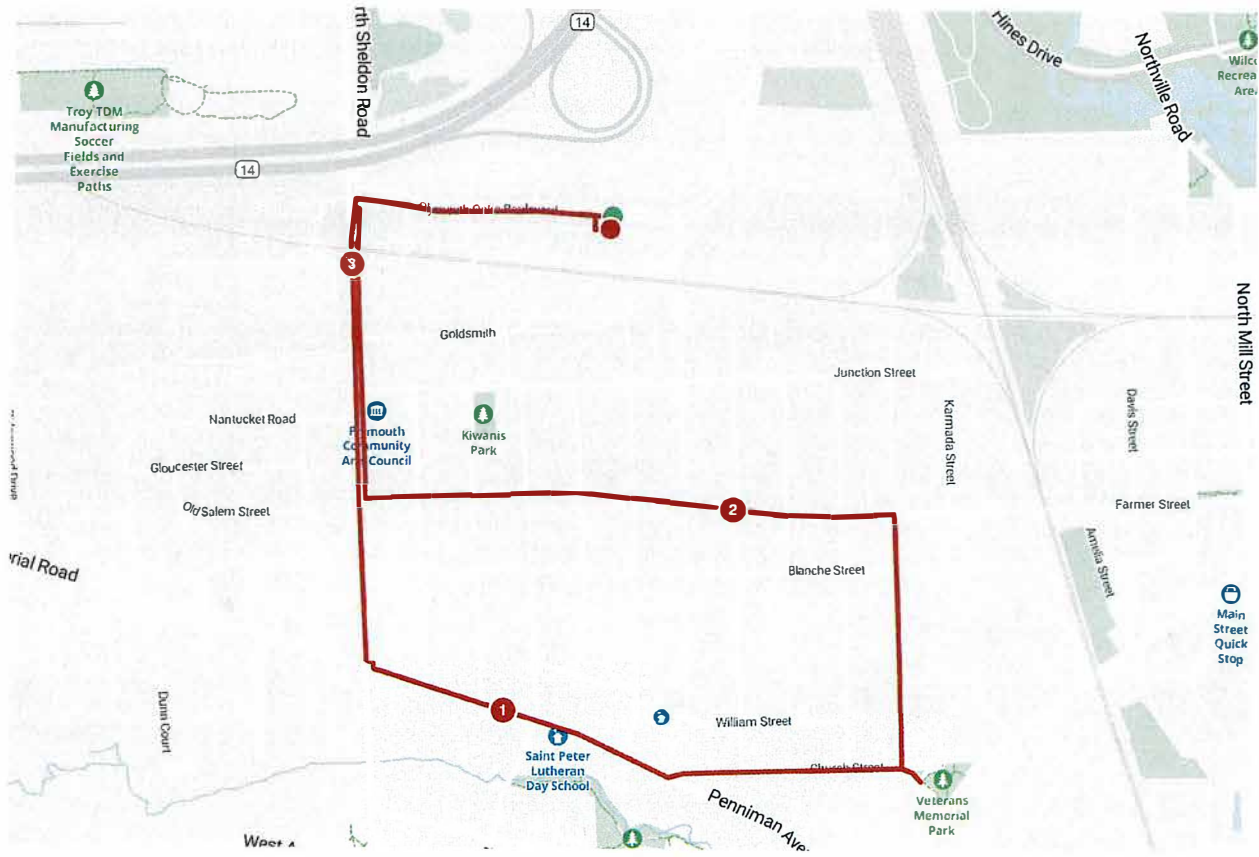
Your Telephone Number Best Time to Call
() -

DATE OF THIS NOTICE: 07-26-2022
EMPLOYER IDENTIFICATION NUMBER: 88-3410415
FORM: SS-4 NOBOD

INTERNAL REVENUE SERVICE
CINCINNATI OH 45999-0023
[Barcode]

REGENERATION FOUNDATION
33612 SCHOOLCRAFT RD
LIVONIA, MI 48150

- RUCK ROUTE



Name of Event: Regeneration Foundation 5K Charity Run and Walk
 Date: Sat. 5/16/24
 Location: see map

MUNICIPAL SERVICES:	<u>Approved</u>	Denied	(list reason for denial)	Initial
<u>No Services Needed</u>				
\$250 Bathroom Cleaning Fee Per Day of Event? YES NO				
Labor Costs:	Equipment Costs:	Materials Costs	\$	
POLICE:	<u>Approved</u>	Denied	(list reason for denial)	Initial
<u>No Services Needed</u>				
Labor Costs \$	Equipment Costs \$	Materials Costs \$		
FIRE:	<u>Approved</u>	Denied	(list reason for denial)	Initial
<u>NO SERVICES NEEDED</u>				
Labor Costs \$	Equipment Costs \$	Materials Costs \$		
HVA:	Approved	Denied	(list reason for denial)	Initial
DDA:	<u>Approved</u>	Denied	(list reason for denial)	Initial
<u>MS</u>				
Labor Costs \$	Equipment Costs \$	Materials Costs \$		
RISK MANAGEMENT:	<u>Approved</u>	Denied	(list reason for denial)	Initial
<u>MS</u>				
Class I – Low Hazard				
Class II – Moderate Hazard				
Class III – High Hazard				
Class IV – Severe Hazard				

All back-up provided AFHL



Special Event Application

City of Plymouth
201 S. Main
Plymouth, Michigan 48170-1637

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

Complete this application in accordance with the City of Plymouth Special Events Policy, and return it to the City Manager's Office at least 21 calendar days prior to the starting date of the event.

FEES WILL BE CHARGED FOR ALL SPECIAL EVENTS. SEE ATTACHMENT B.

Sun & Snow Sports, Inc

Sponsoring Organization's Legal Name		Sun & Snow Sports, Inc	
Ph#	7346639515	Email	events@sunandsnow.com
Fax#		Website	sunandsnow.com
Address	388 S Main Street	City	Plymouth
		State	MI
		Zip	48170
Sponsoring Organization's Agent's Name		Heidi Parent	
Ph#	7346639515	Email	heidi@sunandsnow.com
Fax#		Cell#	734-233-8848
Address	388 S Main St	City	Plymouth
		State	MI
		Zip	48170

Event Name Christmas in Plymouth & Mistletoe Market

Event Purpose Fill the town with shoppers, families and diners to provide a revenue boost to DDA businesses.

Event Date(s) December 11-12, 2026

Event Times 11am - 9pm

Event Location Downtown Plymouth (DDA District)

What Kind Of Activities? Shopping, carriage rides, entertainment and music.

What is the Highest Number of People You Expect in Attendance at Any One Time? ~ 10,000

Coordinating With Another Event? YES NO If Yes, Event Name: Handcrafters Market - PARC

Event Details: (Provide a detailed description of all activities that will take place. Attach additional sheets if necessary.)

An opportunity for local residents to spend time shopping and dining in Plymouth, and to celebrate our quaint, old-fashion holiday season. We are also coordinating with the Handcrafters Market at the PARC, and hoping to have Old Village add to the festivities this year, joining the events with trolley/shuttle service.

RECEIVED APR 21 2026

1. **TYPE OF EVENT:** Based on Policy 12.2, this event is: (Weddings Ceremonies – Please Review Section 12.2 f.)
City Operated Co-sponsored Event Other Non-Profit Other For-Profit Political or Ballot Issue

2. **ANNUAL EVENT:** Is this event expected to occur next year? YES NO

If Yes, you can reserve a date for next year with this application (see Policy 12.15). To reserve dates for next year, please provide the following information:

Normal Event Schedule (e.g., third weekend in July): 2nd Friday-Saturday, 2027
Next year's specific dates:

See section 12.13 for license & insurance requirements for vendors

- 3. **FOOD VENDORS/ CONCESSIONS?** YES NO **OTHER VENDORS?** YES NO
- 4. **DO YOU PLAN TO HAVE ALCOHOL SERVED AT THIS EVENT?** YES NO
- 5. **WILL ALCOHOL BE SERVED ON PRIVATE PROPERTY AS PART OF THIS EVENT?** YES NO
- 6. **WILL YOU NEED ELECTRICITY AND/OR WATER?** YES NO

CITY SERVICES REQUIRED? If needed, please attach a letter indicating all requests for City Services. (see Attachment B)

Electricity under the Gathering for general lighting. Street closure on Penniman in front of Gathering, and traffic direction at the crosswalk on Ann Arbor Trail. If electricity is available from the main power box used for concerts, it would be advantageous.

7. **AN EVENT MAP IS** **IS NOT** attached. If your event will use streets and/or sidewalks (for a parade, run, etc.), or will use multiple locations, please attach a complete map showing the assembly and dispersal locations and the route plan. Also show any streets or parking lots that you are requesting to be blocked off.

8. **EVENT SIGNS:** Will this event include the use of signs? YES NO
If Yes, refer to Policy 12.8 for requirements, and describe the size and location of your proposed signs: **Please complete a sign illustration / description sheet and include with the application.**
Signs or banners approved by the City of Plymouth for Special Events shall be designed and made in an artistic and workman like manner. THE CITY MANAGER MUST APPROVE ALL SIGNS. SIGNS CANNOT BE ERECTED UNTIL APPROVAL IS GIVEN.
Signs and/or Banners may be used during the event only. Please refer to Special Event Policy for information related to the installation of banners on Downtown Street Light Poles in advance of event. NO SIGNS ARE ALLOWED IN THE PARK IN ADVANCE OF THE EVENT.

9. **UNLIMITED PARKING:** Are you requesting the removal of time limits on parking (see Policy 12.5)?
YES NO
If Yes, list the lots or locations where/why this is requested:

10. **CERTIFICATION AND SIGNATURE:** I understand and agree on behalf of the sponsoring organization that
- a. a Certificate of Insurance must be provided which names the City of Plymouth as an additional named insured party on the policy. (See Policy 12.10 for insurance requirements)
 - b. Event sponsors and participants will be required to sign Indemnification Agreement forms (refer to Policy 12.12).
 - c. All food vendors must be approved by the Wayne County Health Department, and each food and/or other vendor must provide the City with a Certificate of Insurance which names the City of Plymouth as an additional named insured party on the policy. (See Policy 12.13)
 - d. The approval of this Special Event may include additional requirements and/or limitations, based on the City's review of this application, in accordance with the City's Special Event Policy. The event will be operated in conformance with the Written Confirmation of Approval. (see Policy 12.11 and 12.16)
 - e. The sponsoring organization will provide a security deposit for the estimated fees as may be required by the City, and will promptly pay any billing for City services which may be rendered, pursuant to Policy 12.3 and 12.4.

As the duly authorized agent of the sponsoring organization, I hereby apply for approval of this Special Event, affirm the above understandings, and agree that my sponsoring organization will comply with City's Special Event Policy, the terms of the Written Confirmation of Approval, and all other City requirements, ordinance and other laws which apply to this Special Event.

04/15/2026

Date



Signature of Sponsoring Organization's Agent

RETURN THIS APPLICATION at least twenty (21) days prior to the first day of the event to: City

**Manager's Office
City Hall
201 S. Main Street
Plymouth MI 48170**

Phone: (734) 453-1234 ext. 203

11. INDEMNIFICATION AGREEMENT

INDEMNIFICATION AGREEMENT

Sun & Snow

The _____ (*organization name*) agree(s) to defend, indemnify, and hold harmless the City of Plymouth, Michigan, from any claim, demand, suit, loss, cost of expense, or any damage which may be asserted, claimed or recovered against or from the Christmas in Plymouth (*event name*) by reason of any damage to property, personal injury or bodily injury, including death, sustained by any person whomsoever and which damage, injury or death arises out of or is incident to or in any way connected with the performance of this contract, and regardless of which claim, demand, damage, loss, cost of expense is caused in whole or in part by the negligence of the City of Plymouth or by third parties, or by the agents, servants, employees or factors of any of them.

Signature 

04/02/2026

Date _____

Witness 

04/02/2026

Date _____



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
4/21/2026

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Arthur J. Gallagher Risk Management Services, LLC 1690 Watertower Pl Ste 500 East Lansing MI 48823	CONTACT NAME: Lori Wilson
	PHONE (A/C No., Ext): 734-881-9917 FAX (A/C No.): E-MAIL ADDRESS: Lori.Wilson@ajg.com
INSURED Sun & Snow Sports Inc 300 Jackson Plaza Ann Arbor MI 48103	INSURER(S) AFFORDING COVERAGE NAIC #
	INSURER A: The Cincinnati Insurance Company 10677
	INSURER B:
	INSURER C:
	INSURER D:
	INSURER E:

COVERAGES **CERTIFICATE NUMBER:** 1635225792 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INST	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:	Y		ECP 0327038	5/1/2025	5/1/2027	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 1,000,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
A	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY	Y		EBA 0327038	5/1/2026	5/1/2027	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$	Y		ECP 0327038	5/1/2025	5/1/2027	EACH OCCURRENCE \$ 1,000,000 AGGREGATE \$ 1,000,000 \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A				<input type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
City of Plymouth is considered additional insured.

CERTIFICATE HOLDER City of Plymouth 201 S. Main Plymouth MI 48170	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE
---	--

Name of Event: Christmas in Plymouth + Mistletoe Market

Date: Dec 11 + 12 2020

Location: DOWNTOWN

MUNICIPAL SERVICES:	<u>Approved</u>	Denied	(list reason for denial)	Initial <u>AB</u>
			2 FTE + Supervisor	
			- Close roads, barricades, detour	
			- No parking, Porta Johns, Electrical Service	
\$250 Bathroom Cleaning Fee Per Day of Event	<u>YES</u>	NO		
Labor Costs:	\$2500. ⁰⁰	Equipment Costs:	\$750. ⁰⁰	Materials Costs \$ 250. ⁰⁰
POLICE:	<u>Approved</u>	Denied	(list reason for denial)	Initial <u>Juc</u>
			2 - OFFICERS @ 20 HRS	
			* VENDORS WILL BE REQUIRED TO HONOR 1ST AMENDMENT RIGHTS OF OTHERS	
Labor Costs \$	1520 ⁰⁰	Equipment Costs \$		Materials Costs \$
FIRE:	<u>Approved</u>	Denied	(list reason for denial)	Initial <u>RS</u>
			NO SERVICES NEEDED	
Labor Costs \$		Equipment Costs \$		Materials Costs \$
HVA:	Approved	Denied	(list reason for denial)	Initial
DDA:	<u>Approved</u>	Denied	(list reason for denial)	Initial <u>RUS</u>
Labor Costs \$		Equipment Costs \$		Materials Costs \$
RISK MANAGEMENT:	<u>Approved</u>	Denied	(list reason for denial)	Initial <u>MB</u>
Class I - Low Hazard				
Class II - Moderate Hazard				
<u>Class III - High Hazard</u>				INSURANCE PROVIDED BY AL
Class IV - Severe Hazard				



Administrative Recommendation

City of Plymouth
201 S. Main
Plymouth, Michigan 48170-1637

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

To: Mayor & City Commission
From: Chris S. Porman, City Manager
CC: S:\Manager\Porman Files\Memorandum - Quick Zoning Ordinance Amendments - 4th Batch, Version 2 - 2nd Reading - 5-4-26.docx
Date: April 28, 2026
RE: Zoning Ordinance Amendments – 4th Batch, Version 2 – 2nd Reading

Background

Following the Zoning Audit that began in 2022, 26 “quick” amendments were identified as areas for updates/corrections/clarifications. The reasons included alignment with state law, outdated language in terminology or phrasing used and inconsistencies with the Master Plan.

This is the second reading of the fourth batch of changes. We are calling this the 4th Batch Version 2, to try and keep with the consistency of referencing these proposed changes. The City Commission held a first reading at their meeting on April 6th with no requested changes. This zoning update can be summarized as updating the Intent of the B-2 Zoning District, which reflects the description of the Central Business District Future Land Use Category in the Master Plan.

We have included a tracked change version of the pertinent ordinance changes for ease of reading and understanding of the changes, in addition to an excerpt from the Meeting Minutes of the March 11, 2026, Planning Commission.

RECOMMENDATION:

The City Administration recommends that the City Commission complete their second and final reading of the proposed zoning ordinance amendments as presented and approve the same.

We have attached a proposed Resolution for the City Commission to consider regarding this matter. Should you have any questions in advance of the meeting please contact Greta Bolhuis or myself.

Sec. 78-100. Intent.

~~The B-2, central business district is designed to serve the entire municipal area by providing prime retail frontage for a variety of retail stores and personal service establishments. The district regulations are designed to promote convenient pedestrian shopping and the stability of retail development by encouraging a continuous retail frontage and by prohibiting automotive related services and non retail uses which tend to break up such continuity.~~

The B-2, central business district provides the central gathering place and commercial area of the city, accommodating pedestrian access to local businesses, restaurants, and entertainment, as well as office and upper-level residential uses. It serves the retail, office, convenience, and service needs of the entire City. The central business district promotes uses which provide convenient pedestrian shopping and services along a continuous retail frontage. Much of the district is served by centralized parking.

EXERPT FROM MARCH 11, 2026 PLANNING COMMISSION MEETING MINUTES

6. PUBLIC HEARINGS

a. Amendment to Zoning Ordinance Secs. 78-42, 78-52, 78-296; 78-100

Director Bolhuis provided background on the zoning audit project that began in January 2022, explaining the process of identifying inconsistencies and outdated language in the zoning ordinance. She detailed the work of the zoning audit subcommittee formed in May 2025.

[...]

Chair Saraswat opened the public hearing for Sec. 78-100 at 7:33 p.m.

There were no comments online or in-person.

Chair Saraswat closed the public hearing at 7:33 p.m.

Filippis offered a motion, seconded by Funk, to recommend to the City Commission the approval of amendments to zoning ordinance section 78-100.

There was a roll call vote.

YES: Rossie, Filippis, Funk, Webb, Schroeder, Medaugh, Chair Saraswat

MOTION PASSED UNANIMOUSLY

RESOLUTION

The following Resolution was offered by Commissioner _____ and seconded by Commissioner _____.

WHEREAS The Planning Commission of the City of Plymouth reviewed the proposed zoning ordinance amendments which update Section 78-100 of the City's Zoning Ordinance, and

WHEREAS The Planning Commission held a public hearing on March 11, 2026 to receive public comment about the zoning ordinance amendments, and

WHEREAS At the conclusion of the public hearing, the Planning Commission approved the text amendment and recommended review and approval by the City Commission, and

WHEREAS The City Commission has completed a first reading of the proposed language on April 6, 2026.

NOW THEREFORE BE IT RESOLVED THAT the City Commission of the City of Plymouth does hereby approve the zoning ordinance amendments to Section 78-100.

NOW THEREFORE BE IT FURTHER RESOLVED THAT the City Commission directs the City Clerk to publish the zoning ordinance amendments to be effective the day after publication.



Administrative Recommendation

City of Plymouth
201 S. Main
Plymouth, Michigan 48170-1637

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

To: Mayor & City Commission
From: Chris S. Porman, City Manager
CC: *S:\Manager\Porman Files\Memorandum - Designation of Street Administrator - 05-04-26.docx*
Date: April 27, 2026
RE: Designation of Street Administrator

Background

State law requires that the City Commission designate a single Street Administrator in order to be in compliance with Public Act 51. This person shall have “the responsibility of street improvements, maintenance, and traffic operations work, and the development, construction, or repair of off-street parking facilities and construction or repair of street lighting...” In our situation, this position is best held by the Assistant Director of Municipal Services Adam Gerlach. I have previously held this designation since 2014.

The State has developed a Resolution for the Designation of Street Administrator and it gives some additional background on this designation. The Designation of a Street Administrator is a matter of routine for our City and from time to time it is necessary to update this form with the State of Michigan.

Recommendation

The City Administration recommends that the City Commission designate Assistant Director of Municipal Services Adam Gerlach as the single Street Administrator for the City of Plymouth. The State of Michigan has prepared a proposed Resolution for the City Commission to consider regarding this matter.

Should you have any questions in advance of the meeting please feel free to contact me.

if you require assistance accessing this information or require it in an alternative format, contact the Michigan Department of Transportation's (MDOT) Americans with Disabilities Act (ADA) coordinator at www.Michigan.gov/MDOT-ADA.

Michigan Department
of Transportation
2012 (08/19)

RESOLUTION FOR DESIGNATION OF STREET ADMINISTRATOR

This information is required by Act 51, P.A. 1951 as amended. Failure to supply this information will result in funds being withheld.

MAIL TO: Michigan Department of Transportation, Financial Operations
Division, P.O. Box 30050, Lansing, MI 48909.
or Fax to: (517) 335-1828

NOTE: Indicate, if possible, where Street Administrator can usually be reached during normal working hours, if different than City or Village Office. List any other office held by the Administrator.

Councilperson or Commissioner _____

offered the following resolution and moved its adoption:

Whereas, Section 13(9) of Act 51, Public Acts of 1951 provided that each incorporated city and village to which funds are returned under the provisions of this section, that, "the responsibility for street improvements, maintenance, and traffic operations work, and the development, construction, or repair of off-street parking facilities and construction or repair of street lighting shall be coordinated by a single administrator to be designated by the governing body who shall be responsible for and shall represent the municipality in transactions with the State Transportation Department pursuant to this act."

Therefore, be it resolved, that this Honorable Body designate _____

_____ as the single Street Administrator for the City or Village of

_____ in all transactions with the State Transportation Department

as provided in Section 13 of the Act.

Supported by the Councilperson or Commissioner _____

Yeas _____

Nays _____

I hereby certify that the foregoing is a true and correct copy of a resolution made and adopted at a regular meeting of the governing body of this municipality on the _____ day of

CITY OR VILLAGE CLERK (SIGNATURE)	E-MAIL ADDRESS	DATE
STREET ADMINISTRATOR (SIGNATURE)	E-MAIL ADDRESS	DATE
ADDRESS OF CITY OR VILLAGE OFFICE		P.O.BOX
CITY OR VILLAGE	ZIP CODE	PHONE NUMBER



Administrative Recommendation

City of Plymouth
 201 S. Main
 Plymouth, Michigan 48170-1637

www.plymouthmi.gov
 Phone 734-453-1234
 Fax 734-455-1892

To: Mayor & City Commission
 From: Chris S. Porman, City Manager
 CC: S:\Manager\Porman Files\Memorandum - Intergovernmental Agreement with Wayne County – Multi Modal Path to Hines Dr. 05-04-26.docx
 Date: April 28, 2026
 RE: Intergovernmental Agreement with Wayne County – Multi Modal Path to Hines Dr.

Background

The proposed Intergovernmental Agreement between Wayne County and the City of Plymouth establishes the terms under which the parties will collaborate on concept design and preliminary engineering for a non-motorized, multi-modal access path connecting Plymouth's Old Village area, generally at Mill Street and Wilcox Road, to Hines Drive and Hines Park. This project moves forward both the City of Plymouth's 5-Year Strategic Plan as well as Wayne County's Connecting the Rouge Framework. The project is intended to enhance safe pedestrian and bicycle access to Hines Park while improving connectivity within the City and the surrounding regional trail network.

The scope of work under this agreement is limited to early planning and engineering activities. These include development of conceptual alternatives, preliminary design, cost estimating, and related technical analysis necessary to evaluate the feasibility of the proposed connection. The study area includes Wilcox Road, Mill Street, and Hines Dr., with the potential to incorporate Northville Road depending on the outcomes of the concept design phase. This agreement does not authorize construction; any future construction phase would require separate approvals and funding commitments. The Commission will recall that we have submitted Congressionally Directed Spending requests as well as Community Funding requests with our federal senators and representatives.

Under the agreement, Wayne County will contribute up to \$160,000 toward project costs, while the City of Plymouth will serve as lead agency, managing the project, procuring and overseeing consultant services, ensuring regulatory compliance, securing necessary permits, and covering all costs beyond the County's contribution. The City will lead all planning and engineering efforts, maintain records, and coordinate with the County, while the County will provide funding, grant access to County-owned property, and assist with plan review and permitting. The agreement also includes standard provisions related to insurance, liability, audit rights, and compliance with ethics and non-discrimination requirements.

The term of the agreement is three years from the date of approval by the Wayne County Commission. Provisions are included to allow for termination by either party under certain conditions, including

failure to perform or prior to commencement of the project. The agreement further clarifies that all land and any future infrastructure associated with the project will remain under County ownership.

Overall, this agreement allows the City of Plymouth to advance planning for a key non-motorized connection to Hines Park in partnership with Wayne County, leveraging County funding to support early project development while positioning the City for potential future implementation. Special thanks to the team at Wayne County, including, but not limited to: Wayne County Commissioner Melissa Daub and the Wayne County Parks Department.

Recommendation

The City Administration recommends the City Commission authorize the Intergovernmental Agreement between Wayne County and the City of Plymouth. We have attached additional information from Economic Development Director John Buzuvis, and a copy of the Intergovernmental Agreement for reference. The Intergovernmental Agreement has been reviewed by the City Attorney and is approved as to form, with no legal issues or concerns identified. There is a proposed resolution attached and should you have any questions, in advance of the meeting, please feel free to contact myself or John Buzuvis.



Administrative Recommendation

City of Plymouth
201 S. Main
Plymouth, Michigan 48170-1637

www.plymouthmi.gov
Phone 734-4531234
Fax 734-455-892

To: Chris Porman, City Manager
From: John Buzuvis, Economic Development Director 
CC: S:\City\Hine Park Connection
Date: April 28, 2026
RE: Intergovernmental Agreement (IGA) Wilcox Lake Community Connection

Background

As you are aware, the elected leadership and administration have been working for several months with Wayne County to develop an agreement to fund a concept plan and preliminary engineering for a multi-modal pathway connecting the Old Village area to the regional trail system along Hines Drive. This project is identified in the City's Five-Year Strategic Plan under Goal Area Four: Attractive, Livable Community, and aligns with Wayne County's Connecting the Rouge Framework.

To advance this effort, and with the assistance of County Commissioner Daub, the enclosed Intergovernmental Agreement (IGA) provides up to \$160,000 from Wayne County for the City of Plymouth to engage a consultant team to prepare a concept plan and preliminary engineering for a nonmotorized, multi-modal pathway connecting the Mill Street/Starkweather area to Hines Drive. While additional analysis is needed to finalize the alignment, it is anticipated that the pathway will follow Wilcox Road between Mill Street and Hines Drive.

Earlier this year, the City Commission adopted resolutions of support for grant requests submitted to the offices of Congresswoman Dingell, Senator Slotkin, and Senator Peters, seeking \$850,000 in Congressionally Directed Spending for construction of the pathway. Although it may take up to a year to receive a determination on that funding, this timeline allows the city to complete the concept plan and preliminary engineering, positioning the project as "shovel-ready" and strengthening future grant applications.

The IGA formalizes Wayne County's funding commitment and outlines the respective responsibilities and rights of each party. The agreement is consistent with prior IGAs executed with the County, such as those for parks millage-funded improvements at Massey Field and the Cultural Center. The City Attorney and the City's insurance carrier have reviewed and approved the agreement.

It is important to note that this IGA is limited to concept development and preliminary engineering and does not authorize or fund construction activities. Although the term of the agreement is three years, the administration anticipates presenting an engineering/design proposal to the City Commission for review and approval within the next several meetings. The City of Plymouth will serve as the project lead and is responsible for procuring the appropriate consultant team and coordinating project communication with Wayne County.

Recommendation

Administration recommends that the City Commission review and approve the enclosed Intergovernmental Agreement between the County of Wayne and the City of Plymouth and authorize the mayor to sign the agreement on behalf of the city.

INTERGOVERNMENTAL AGREEMENT

between

THE COUNTY OF WAYNE

and

THE CITY OF PLYMOUTH

for

Concept Design and Preliminary Engineering for a Multi-Modal Access Path to Hines Drive

from Plymouth's Old Village at Mill St. and Wilcox Roads

in the City of Plymouth

TABLE OF CONTENTS

INTRODUCTION 1

PROJECT DESCRIPTION 1

ARTICLE 1 DEFINITIONS 1

ARTICLE 2 PROJECT COSTS..... 2

ARTICLE 3 TERM OF CONTRACT..... 2

ARTICLE 4 CITY'S RESPONSIBILITIES 3

ARTICLE 5 COUNTY'S RESPONSIBILITIES 5

ARTICLE 6 INSURANCE 5

ARTICLE 7 ETHICS IN CONTRACTING/NON-DISCRIMINATION PRACTICES .. 5

ARTICLE 8 WAIVER.....7

ARTICLE 9 FORCE MAJEURE 8

ARTICLE 10 HOLD HARMLESS 8

ARTICLE 11 LIABILITY..... 8

ARTICLE 12 NOTICE 8

SIGNATURES..... 13

EXHIBIT A: MAP OF PROJECT AREA 15

EXHIBIT B: INSURANCE COVERAGES..... 16

INTRODUCTION

THIS AGREEMENT is between the County of Wayne, Michigan, a body corporate and charter county (hereinafter referred to as the "COUNTY") and the City of Plymouth, a Michigan Municipal Corporation (hereafter referred to as the "CITY").

This Agreement is made for the purpose of establishing the rights and obligations of the parties with respect to the preparation of concept drawings and preliminary engineering plans ("Concept Design and Preliminary Engineering") in connection with the proposed construction of the multi-modal access path to connect Wilcox Road to Hines Drive at Mill Street along Wilcox Road, as described in this Agreement (the "Project"):

PROJECT DESCRIPTION

Concept design and preliminary engineering for a multi-modal access path to connect Wilcox Road to Hines Drive, Mill Street, and Starkweather Street. Northville Road may also be included in the project based on the outcome(s) of the concept design phase.

WHEREAS, the CITY is a body corporate located within the COUNTY; and

WHEREAS, Hines Park is a public park that is owned and controlled by the COUNTY and is partially located within the CITY; and

WHEREAS, the Project will provide safe access to Hines Park and significantly enhance the non-motorized travel within and enjoyment of Hines Park for the benefit of the citizens of the COUNTY and CITY; and

WHEREAS, the parties hereto have reached an understanding with each other regarding the performance of the Project and desire to set forth this understanding in the form of a written Agreement.

NOW THEREFORE, in consideration of the mutual understandings of the parties and in conformity with applicable law, it is agreed:

ARTICLE 1 DEFINITIONS

Wherever used in this Agreement, the following terms shall have the meanings indicated which shall be applicable to both the singular and plural thereof:

1.1 AGREEMENT - The written contract between COUNTY and the CITY regarding the Project.

1.2 CONCEPT DESIGN - The concept design is intended to provide a common understanding of the proposed construction project, shall be preliminary and illustrative in nature while allowing flexibility for refinement through subsequent feasibility studies, engineering, environmental

review, public engagement, and formal approvals. It is preliminary and does not constitute final design, authorization to construct, or a financial obligation beyond those expressly stated in the intergovernmental agreement. This work may include but not be limited to: surveying, preparing multiple concepts for the possible trail connections, preparing illustrative renderings, providing demographic research, and preparing cost estimates.

1.3 PRELIMINARY ENGINEERING - All services necessary to adequately prepare plans and specifications for the Project, together with any changes, extras, amendments, addendum, and/or bulletins. Preliminary Engineering services may include, but are not limited to, surveys, soil investigations, design, drafting, reviews, permits, and/or consultant services.

1.4 PROJECT - The Concept Design and Preliminary Engineering for a multi-modal access path to connect Mill Street and Starkweather Street to Hines Park; Mill Street and Hines Park are owned by the COUNTY, with Mill Street, Starkweather Street and Hines Park all located in the City of Plymouth, as described in Exhibit A, attached hereto and made a part hereof. Sidewalk and Crosswalk improvements are to be constructed on land owned by the COUNTY or in the County's Right of Way for Wilcox Road, Mill Street, and Hines Drive.

1.5 PROJECT COSTS - See Article 2.

1.6 CHANGE ORDER — The written order of the CITY, or its duly authorized representative, for changes in or extras to a contract.

ARTICLE 2 PROJECT COSTS

2.1 As herein used, the term "Project Costs", shall include, but not be limited to, the cost of Concept Design and Preliminary Engineering, together with any changes, Change Orders, extras, amendments, addendum, and/or bulletins.

2.2 The COUNTY shall contribute to the CITY an amount not to exceed One Hundred Sixty Thousand Dollars (\$160,000.00) to assist in the funding of the Project Costs.

2.3 The CITY shall be solely responsible for paying for all Project Costs that exceed One Hundred Sixty Thousand Dollars (\$160,000.00).

2.4 The CITY shall be responsible for adhering to, obtaining, and paying for any necessary permits..

ARTICLE 3 TERM OF CONTRACT

3.1 The term of this Agreement shall commence upon approval by the Wayne County Commission and shall terminate three (3) years after Wayne County Commission approval.

ARTICLE 4
CITY'S RESPONSIBILITIES

4.1 The CITY shall be solely responsible for, and pay for, all Project Costs that exceed the COUNTY'S \$160,000.00 contribution.

4.2 The CITY must inform the COUNTY as the following types of conditions become known:

A. Probable delays or adverse conditions which do or may materially prevent meeting the objectives of this Agreement or the Project plans; or

B. Favorable developments or events that enable meeting time schedules or goals sooner than anticipated.

4.3 The CITY shall procure Concept Design and Preliminary Engineering services for this project in compliance with the City of Plymouth purchasing policy such as advertise, perform competitive contract bidding, arrange for the award of the contract and administer the contract(s) for any and all work to be performed by contractors. Such contract(s) shall be subject to the terms and conditions of this Agreement.

4.4 All the planning, engineering, as the case may be, of the Project, including the furnishing of all labor, materials, tools and equipment, shall be performed by the CITY or its contractor(s) at the CITY's sole cost and expense.

4.5 The CITY shall perform all Concept Design and Preliminary Engineering and will appoint a project engineer who shall be responsible for and in charge of the Project. This work may include, but not be limited, to surveying, preparing multiple concepts for the possible trail connections, preparing illustrative renderings, providing demographic research, and preparing cost estimates.

4.6 The CITY shall ensure that all work performed under this Agreement meets applicable state, federal and local (including county) laws, statutes, ordinances and codes.

4.7 The CITY shall give reasonable notice to and invite the COUNTY to any and all Concept Design and Preliminary Engineering meetings throughout the life of the Project.

4.8 The CITY shall require any contractor or subcontractor performing work on the Project to indemnify, defend and hold the COUNTY harmless against any and all claims, liabilities, damages or expenses asserted against the COUNTY arising out of, resulting from, or in any way related to CITY's occupation and use of the Project area and the operations conducted thereon by or on behalf of the CITY pursuant to this Agreement; provided, however, that neither the CITY or its contractors shall be responsible for any claims, liabilities or damages resulting solely from the grossly negligent acts of the COUNTY or its agents, officers or employees. This paragraph is not to be construed as a waiver of any governmental immunity the County, its agencies or employees have as provided by statute, as modified by court decisions. Each party has a duty to mitigate damages for which the other party is responsible. Nothing in this Agreement shall be deemed to relieve the

CITY of its duty to defend the COUNTY, as specified, pending a determination of the respective liabilities of the CITY and the COUNTY, by legal proceeding or agreement. The COUNTY shall cooperate with the CITY in the defense against the suit. In no event shall the CITY make any admission of guilt or liability on behalf of the COUNTY without the COUNTY'S prior, written consent.

4.9 The CITY must comply with and must require its employees and contractors to comply with all applicable laws and regulations.

4.10 Upon completion of the Project, the CITY shall restore the COUNTY'S property to the condition that existed before commencement of the Project.

4.11 The CITY must maintain complete books, ledgers, journals, accounts, or records in which it keeps all entries reflecting its operation pursuant to this Agreement. The CITY must keep the records according to generally accepted accounting practices and in accordance with the requirements of federal and state regulations for a minimum of seven (7) years after the Agreement's termination and completion. The CITY must also maintain copies of all records, correspondence and documents, including electronically stored information, prepared in anticipation of this Agreement, and for this Agreement, for a period of seven (7) years after the Agreement's termination and completion.

4.12 The County and the Legislative Auditor General have the right to examine and audit all books, records, documents and other supporting data as they deem necessary of the CITY, or any subcontractors, or agents rendering services under this Agreement, whether direct or indirect, which will permit adequate evaluation of the services or the cost or pricing data submitted by the CITY. The CITY must include a similar covenant allowing for audit by the COUNTY and the Legislative Auditor General in any contract it has with any subcontractor, a consultant or agent whose services will be charged directly or indirectly to the COUNTY.

4.13 The CITY further acknowledges the right of the Wayne County Commission as a third-party beneficiary of this Agreement to sue for specific enforcement to enforce the audit rights provided herein for the Legislative Auditor General.

4.14 The CITY agrees that representatives of the COUNTY are entitled to make periodic inspections to ascertain that the CITY is properly performing the services. The inspections may be made at any time during normal business hours of the CITY. If, in the course of the inspections, the representatives of the COUNTY should note any deficiencies in the performance of the services of the CITY, or any other mutually agreed upon performance deficiencies, the alleged deficiencies must be reported promptly to the CITY, in writing. The CITY agrees to promptly remedy and correct any reported deficiencies within ten (10) days of notification by the COUNTY, or within such other time frame as agreed upon by a duly authorized representatives of the COUNTY and the CITY. Notwithstanding anything in this Agreement, the parties acknowledge and agree that any oversight, monitoring, inspections and/or evaluations performed by the COUNTY shall not

diminish or relieve in any way the liability of the CITY for any of its duties and responsibilities under this Agreement, nor shall the performance of such actions by the COUNTY subject it to any liability as a result thereof.

ARTICLE 5 COUNTY'S RESPONSIBILITIES

5.1 The COUNTY shall contribute to the CITY an amount not to exceed \$160,000.00 to assist in the funding of the Project Costs.

5.2 The COUNTY shall cooperate with the CITY in timely reviewing the plans required to carry out the terms of this Agreement and any necessary permits and/or right-of-way agreement(s) for the Project.

5.3 The COUNTY shall permit the CITY, including the CITY'S contractors and authorized agents and representatives to enter upon the land for the purpose of performing the services described in this Agreement, including Concept Design and Preliminary Engineering work to include surveying, etc.

ARTICLE 6 INSURANCE

6.1 The CITY shall require that all contractors undertaking work on the Project abide the terms, and provide insurance coverage in said amounts, as set forth in **Exhibit B**, attached hereto and made a part hereof.

6.2 All insurance shall name the Charter County of Wayne and the CITY as insured in the manner listed in **Exhibit B**.

ARTICLE 7 ETHICS IN CONTRACTING/NON-DISCRIMINATION PRACTICES

7.1 CITY and all of its contractors must comply with Article 12 of Chapter 120 of the Wayne County Code of Ordinances governing "Ethics in Public Contracting" or any similarly existing CITY ordinances.

7.2 CITY shall require that all contractors, subcontractors, consultants and agents retained to perform work related to this Agreement comply with:

A. Titles VI and VII of the Civil Rights Act (42 U.S.C. § 2000d et. seq.) and the United States Department of Justice Regulations (28 C.F.R. Part 42) issued pursuant to these Titles.

B. The Age Discrimination Act of 1985 (42 U.S.C. § 6101-07).

C. Section 504 of the Rehabilitation Act of 1973 (29 U.S.C. § 794).

D. The Americans with Disabilities Act of 1990 (42 U.S.C. § 12101 et. seq.) and its associated regulations.

E. The Elliot-Larson Civil Rights Act (P.A. 1976 No. 453)

F. The Persons With Disabilities Civil Rights Act (P.A. 1976 No. 220).

G. The anti-discrimination provisions as required by Section 120-192 of the Wayne County Code of Ordinances.

7.3 All contractors, subcontractors, consultants and agents retained by CITY to perform work related to this Agreement shall not:

A. Refuse to recruit, hire, employ, promote or to bar or discharge from employment an individual, or discriminate against an individual in compensation, terms, conditions or privileges of employment because of race, color, creed, national origin, age, marital status, handicap, sex, religion, familial status, height or weight.

B. Limit, segregate, or classify an employee or applicant for employment in a way which deprives or tends to deprive any individual of employment opportunities or otherwise adversely affects the employment status of an employee because of race, color, creed, national origin, age, marital status, handicap, sex, familial status, height or weight.

C. Print or publish or cause to be printed or published a notice, application, or advertisement relating to employment indicating a preference, limitation, specification, or discrimination based upon race, color, creed, national origin, age, marital status, handicap, sex, religion, familial status, height or weight.

D. Except as permitted by rules and regulations promulgated pursuant to Section 120-192 of the Wayne County Code of Ordinances, or applicable state or federal law, make or use a written or oral inquiry or form of application that elicits or attempts to solicit information concerning the race, color, creed, national origin, age, marital status, handicap, sex, religion, familial status, height or weight, of prospective employees. CITY also shall not make or keep a record of that information or disclose such information.

E. Make or use a written or oral inquiry or form of application that expresses a preference, limitation or specification based on religion, race, color, creed, national origin, age, height, weight, marital status, handicap, or sex.

7.4 CITY agrees that it shall notify all of its contractors, subcontractors, consultants, or agents of their obligations relative to non-discrimination under this Agreement when soliciting the contractor, subcontractor, consultant, or agent. CITY will include the provisions of this Article in any contract, as well as provide the COUNTY with a copy of any agreement with a contractor, subcontractor, consultant, or agent completing work related to this Agreement.

7.5 All contractors, subcontractors, consultants and agents retained by CITY to perform work related to this Agreement shall not discriminate against any employee or applicant for employment, training, education, or apprenticeship connected directly or indirectly with the performance of this Agreement, with respect to hire, promotion, job assignment, tenure, terms, conditions or privileges of employment because of race, color, creed, national origin, age, marital status, handicap, sex, religion, familial status, height or weight. This Section does not apply if it is determined by the Wayne County Division of Human Relations that the requirements are bona fide occupational qualifications reasonably necessary to perform the duties required for employment. The CITY bears the burden of proof that the occupational qualifications are bona fide.

7.6 Breach of any of the covenants in this Article may be regarded as a material breach of this Agreement.

7.7 CITY acknowledges the right of the COUNTY to sue to enforce the provisions in this Article.

7.8 If CITY or any of its contractors, subcontractors, consultants, or agents does not comply with the non-discrimination provisions of this Agreement, the COUNTY may impose sanctions, as it determines to be appropriate, including but not limited to the cancellation, termination or suspension of this Agreement, in whole or in part.

7.9 In the event that CITY is or becomes subject to federal or state law which conflicts with the requirements of Section 120-192 of the Wayne County Code of Ordinances, the provisions of federal or state law shall apply and this Agreement shall be interpreted and enforced accordingly. In accordance with the Elliot-Larson Civil Rights Act, P.A. 1976 No. 453, as amended, MCL 37.2101 et seq., CITY covenants not to discriminate against an employee or applicant for employment with respect to hire, tenure, terms, conditions, or privileges of employment because of race, color, religion, national origin, age, sex, weight, height, or marital status, and to require a similar covenant on the part of any contractor, subcontractor, consultant, or agent employed in the performance of this Agreement.

7.10 CITY agrees to provide the COUNTY with an opportunity to participate in planning any press conference, ribbon cutting ceremony, opening ceremony, or other public/media announcement related to the Project ("media event"). CITY further agrees to provide the COUNTY with no less than thirty (30) days prior written notice of a proposed media event.

**ARTICLE 8
WAIVER**

8.1 The parties further agree that no provision in this Agreement constitutes or acts as a waiver of any governmental immunity either of the parties, its agencies, officers, employees, agents or elected officials enjoy under applicable statutory or common law.

**ARTICLE 9
FORCE MAJEURE**

9.1 It is mutually understood and agreed that neither of the parties hereto shall be held responsible for damages occasioned by delay or failure to perform where due to fire, strike, flood, acts of God, unavailability of labor, material, legal acts of public authorities, or delays caused by public carriers or third person (including contractors or subcontractors) which cannot reasonably be foreseen or provided against.

**ARTICLE 10
HOLD HARMLESS**

10.1 The CITY agrees to remain responsible for its own negligence, or tortious acts, errors, or omissions, and the acts, errors, or omissions of any of its employees, contractors, subcontractors, consultants, or agents.

10.2 The CITY agrees that it is its responsibility and not the responsibility of the COUNTY to safeguard the property and materials that the employees and contractors of the CITY use in performing this Agreement. The CITY shall hold the COUNTY harmless for costs and expenses resulting from any loss of the property and materials used by its employees and contractors pursuant to the performance of the CITY under this Agreement.

10.3 This hold harmless provision shall not be construed as a waiver of any governmental immunity by the COUNTY or CITY or any of their agencies, or employees, as provided by statute or modified by court decisions.

**ARTICLE 11
LIABILITY**

11.1 The COUNTY does not assume and is not responsible for, payment of any debt service, lien, or encumbrance, including, but not limited to, mortgage, promissory note, land contract, or other obligation, incurred prior to the execution of, or during the term of this Agreement.

11.2 This Agreement is not intended to create beneficial rights in any third party other than the Wayne County Commission. This Agreement is entered into for the sole benefit of the parties to this Agreement.

**ARTICLE 12
NOTICE**

12.1 Notification regarding anything in connection with this Agreement shall be sent in writing via first class mail to:

For the COUNTY:

Director of Parks

Wayne County Parks
33175 Ann Arbor Trail
Westland, Michigan 48185
and

Director
Wayne County Department of Public Services
400 Monroe, Suite 300
Detroit, Michigan 48226

For the CITY:

City of Plymouth
201 S. Main Street
Plymouth, MI 48170

ARTICLE 13 TERMINATION

13.1 This Agreement may be terminated by either party with or without cause upon thirty (30) days written notice, prior to commencing the Project. If terminated prior to commencing the Project, each party is solely responsible for its own costs, fees, and obligations incurred prior to the termination.

13.2 The COUNTY may terminate this Agreement at any time without incurring liability for any of the following:

- A. Failure of the CITY or its contractor(s) to make progress on the Project in accordance with the agreed-upon schedule;
- B. Failure of the CITY or its contractor(s) to conduct the work in a safe, professional and efficient manner, in accordance with applicable law and the highest standards of the energy industry.
- C. Failure on the CITY's part to perform the work in accordance with the terms and conditions of this Agreement and in accordance with the permit issued by the COUNTY.
- D. Failure of the CITY to adequately and timely notify the COUNTY of Preliminary Engineering progress meetings, including meetings related to contractor bidding.

13.3 The CITY may terminate this Agreement by giving written notice to the COUNTY of the termination. The notice must specify the effective date of termination at least 30 days prior to its occurrence, and this Agreement will terminate as if the date specified were the date originally

given for the expiration of this Agreement. Termination of this Agreement by the CITY will not relieve the CITY of its responsibility to restore the County's property to its pre-Project condition.

13.4 Regardless of the cause of this Agreement's termination, each party will assist the other in the orderly termination of this Agreement and will participate, in good faith, in all transfers connected with termination, whether of tangibles or intangibles, as will be necessary for the unimpeded continuation of each party's business.

ARTICLE 14 RELATIONSHIP OF PARTIES

14.1 The parties are independent entities, No liability or benefits, such as Workers' Compensation, pension rights, or insurance rights, arising out of, or related to a contract for hire or employer/employee relationship, accrues to either party or either party's agents, contractors, subcontractors, or employees as a result of this Agreement. No relationship, other than that of independent contractor will be implied between the parties, or either party's agents, employees, contractors, or subcontractors.

ARTICLE 15 JURISDICTION AND LAW

15.1 This Agreement, and all actions arising from it, must be governed by, subject to, and construed according to the laws of the State of Michigan. Each party consents to the personal jurisdiction of any competent court in Wayne County, Michigan, for any action arising out of this Agreement. Each party will not commence any action against the other because of any matter arising out of this Agreement, in any courts other than those in the County of Wayne, State of Michigan unless original jurisdiction is in the United States District Court for the Eastern District of Michigan, Southern Division, the Court of Claims, the Michigan Supreme Court or the Michigan Court of Appeals.

ARTICLE 16 ENVIRONMENTAL MATTERS

16.1 The CITY shall, and shall require its contractor(s) to (a) comply with all Environmental Laws in connection with the performance of this Agreement and (b) not use any Hazardous Materials in connection with the performance of this Agreement in such manner as would violate any Environmental Law or would cause any damage or risk of any damage to the environment, or in such manner as to leave any residue which could be hazardous to persons or property or cause liability to the COUNTY. "Environmental Laws" mean any applicable federal, state, county or local statutes, laws, regulations, rules, ordinances, or codes relating to environmental matters, including by way of illustration only, the Clean Air Act, the Federal Water Pollution Control Act, the Resource, Conservation and Recovery Act, the Comprehensive Environmental, Response, Compensation and Liability Act, the Superfund Amendment and Re-authorization Act, the Federal

Hazardous Materials Transportation Act, the Toxic Substance Control Act, the State of Michigan Solid Waste Disposal Act, the Michigan Environmental Response Act and Act 201 Amendments and any amendments or extensions thereof, and any rules, regulations, standards or guidelines issued pursuant to any of the aforesaid and all other applicable environmental standards or requirements. "Hazardous Materials" mean any substances, compounds, mixtures, wastes or materials that are defined to be, that are regulated as, that are listed as or that (because of their toxicity, concentration or quantity) have characteristics that are hazardous or toxic under any of the Environmental Laws, or any substances, compounds, mixtures, wastes or materials that are otherwise regulated under any of the Environmental Laws. Without limiting the generality of the foregoing, Hazardous Materials includes: (a) any article or mixture that contains a Hazardous Material; (b) petroleum or petroleum products; (c) asbestos, asbestos-containing materials and presumed asbestos-containing materials; (d) which is radioactive (e) polychlorinated biphenyls; (f) any substance the presence of which requires reporting, investigation, removal or remediation under any Environmental Laws; and (g) which is or becomes defined as a hazardous waste, hazardous substance, pollutant, contaminant, or biologically hazardous material under any governmental regulation. The indemnity obligations of this Agreement shall apply to any and all losses, claims, actions (at law or in equity), proceedings, liabilities, resulting from, arising out of or occurring in connection with the CITY's, or the CITY's contractor(s) violation of this section.

ARTICLE 17 MISCELLANEOUS

17.1 This Agreement, including the Exhibits hereto embodies the entire Agreement and understanding among the parties hereto and supersedes all prior agreements and understandings related to the subject matter thereof. No rights or remedies are or will be acquired by either party, orally, through implication or otherwise, unless set forth herein.

17.2 The park land shall remain the sole property of the COUNTY, and no estate, leasehold or other property rights are created or vested in the CITY.

17.3 Nothing in this Agreement shall create or be deemed to create any rights in favor of a contractor or subcontractor against the COUNTY, nor shall it be deemed or construed to impose upon the COUNTY any obligation, liability or duty to a contractor or subcontractor, or to create any contractual relation whatsoever between a contractor or subcontractor and the COUNTY.

17.4 The ownership of any facilities and/or infrastructure constructed and/or improved under this Agreement shall remain with the COUNTY.

17.5 No amendment to this Agreement is effective unless it references this Agreement, is written and is signed by duly authorized representatives of both parties and approved by resolutions adopted by the Plymouth City Commission and the Wayne County Commission.

17.6 The term "COUNTY" includes the Charter County of Wayne and all other associated, affiliated, or subsidiary departments or divisions now existing or to be created, their agents, and employees.

17.7 The parties agree that upon termination of this Agreement, the following sections shall survive expiration and termination and shall remain in full force and effect: Article 4; Article 6; Article 7; Article 10; Article 11; Article 15; and Article 16.

**ARTICLE 18
BINDING EFFECT/INTEGRATION**

18.1 This Agreement, including the Exhibits hereto embodies the entire Agreement and understanding among the parties hereto and supersedes all prior agreements and understandings related to the subject matter thereof. No rights or remedies are or will be acquired by either party, orally, through implication or otherwise, unless set forth herein. This Agreement may be executed in counterparts, each of which will be deemed an original but all of which together will constitute one agreement.

**ARTICLE 19
AUTHORIZATION AND CAPABILITY**

19.1 This Agreement has been approved, as evidenced by the attached Resolutions adopted by the Plymouth City Commission and the Wayne County Commission. Copies of such resolutions shall be attached to this Agreement. Each party warrants that the person signing this Agreement is authorized to sign on behalf of its principal and is empowered to bind its principal to this Agreement.

[Remainder of Page Intentionally Left Blank; Signatures Appear on the Next Page]

SIGNATURES

IN WITNESS WHEREOF, the COUNTY and CITY, by their authorized officers and representatives have executed this Agreement as of the dates written below.

County Commission approved and execution authorized by Resolution No. _____ Date: _____	CHARTER COUNTY OF WAYNE By: _____ Warren C. Evans Its: County Executive Date: _____
--	--

[Remainder of Page Intentionally Left Blank; Signatures Continue on the Next Page]

Plymouth City Commission approved and execution authorized by Resolution No. _____ Date: _____	CITY OF PLYMOUTH By: _____ Linda Filipczak Its: _____ Date: _____

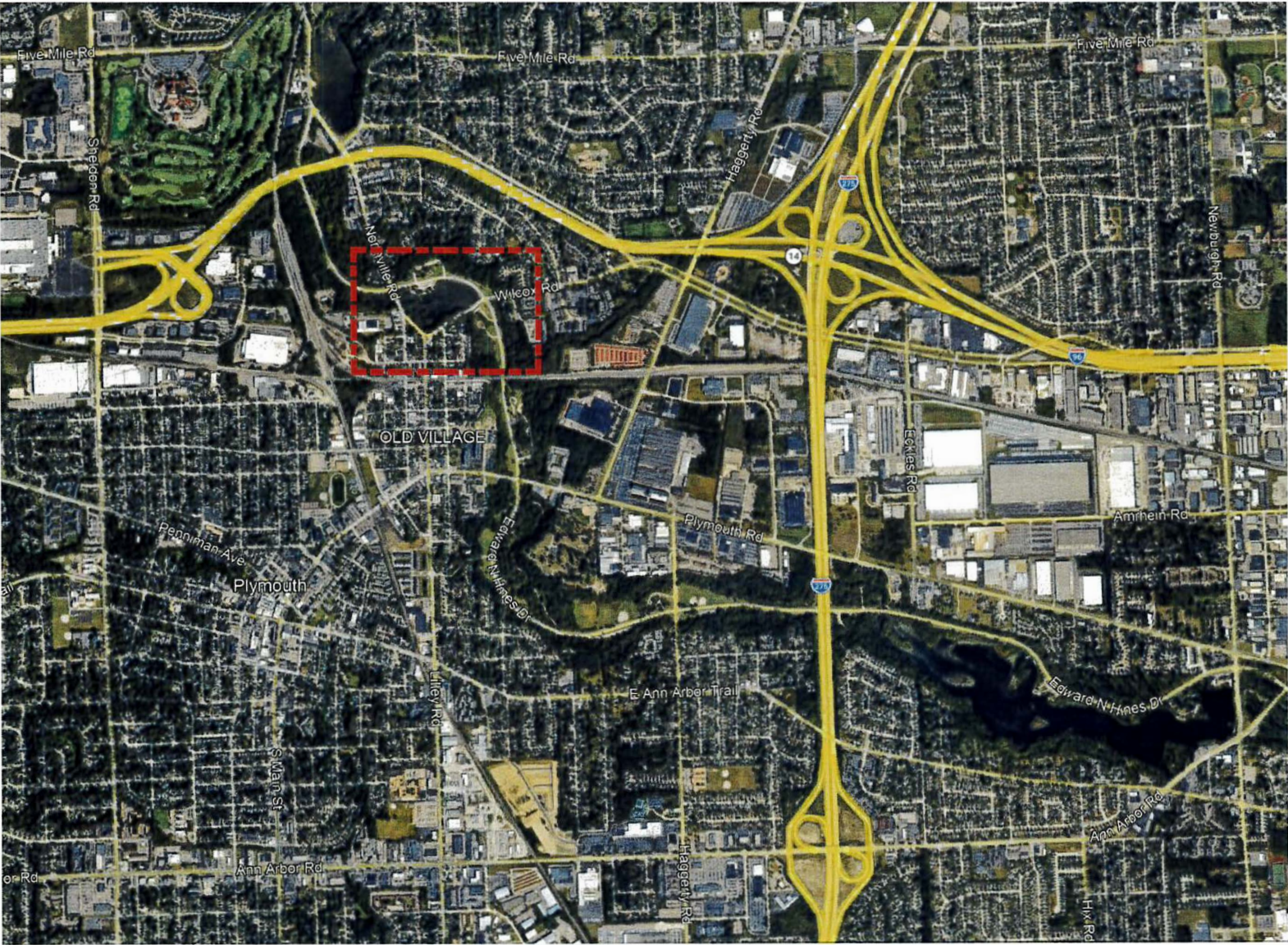
APPROVED AS TO FORM

By: Patricia Moore

DEPT. OF CORPORATION COUNSEL

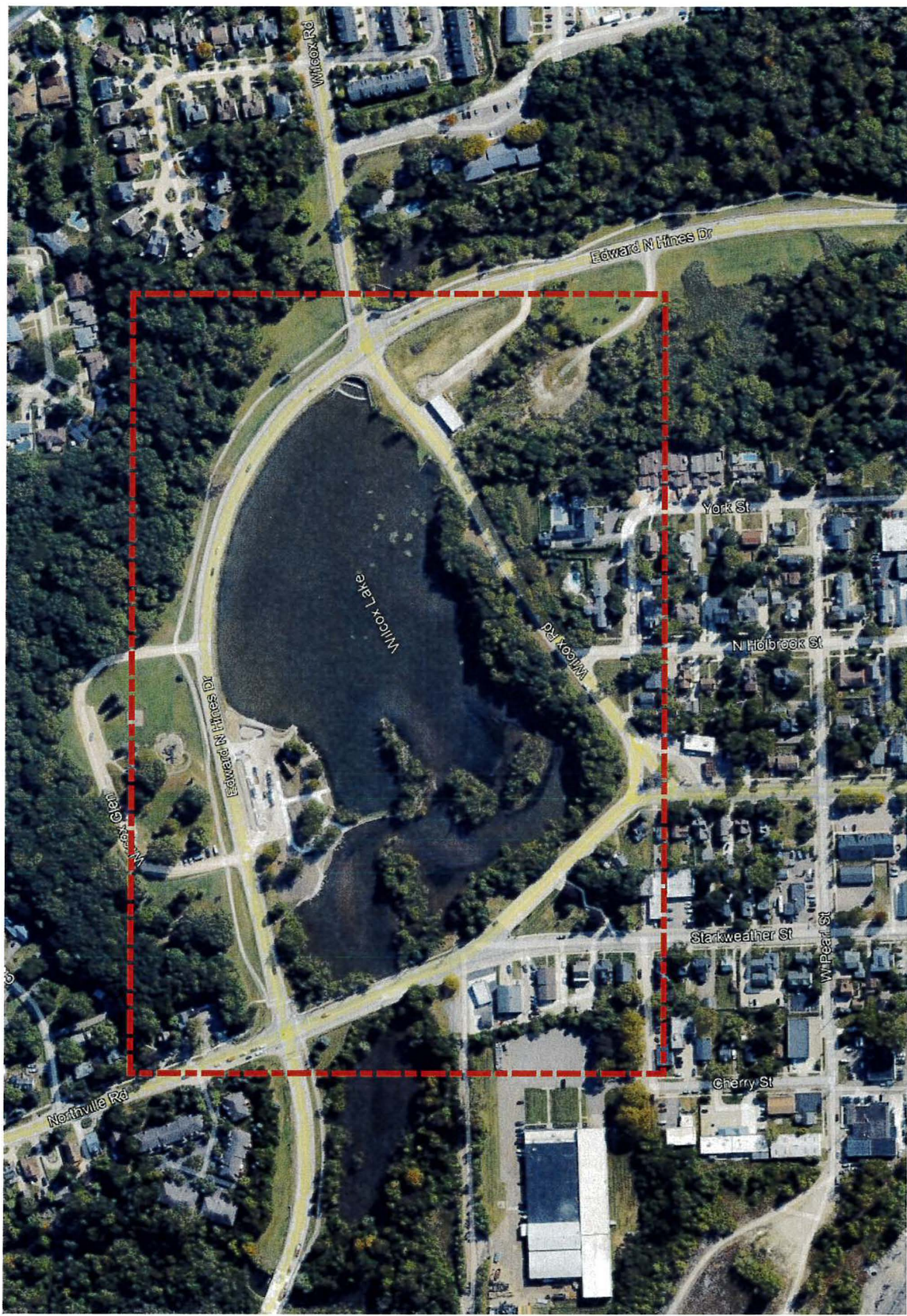
4/7/2026

Exhibit A: Map of Project Area



WILCOX LAKE COMMUNITY CONNECTION
PROJECT AREA
LOCATION MAP





WILCOX LAKE COMMUNITY CONNECTION
PROJECT AREA
VICINITY MAP



WILCOX LAKE COMMUNITY CONNECTION
PROJECT AREA
SITE AERIAL IMAGE

EXHIBIT B: INSURANCE COVERAGES

City, at its expense, or any contractors, subcontractors, consultants or agents retained by City (each a "Contractor"), at their own expense, shall procure and maintain for the duration of this Agreement, insurance against claims for injuries to persons or damages to property which may arise from or in connection with the performance of the services by the Contractor, its agents, representatives or employees. Contractor shall maintain at least the following minimum coverage:

Commercial General Liability (CGL)

Insurance Services Office Form CG 00 01 covering CGL on an "occurrence" basis, including products and completed operations, property damage, bodily injury and personal and advertising injury with limits no less than \$1,000,000 per occurrence. If a general aggregate limit applies, either the general aggregate limit shall apply separately to this Contract or the general aggregate limit shall be twice the required occurrence limit.

Umbrella or Excess Liability

Policy in an amount not less than \$3,000,000. Umbrella or excess policy wording shall be at least as broad as the primary or underlying policy(ies) and shall apply both to the Contractor's general liability and to its automobile liability insurance and shall be written on an occurrence basis. The County, officials, employees and others as may be specified in any "Special Conditions" shall be named as an additional insured under this policy.

Automobile Liability

Insurance Services Office Form Number CA 0001 covering, Code 1 (any auto), or if Contractor has no owned autos, Code 8 (hired) and 9 (non-owned), with limits no less than \$1,000,000 per accident for bodily injury and property damage.

Workers' Compensation

Insurance as required by the State of Michigan, with Statutory limits, and employer's liability insurance with limits of no less than \$1,000,000 per accident for bodily injury or disease.

Professional Liability (if Design/Build)

Insurance appropriate to the Contractor's profession, with limits no less than \$3,000,000 per occurrence or claim, \$3,000,000 aggregate.

Builder's Risk (Course of Construction)

Insurance utilizing "All Risk" (Special Perils) coverage form, with limits equal to the completed value of the project and no coinsurance penalty provisions.

Contractors' Pollution Legal Liability and/or Asbestos Legal Liability and/or Errors and Omissions (if project involves environmental hazards)

Insurance with limits no less than \$1,000,000 per occurrence or claim, and \$2,000,000 policy aggregate.

If the Contractor maintains higher limits than the minimum insurance coverage required as stated above in this Exhibit, the Contractor shall maintain the coverage for the higher insurance limits for the duration of this Agreement.

Additional Insured Status

The County, its officers, officials, employees, volunteers, and others as may be specified in any "Special Conditions" shall be additional insureds on the CGL policy with respect to liability arising out of work or operations performed by or on behalf of the Contractor including materials, parts, or equipment furnished in connection with such work or operations. General liability coverage can be provided in the form of an endorsement to the Contractor's insurance (at least as broad as ISO Form CG 20 10 11 85 or both CG 20 10 and CG 20 37 forms if later revisions used).

Primary Coverage

For any claims related to this Agreement, the Contractor's insurance coverage shall be primary insurance as respects the County, its officers, officials, employees, and volunteers. Any insurance or self-insurance maintained by the County, its officers, officials, employees, or volunteers shall be excess of the Contractor's insurance and shall not contribute with it.

Notice of Cancellation

Each insurance policy shall state that coverage shall not be canceled, except with notice to the County.

Waiver of Subrogation

Contractor grants to the County a waiver of any right to subrogation which any insurer of the Contractor may acquire against the County by virtue of the payment of any loss under such insurance. Contractor agrees to obtain any endorsement that may be necessary to affect this waiver of subrogation, but this provision applies regardless of whether or not the County has received a waiver of subrogation endorsement from the insurer.

Deductibles and Self-Insured Retentions

Any deductibles or self-insured retentions must be declared to and approved by the County. The County may require the Contractor to provide proof of ability to pay losses and related investigations, claim administration, and defense expenses within the retention.

All insurance must be effected under valid and enforceable policies, issued by recognized, responsible insurers qualified to conduct business in Michigan which are well-rated by national rating organizations. All companies providing the coverage required shall be licensed or approved by the Insurance Bureau of the State of Michigan and shall have a policyholder's service rating no lower than A:VII as listed in A.M. Best's Key Rating guide, current edition or interim report.

Claims-made Policies

If any of the required policies provide coverage on a claims-made basis:

1. The retroactive date must be shown and must be before the date of this Agreement or the date the Contractor starts to perform the services.
2. Insurance must be maintained and evidence of insurance must be provided for at least five (5) years after completion of this Agreement.
3. If coverage is canceled or non-renewed, and not replaced with another claims-made policy form with a retroactive date prior to this Agreement's effective date, the Contractor must purchase "extended reporting" coverage for a minimum of five (5) years after completion of Agreement work.

Verification of Coverage

Contractor shall furnish the County with original certificates and amendatory endorsements or copies of the applicable policy language effecting coverage required by this Exhibit. The County shall receive and approve all certificates and endorsements before the Contractor begins providing services. Failure to obtain the required documents prior to commencement of services shall not waive the Contractor's obligation to provide them. The County reserves the right to require complete, certified copies of all required insurance policies, including endorsements required by this Exhibit, at any time.

Subcontractors

Contractor shall require and verify that all subcontractors maintain insurance satisfying all the stated requirements, and Contractor shall ensure that the County is an additional insured on insurance required from subcontractors.

Special Risks or Circumstances

The County reserves the right to modify these requirements, including limits, based on the nature of the risk, prior experience, insurer, coverage, or other special circumstances.

- The Contractor must submit certificates evidencing the insurance to the County Risk Management Division at the time the Contractor executes an agreement with the City, and at least fifteen (15) days prior to the expiration dates of expiring policies.

R E S O L U T I O N

The following Resolution was offered by Comm. _____ and seconded by Comm. _____.

WHEREAS, The City of Plymouth Five-Year Strategic Plan identifies improving non-motorized access and connectivity between the Old Village area and Hines Park; and

WHEREAS, Wayne County owns and operates Hines Park and has expressed a willingness to partner with the City to advance planning for improved access; and

WHEREAS, The proposed Intergovernmental Agreement provides for Wayne County to contribute up to \$160,000 toward the cost of concept design and preliminary engineering for a multi-modal access path connecting Mill Street, Wilcox Road, and Hines Drive; and

WHEREAS, The City of Plymouth will serve as the lead agency for the project and will be responsible for project management and any costs exceeding the County's contribution; and

WHEREAS, The City Attorney and City's Insurance Provider have reviewed and approved the Intergovernmental Agreement; and

WHEREAS, The City Commission finds that entering into this Agreement is in the best interest of the City and its residents by promoting safe, non-motorized transportation and enhancing access to regional recreational assets.

NOW, THEREFORE, BE IT RESOLVED that the Plymouth City Commission hereby approves the Intergovernmental Agreement between the City of Plymouth and the County of Wayne for Concept Design and Preliminary Engineering for a Multi-Modal Access Path to Hines Drive; and

BE IT FURTHER RESOLVED that the Mayor is authorized to execute the Agreement on behalf of the City of Plymouth and to take all necessary actions to implement the terms of the Agreement.



Administrative Recommendation

City of Plymouth
201 S. Main
Plymouth, Michigan 48170-1637

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

To: Mayor & City Commission
From: Chris S. Porman, City Manager
CC: S:\Manager\Porman Files\Memorandum - Wayne County Hazard Mitigation Plan 05-04-26.docx
Date: April 27, 2026
RE: Wayne County Hazard Mitigation Plan 2025 Update

Background

The City participates with Wayne County in Emergency Management Hazard Mitigation Planning, which aims to reduce risks from natural, human, and technological hazards through identification and evaluation. Adoption of a Hazard Mitigation Plan also ensures eligibility for FEMA disaster funding should it be declared as such.

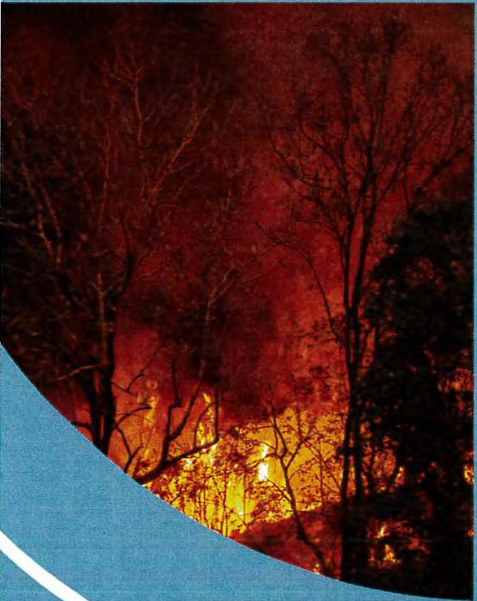
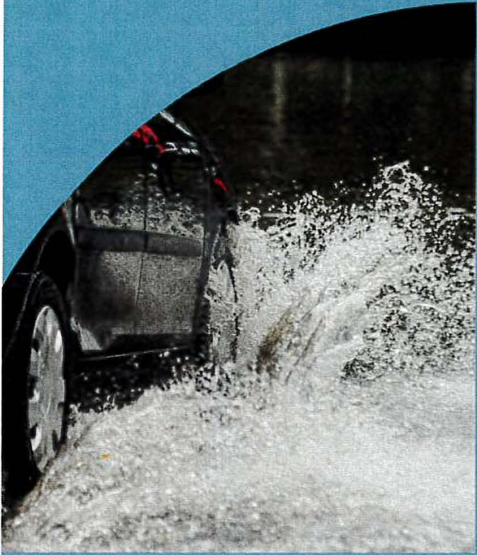
The Disaster Mitigation Act of 2000 requires communities to maintain a FEMA-approved plan, updated every five years, to qualify for certain mitigation grants. Approval is granted by the City Commission.

Wayne County's Office of Homeland Security and Emergency Management has provided an Executive Summary, attached for your review. The full report exceeds 450 pages; copies are available upon request. Relevant sections specific to the City of Plymouth are included.

Recommendation

City Administration has worked with Wayne County's Department of Homeland Security and Emergency Management to develop the plan and associated mitigation strategies.

Wayne County has prepared a proposed Resolution for City Commission consideration. Please contact Al Cox or me with any questions prior to the meeting.



Wayne County Hazard Mitigation Plan 2025 Update

Wayne County Hazard Mitigation Plan

Revision Number/Date: February 5, 2026

Publication Date: February 5, 2026

Executive Summary

Wayne County Hazard Mitigation Plan

The Wayne County, Michigan 2025 Hazard Mitigation Plan (the Plan) is a comprehensive plan that aims to reduce the impact of natural, technological, and man-made hazards on the region's communities, infrastructure, and environment. This plan identifies and assesses potential risks, outlines proactive measures to minimize vulnerabilities, and provides a framework for enhancing the County's resilience to disasters. By engaging local stakeholders, government agencies, and the public, the Plan prioritizes actions that protect lives, mitigate economic losses, and enhance the County's capacity to recover from future hazards. Through this collaborative effort, Wayne County is committed to building a safer and more sustainable future for all its residents.

This Plan serves as an update to the 2020 Hazard Mitigation Plan for Wayne County, following the 2006 and 2013 updates. All municipalities in Wayne County (listed below), except for the City of Detroit, were considered in the preparation of the Plan. The City of Detroit has its own separate Department of Homeland Security and Emergency Preparedness, Local Emergency Preparedness Committee, and separate hazard mitigation planning process. All communities listed are continuing participants unless stated. Communities listed in italics are included in the Plan but did not participate in the 2025 update planning process.

Allen Park, City of	Lincoln Park, City of
Belleville, City of	Livonia, City of
Brownstown Township	Melvindale, City of
Canton Township	Northville, City of
Dearborn, City of	Northville, Township of
Dearborn Heights, City of	Plymouth, City of
Ecorse, City of	<i>Plymouth, Township of</i>
Flat Rock, City of	Redford Township
Garden City, City of	River Rouge, City of
Gibraltar, City of	Riverview, City of
<i>Grosse Ile Township</i>	Rockwood, City of
Grosse Pointe, City of	Romulus, City of
Grosse Pointe Farms, City of	Southgate, City of
<i>Grosse Pointe Park, City of</i>	Sumpter Township
Grosse Pointe Shores, Village of	Taylor, City of
Grosse Pointe Woods, City of	Trenton, City of
Hamtramck, City of	Van Buren Township
<i>Harper Woods, City of</i>	<i>Wayne, City of</i>
Highland Park, City of	Westland, City of
Huron Charter Township	<i>Woodhaven, City of</i>
Inkster, City of	Wyandotte, City of

The Plan Process

This Plan was developed with the assistance of the Wayne County Department of Homeland Security and Emergency Management and other representatives and leaders from Wayne County communities, the Michigan State Police Emergency and Homeland Security Management Division, and numerous stakeholders. Over 90 individuals were

Wayne County Hazard Mitigation Plan

Revision Date: January 27, 2026

Publication Date: January 27, 2026

involved in the preparation, evaluation, and community outreach components of this Plan, facilitated by ASTI Environmental. The Plan was prepared by an Advisory Committee comprising local emergency response personnel, public works department staff, elected officials, and regional agency leaders. This committee provided evaluation and assessment, assisted with community outreach, and facilitated the adoption of the Plan. This collaborative approach ensures that the Plan reflects the needs and concerns of all stakeholders.

Hazard mitigation aims to reduce the loss of life and property from hazards that occur in the County by protecting its residents' health, safety, and economic interests. Additional goals of this Plan are:

- Retain access to Federal Emergency Management Agency (FEMA) funding for the County and its communities by complying with Section 104 of the Disaster Mitigation Act of 2000 (42 USC 5165)
- Provide a basis for identifying and mitigating hazards that affect the County and its communities
- Develop a method to incorporate hazard identification and mitigation into the planning process of the County and its communities

Specific tasks for this Plan included the following:

- Identifying Hazards and Risks
- Developing a Hazard History
- Developing a Community Profile
- Assessing Vulnerabilities
- Defining Community Goals and Objectives
- Identifying and Prioritizing Hazard Mitigation Strategies
- Developing Action Plans for a Select List of Mitigation Strategies
- Preparing a Draft Report for County, Municipal, and Public Review
- Soliciting County, Municipal, and Public Feedback
- Preparing a Final Report
- Providing Community Outreach and Communication
- Documenting the Planning Process
- Adopting the Final Plan

Hazard Assessment

The Advisory Committee selected the following hazards to represent County-wide concerns using historical research, surveys, workshops, and community and public meetings. Prioritizing these ten hazards does not diminish the significance of any other hazards evaluated, but provides a method for the County to focus its mitigation activities and resources.

- Thunderstorms – including Hail, Lightning, and Severe Wind.
- Flooding – all types.
- Tornadoes.

Wayne County Hazard Mitigation Plan

Revision Date: January 27, 2026

Publication Date: January 27, 2026

- Criminal Acts – Mass Shootings/Active Assailant(s).
- Cyber Attacks – Network Disruptions.
- Transportation Accidents – Rail.
- Infrastructure Failure causing Flooding.
- Winter Hazards – including Snow, Ice, and Sleet.
- Acts of Terrorism.
- Hazmat Incidents – including Stored Energy Systems.

Hazard Mitigation

The Advisory Committee selected mitigation strategies for county-wide consideration based on cost-effectiveness, technical feasibility, ability to accomplish the objectives, planning effort required, and protection of critical facilities and infrastructure. Input was gathered from surveys, community meetings, and workshop discussions. The ten strategies listed below were then developed into final county-wide Action Items.

Objective #1: Plan and Train

- 1.1: Unified Response Training and Exercises
- 1.2: Training for Hazardous Materials Incidents
- 1.3: Develop Response Plans for Key Locations

Objective #2: Analyze

- 2.1: Cybersecurity Assessment
- 2.2: Review Floodplain Mapping and Engineering Plans
- 2.3: Vulnerability Assessment for Terrorist Acts

Objective #3: Conduct

- 3.1: Ensure Readiness at Critical Facilities (Emergency Power)
- 3.2: Improve Emergency Communications Systems

Objective #4: Maintain

- 4.1: Protect Communications from EMP
- 4.2: Upgrade Aging Infrastructure

For comparison, the final county-wide action items from the 2020 Wayne County Hazard Mitigation Plan are listed below.

Criminal Acts: Mass Shooting(s)/Active Assailant(s)

- 1. Continue training in the most current protocols and develop a process for requesting assistance from local and state law enforcement.

Infrastructure Failure

- 2. Identify, prioritize, and replace or renovate aging structures and equipment. Establish procedures to protect IT systems.

Public Health Emergencies

Wayne County Hazard Mitigation Plan

Revision Date: January 27, 2026

Publication Date: January 27, 2026

3. Stockpile vaccines and antidotes; train & equip volunteers to staff open/closed points of dispensing (PODs).
4. Develop and use mass media notification systems for public health emergencies (establish Wayne County geo-targeting/geo-fencing methods for notifications using Facebook, Nixle, Twitter, etc.).

Extreme Temperatures

5. Establish and build awareness of accessible heating/cooling centers in the community. Utilize all means available, including websites, social media, smartphone apps, mailers, etc., to inform the public of impending weather threats and resources available, including heating & cooling shelters.
6. Educate the public regarding safe use of office and home space heaters, generators, smoke detectors & carbon monoxide detectors.
7. Catalog & map areas of vulnerable and other residents (unlicensed facilities, empty/vacant buildings, etc.). Provide outreach and transportation to vulnerable and normally hard-to reach populations during extreme temperature events.

Hazardous Materials (HazMat) Incidents – Transportation

8. Utilize public warning systems and networks for public awareness and instructions in the event of hazardous materials incidents.

Flooding – River/Shoreline

9. Identify and map, or update existing maps of, floodplains and flood-prone areas. Leverage new ArcGIS online applications with MI CIMS sponsored by Michigan State Police and FEMA Risk MAP, incorporating the Great Lakes Coastal Flood Study. Provide training for local jurisdiction use and access.

1. Introduction

Wayne County faces a variety of natural, technological, and human-made hazards that pose risks to life, health, property, and the environment. Under the Federal Disaster Mitigation Act of 2000, local governments are required to develop a Hazard Mitigation Plan (HMP) to be eligible for funding aimed at mitigating the impacts of disasters, both before and after they occur. In compliance with this requirement, Wayne County has developed this multi-jurisdictional Hazard Mitigation Plan (the Plan) to better understand the significant hazards within the County, assess their potential impacts, and identify strategies to reduce those risks.

The Plan was created with input and guidance from the Wayne County Department of Homeland Security & Emergency Management, community members, local officials, and leaders from the County's municipalities, along with support from the Michigan State Police Emergency Management and Homeland Security Division and a range of other stakeholders.

Wayne County Hazard Mitigation Plan

Revision Date: January 27, 2026

Publication Date: January 27, 2026

The community has recently been focused on training to mitigate the hazard of active shooters in schools and other locations.

Existing Authorities, Policies, & Programs and Ability to Expand These

Northville Township participates in the National Flood Insurance Program and administers flood-prone area protections under Chapter 82 of the Township's Code of Ordinances. In addition to tools regulating floodplain development, their Code of Ordinances also includes regulations for hazardous waste cleanup, oil and gas operations, and Sewer and water infrastructure.

Additional programs and policies could address the community concerns noted regarding hazardous materials and the development of safe rooms for tornadoes and high winds.

5.2.27 City of Plymouth

The City of Plymouth is home to 9,038 people. Single-family housing constitutes 35.8%, and TCU makes up 21.7% of the Township's land use. Fifty-six percent of the community is categorized as an impervious surface.

Hazard Priorities

The City of Plymouth has a history of flooding problems. Large storms and the associated flooding of Tonquish Creek, particularly in the vicinity of Ann Arbor Trail and Harvey Streets and the areas immediately surrounding this location, are of greatest concern to city officials.

Two railroad lines run through the City of Plymouth. According to City representatives, a hazmat emergency could have a devastating effect on the citizens of Plymouth. Trains could block intersections in the city, interfering with timely emergency response, particularly in the event of a derailment at a road crossing.

The 35th District Court's presence in the City of Plymouth creates the potential for civil disturbances to affect citizens.

Existing Authorities, Policies, & Programs and Ability to Expand These

Plymouth participates in the National Flood Insurance Program and administers flood-prone area protections under Article XV of the City's Code of Ordinances. In addition to tools regulating floodplain development, Plymouth's Code of Ordinances also includes regulations for soil erosion control, stormwater management, fire prevention and emergency services, law enforcement, and communications and infrastructure.

Additional programs and policies could be implemented to mitigate the impacts of impervious surfaces and resulting flooding concerns, as well as address the community's concerns regarding railroad crossings.

5.2.28 Plymouth Township

Plymouth Township has remained relatively stable since 2000, with just over 27,000 individuals. The largest period of growth in the Township's population was between 1960

Wayne County Hazard Mitigation Plan

Revision Date: January 27, 2026

Publication Date: January 27, 2026

2025 Mitigation Strategies: Strategies from the 2020 hazard mitigation plan are currently ongoing.

6.3.27 City of Plymouth

2013 Mitigation Strategies: 1) Request financial assistance from the railroad companies for the purchase of hazmat equipment. In addition, provide for advanced technology which will route emergency vehicles around congested railroad crossings when responding to emergencies (Hazard Addressed: Hazmat Incidents – Transportation). Progress: ONGOING

2) Provide an engineering study to lessen the impact that floods have on people, property, and the environment (Hazard Addressed: Flooding). Progress: The City posted information regarding pre-disaster hazard mitigation grant funding on their website following the federal disaster declaration from the 2014 flooding throughout southeast Michigan. This remains a priority hazard for the City.

Priority: High

3) Train emergency responders regarding hazardous material response (Hazard Addressed: Hazmat Incidents - Transportation) Progress: Ongoing

4) Train police in civil disturbance response together with Western Wayne Mobile Field Force (Hazard Addressed: Civil Disturbance). Progress: Ongoing

2020 Mitigation Strategies: 1) The City will continue with the ongoing strategies it has listed above.

Person/Agency Responsible: Emergency Mgr/City Manager

Known/Potential Funding: General fund, grants, railroad funds

Anticipated Completion Timeline: Ongoing

How action will be prioritized: Budget review, grant & investment availability

2025 Mitigation Strategies: Strategies from the 2020 hazard mitigation plan are currently ongoing.

RESOLUTION

The following Resolution was offered by _____ and seconded by _____

WHEREAS The City Commission of the City of Plymouth recognizes the threat that natural hazards pose to people and property within the City of Plymouth; and

WHEREAS Wayne County Department of Homeland Security and Emergency Management has prepared a multi-hazard mitigation plan, hereby known as Wayne County Hazard Mitigation Plan 2025 Update in accordance with federal laws, including the Robert T. Stafford Disaster Relief and Emergency Assistance Act, as amended; the National Flood Insurance Act of 1968, as amended; and the National Dam Safety Program Act, as amended; and

WHEREAS Wayne County Hazard Mitigation Plan 2025 Update identifies mitigation goals and actions to reduce or eliminate long-term risk to people and property in the City of Plymouth from the impacts of future hazards and disasters; and

WHEREAS Adoption by the City Commission of the City of Plymouth demonstrates its commitment to hazard mitigation and achieving the goals outlined in the Wayne County Hazard Mitigation Plan 2025 Update.

NOW THEREFORE, BE IT RESOLVED BY THE City Commission of the City of Plymouth, MI, THAT: the City Commission of the City of Plymouth adopts the Wayne County Hazard Mitigation Plan 2025 Update. While content related to the City of Plymouth may require revisions to meet the plan approval requirements, changes occurring after adoption will not require the City Commission of the City of Plymouth to re-adopt any further iterations of the plan. Subsequent plan updates following the approval period for this plan will require separate adoption resolutions.

ADOPTED by a vote of ____ in favor and ____ against, and ____ abstaining, this ____ day of _____, _____.

By: _____ (print name)

ATTEST: By: _____ (print name)

APPROVED AS TO FORM: By: _____ (print name)



Administrative Recommendation

City of Plymouth
201 S. Main
Plymouth, Michigan 48170-1637

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

To: Mayor & City Commission
From: Chris S. Porman, City Manager
CC: S:\Manager\Porman Files\Memorandum - Solid Waste Contract Consent to Change of Control 05-04-26.docx
Date: April 28, 2026
RE: Solid Waste Contract Consent of Change of Control

Background

The City's solid waste hauler, Priority Waste LLC has notified the City of Plymouth of a pending ownership transaction in which TPG, a large global asset manager, will acquire a controlling equity interest in the company. The investment includes at least \$150 million in new capital, which Priority states will strengthen its financial position and support ongoing service delivery, including equipment investments and improvements to recycling infrastructure.

The proposed change is strictly at the ownership (equity) level and does **not** involve assignment of the City's contract to a different entity. Priority Waste LLC will remain the contracting party, and all terms, conditions, and service obligations under the current agreement will remain unchanged and fully enforceable. Priority also indicates that there will be no interruption to services, no changes to service standards, and no operational impacts to the City. The company's existing leadership team and operations will continue as-is following the transaction.

As part of this transaction, Priority is requesting the City's formal consent, as required under the existing waste services agreement. City consent would formally acknowledge that the ownership change is permitted under the agreement, does not constitute a default or termination event, and will allow the contract to continue uninterrupted without modification. This type of consent is customary for transactions of this nature. This has been reviewed by the City Attorney there are no issues to report.

Recommendation

City Administration recommends the City Commission authorize the signing of the Consent to Change of Control form as provided by Priority Waste and authorize the Mayor to sign on behalf of the City. We have included a letter from the Director of Municipal Relations of Priority Waste and the form for reference. There is an attached resolution for consideration and should you have any questions, in advance of the meeting, please feel free to contact myself or the City Attorney.



April 21, 2026

City of Plymouth
Attn: Chris Porman, City Manager
201 S Main
Plymouth, MI 48170

RE: Consent to Change of Control

Dear Mr. Porman,

We previously communicated that we have received the support of our key financial stakeholders, including TPG and Ares Capital, who are committed to the business and ensuring our financial stability. As you may know, TPG is a \$300 billion asset manager with experience in our industry. I'm pleased to update you that TPG has agreed to invest at least \$150 million of new capital into our business and strengthen our long-term financial position. Priority Waste intends to deploy this capital to position ourselves for success and bolster our ability to continue providing premier service to our customers on a long-term basis, including by funding truck purchases and our Indian Summer recycling center.

Once the transaction is effectuated, there will be a change in our ownership structure, though our services to you will continue uninterrupted. TPG, which will be our primary equity owner at the close of the transaction, is a long-time lender and partner to our team. They know our leaders, business, and operations well. With TPG's deep knowledge of the waste and environmental services business, we will have a partner who understands the unique needs of municipal customers and is committed to helping us be an industry leader. Our leadership team will continue to work with you just as we have, and we expect there to be no impact to our operations as a result of the agreement, transaction, and change in the ownership structure.

We are reaching out to seek your support and consent related to this change in our ownership structure. Attached is a written consent form that we ask you to review and return. This type of consent is a routine and customary part of transactions like this one. We don't anticipate any changes to the terms or scope of our agreements with you, and we are committed to making this as straightforward and seamless as possible by working closely with you every step of the way.

Our focus remains on our commitment to delivering the highest quality services for our customers and the communities we serve. We will continue to provide updates as there is information to share.

We appreciate your continued support of Priority Waste.

Paul Ruthenberg

Director of Municipal Relations



Consent to Change of Control

Priority wishes to inform you that it has entered into a transaction pursuant to which TPG, a global asset manager with over \$300 billion in assets under management on behalf of pension funds, corporations, foundations, sovereign wealth funds, and individual investors, will acquire a controlling equity interest in Priority (the "Transaction").

The Transaction constitutes a change of control at the equity ownership level of Priority. Importantly:

- Priority Waste LLC will remain the contracting party under the Agreement
- There will be no assignment of the Agreement to a different operating entity
- All services will continue to be provided by Priority without interruption

Following the closing of the Transaction:

- Priority will continue to perform all obligations under the Agreement
- There will be no change to Priority's service standards or operational commitments
- All existing terms and conditions of the Agreement will remain in full force and effect

To the extent that the Agreement requires notice and/or consent for a change of control, we respectfully request that you:

1. Acknowledge and consent to the Transaction; and
2. Confirm that such change of control does not constitute a default or termination event under the Agreement

By providing such consent, you agree that:

- The Transaction is permitted under the Agreement
- No additional approvals, notices, or waiting periods are required under your Agreement
- The Agreement shall continue uninterrupted following the closing of the Transaction

For the avoidance of doubt:

- This Transaction does not constitute an assignment of the Agreement
- The Agreement remains unchanged except for the indirect change in ownership of Priority
- All of your rights and obligations under the Agreement remain fully enforceable

Your consent will become effective as of the closing date of the Transaction.

We appreciate your continued partnership and are confident that this Transaction will further strengthen Priority's ability to deliver high-quality service.



If you have any questions, please contact Sam Caramagno, VP of Municipal Relations, 734-812-5732, scaramagno@prioritywaste.com.

Very truly yours,

Priority Waste LLC

By: _____

Name: Vincent Hoyumpa

Title: Interim Chief Executive Officer

Date:

AGREED AND CONSENTED TO:

City of Plymouth

By: _____

Name:

Title:

Date:

RESOLUTION

The following Resolution was offered by Comm. _____ and seconded by Comm. _____.

WHEREAS, The City of Plymouth offers solid waste and recycling collection and disposal/recycling in an effort to help protect the public health, safety and welfare, and

WHEREAS, Priority Waste LLC, the City of Plymouth's contracted solid waste hauler, has notified the City of a pending ownership transaction in which TPG, a global asset manager, will acquire a controlling equity interest in the company; and

WHEREAS, the transaction constitutes a change in ownership at the equity level only and does not involve assignment of the City's existing contract, with Priority Waste LLC remaining the contracting party and all terms, conditions, and service obligations continuing in full force and effect; and

WHEREAS, the City's consent is required under the existing agreement to acknowledge that the ownership change is permitted, does not constitute a default or termination event, and allows the contract to continue uninterrupted, and such consent has been reviewed by the City Attorney with no issues identified.

NOW, THEREFORE, BE IT RESOLVED, that the City Commission of the City of Plymouth hereby authorizes the execution of the Consent to Change of Control form provided by Priority Waste LLC; and

BE IT FURTHER RESOLVED, that the Mayor is authorized to sign the Consent to Change of Control on behalf of the City.



Administrative Recommendation

City of Plymouth
201 S. Main
Plymouth, Michigan 48170-1637

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

To: Mayor & City Commission
From: Chris S. Porman, City Manager
CC: S:\Manager\Porman Files\Memorandum - Emergency Purchase Confirmation Compressors - PCC - 05-04-26.docx
Date: April 29, 2026
RE: Emergency Purchase Confirmation Tandem Scroll Compressor

Background

On March 31, 2026, the City Commission was notified of an emergency authorization to replace and install two new compressors, which operates our dehumidification system at the ice arena in the Cultural Center. The system prevents condensation and fogging inside the arena and prevents water dripping from the ceiling onto the ice. The previous units have lasted 15 years.

Staff worked with our mechanical contractor, Altech Mechanical Service, for pricing on the units as well as the labor for the installation. The estimate was \$19,000-\$20,000 and the final cost for the compressors, labor, other parts, and the boom truck was \$19,743.21.

Recommendation

The City Administration recommends that the City Commission confirm the emergency purchase authorization for replacement and installation of the two compressors at the Cultural Center.

We have attached a proposed Resolution for the City Commission to consider regarding this matter. Should you have any questions in advance of the meeting please feel free to contact me.

FW: Emergency Authorization - Compressor

From Alexandris, Athanasios <aalexandris@plymouthmi.gov>
Date Mon 4/6/2026 9:32 AM
To Porman, Chris <cporman@plymouthmi.gov>

From: Alexandris, Athanasios
Sent: Tuesday, March 31, 2026 1:07 PM
To: Group - Commission <commission@plymouthmi.gov>
Subject: Emergency Authorization - Compressor

Good Afternoon,

We were informed by the staff at the Cultural Center that the 'Tandem Scroll Compressor' for the ice arena dehumidification unit has failed after 15 years of service. This was confirmed by our mechanical contractor as well. This compressor works in conjunction with the desiccant wheel and a 10,000-cfm process fan to manage humidity levels in the arena. The system is essential for preventing fogging, condensation on the boards and glass, and dripping from the ceiling beams—all of which create safety hazards and increase maintenance demands on the ice surface.

Chris has authorized via the Charter for the staff at the Cultural Center to proceed with an emergency replacement of that unit including installation. This is anticipated to be approximately \$19k-\$20k. Once the full invoice amount is received it will be presented to the City Commission at a future meeting for confirmation. Due to the placement of the unit on the roof of the old Zamboni garage and the challenges associated with accessing the unit, there may be some unforeseen expenses related to the replacement.

Should you have any questions, please feel free to contact me.



Athanasios (Tom) Alexandris
Director of IT/HR

aalexandris@plymouthmi.gov
Phone 734-453-1234 extension 201
201 S Main, Plymouth, MI 48170





CITY OF PLYMOUTH

www.plymouthmi.gov

Recreation Department
Plymouth Cultural Center
525 Farmer
Plymouth, MI 48170

Phone 734-455-6620

Memo

To: Chris Porman, City Manager

From: Steve Anderson, Recreation Director

CC:

Date: 4-29-26

Re: Emergency Dehumidification Tandem Compressor Replacement

Maintaining proper environmental conditions within an ice arena is essential for operational efficiency, user safety, and the long-term integrity of the facility. The dehumidification system in particular plays a critical role in controlling the proper relative humidity and dew point in the arena, both of which directly affect ice quality, energy consumption, structural preservation, and the prevention of mold and mildew in moisture-rich environments.

Recently, the 15-year-old tandem scroll compressors in the dehumidification unit failed, which may also have damaged certain electrical components, including the electrical contacts and possibly a 120-amp breaker on the main distribution panel (MDP). Emergency repairs were required as soon as possible to restore the system to proper and safe operation.

Following the compressor failure, we contacted Altech Mechanical Services LLC of Ann Arbor to diagnose and expedite restoration of the system. Replacement compressors, the associated parts, and boom-truck were fortunately available within ten days.

The total cost for replacing the Copeland tandem scroll compressors including HVAC labor, copper brazing, new electrical contacts, 410A refrigerant, and the boom-truck services for rooftop placement was \$19,743.21. This expense will be charged to the Recreation Operating Repairs and Maintenance budget (208-261-930.000). A budget amendment will be required in one of the final two quarters of the fiscal year to accommodate this unplanned repair.

Please contact me with any questions or if additional information is needed.

Invoice



7885 Jackson Rd. Ste. 4
ANN ARBOR, MI 48103
(734) 669-6100

DATE	04/27/2026
INVOICE #	14473
TERMS	NET 30

BILL TO
Plymouth Cultural Center Ice Arena Plymouth Cultural Center Ice Arena 525 Farmer Street Plymouth MI 48170

SERVICE LOCATION
Plymouth Cultural Center Ice Arena Plymouth Cultural Center Ice Arena 525 Farmer Street Plymouth MI 48170

JOB#	DATE	PO	DESCRIPTION
1086793709	04/14/2026		To provide and install two new compressors. - Recover refrigerant from both circuits - Use of boom truck to lift new compressors and remove existing compressors down safely. - Recycle old compressors respectfully - Remove and replace filter driers in both circuits - Braze in new compressors and then pressurize with nitrogen - Install two new compressor contactors - Pull vacuum under 500 microns - Re-use existing refrigerant that was recovered. - Perform start up and test operation - Check amp draw, rotation, and charge system per name plate - If additional 410A refrigerant is needed it will be at a rate of \$31 per LBS Price does NOT include: - Overtime/After hour labor - Parts/Equipment not stated above - Work beyond the above scope - Refrigerant Completion Notes: 4/14/26 Recovered system charge. Unwired line and control voltage to both compressors. Disconnected both compressors and removed from unit.

		<p>Sealed old compressors for transport and disposal.</p> <p>4/15/26 Changed both compressors, filter drier, contactors. Placed system on vacuum overnight.</p> <p>4/16/26 Changed bad crankcase heater for #2 compressor. Charged system and started operation. Checked pressures, superheat, and subcooling. Operation OK. Found the circuit breaker in main distribution panel is overheating and may be bad. Customer is having electrician replace breaker.</p>
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Description	Qty	Rate	Total
Thank you for your continued business!			\$0.00
CONTRACT	1.00	\$19,743.21	\$19,743.21

CUSTOMER MESSAGE

A 3.5% fee will be added for payments made via credit or debit card. A service charge per month of either \$50.00 or 1.5% of invoice total will be added on Accounts over (30) days. A \$50 charge will be added for all returned checks.

Invoice Total:	\$19,743.21
Payments (-):	\$0.00
Total Due:	\$19,743.21

RESOLUTION

The following Resolution was offered by Comm. _____ and seconded by Comm.

_____.

WHEREAS The City of Plymouth maintains a variety of buildings and from time to time the buildings are in need of repairs or upgrades, and

WHEREAS The Plymouth Cultural Center had two compressors fail on the building's dehumidification systems, and

WHEREAS These compressors are necessary in the operation of the ice arena to prevent condensation and fogging, and

WHEREAS The City Administration authorized the emergency repairs and notified the City Commission of the emergency situation and the actions that were taken.

NOW THEREFORE BE IT RESOLVED THAT the City Commission of the City of Plymouth does hereby confirm the emergency replacement and installation of two compressors and related installation costs. This authorization is in the amount of \$19,743.21 for purchase and installation work performed by Altech Mechanical Service. Funding for this authorization is from the Recreation Fund (208-261-930.000).



Administrative Recommendation

City of Plymouth
201 S. Main
Plymouth, Michigan 48170-1637

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

To: Mayor & City Commission
From: Chris S. Porman, City Manager
CC: *S:\Manager\Porman Files\Memorandum - Solid Waste Contract Consent to Change of Control 05-04-26.docx*
Date: April 29, 2026
RE: Riverside Cemetery – Mausoleum Repairs – Construction Manager

Background

Riverside Cemetery has served the City of Plymouth for nearly 150 years and in addition in-ground burial options also includes mausoleum structures designed to provide above-ground interment. The Garden Mausoleum, constructed in 1989, was intended to expand capacity around the original 1920s Mausoleum structure; however, over time it has exhibited persistent design flaws, construction deficiencies, and ongoing maintenance challenges. These include failing granite panel attachment systems (which when fails causes the granite to fall and shatter), corrosion of fastening hardware, and water infiltration caused by inadequate flashing and waterproofing. Despite maintenance and periodic repairs, the condition of the structure has continued to decline.

The burial industry has shifted significantly toward cremation. While approximately 70% of crypt (full-body) spaces in the Garden Mausoleum remain unsold with declining demand, all niche (cremains) spaces have been sold out for nearly two years, demonstrating a clear need to realign the facility with current preferences.

In response, the City Commission identified mausoleum repairs in their 2024 One-Year Tasks and authorized Ehresman Architects to develop a conceptual renovation plan. Through multiple meetings with the Cemetery Board of Trustees in 2025, the project evolved beyond a straightforward repair effort into a more complex renovation requiring creative and adaptable solutions. Because many of the proposed improvements do not involve one-for-one replacements, traditional design-bid-build specifications would be difficult to define and could limit contractor participation and innovation.

To address these challenges, City staff—working with Ehresman—engaged local contractors to develop preliminary cost input and evaluate delivery methods. Based on this process, the Construction Manager (CM) approach emerged as the preferred method. The Construction Manager approach is a project delivery method in which a construction professional is engaged early in the design process to collaborate with the owner and design team. The Construction Manager provides input on cost estimating, scheduling, materials, and constructability while the design is still being developed, helping to identify efficiencies and avoid potential issues. During construction, the CM coordinates subcontractors, manages day-to-day operations, and oversees quality and scheduling. This approach often includes a guaranteed maximum price or similar structure, shifting the risk of cost overruns to the

Construction Manager. Compared to the traditional design-bid-build method, the CM approach allows for greater flexibility and adaptability, making it particularly well-suited for complex or renovation projects where conditions may change. The City has successfully used this method on prior projects, including the Cultural Center generator installation.

Following outreach and a formal request for proposals, staff received responses from multiple firms and conducted a thorough evaluation. Shaw Construction of Livonia, Michigan, was identified as the most responsive and qualified company. Their submission demonstrates a strong understanding of the project goals, includes detailed coordination with subcontractors, and reflects a proactive approach to problem-solving and value engineering.

The project is included in the FY 2025–2026 Capital Improvement Plan with a total budget of \$1,100,000. While the full scope of long-term needs exceeds current available funding, the Construction Manager approach is expected to maximize the work completed within the approved budget. Even with some allowances for certain aspects of the project that brings the proposal from Shaw slightly above the budget, using a Construction Manager form of contract provides that any cost overruns beyond the budget are the responsibility of the Construction Manager with no additional funds expended by the City.

The budget for this project was broken down into multiple lines items that can be summarized as follows:

Retrofit existing crypt/niche fasteners	\$650,000
Demo/retrofit/install new niches (Couch Crypts)	\$40,000
Retrofit/install new glass niches	\$90,000
Cemetery Board recommended against this and instead recommended these funds be put towards expanding the new niches at the Couch Crypts	
Demo/retrofit/install new niches (Unit A & D)	\$320,000
Total	\$1,100,000

Recommendation

City Administration recommends the City Commission approve the Construction Manager Services Contract with Shaw Construction for the Riverside Cemetery Garden Mausoleum Renovation Project in an amount not to exceed \$1,100,000. Funding for these projects come from the Capital Improvement Account 101-900-976.276. In addition, City Administration recommends a 5% contingency which will be funded through operational supplies/contractual services from the Cemetery Fund in an amount not to exceed \$55,000.00. There is an extensive memo from Assistant DMS Director Adam Gerlach and Community Development Director and City Planner, Greta Bolhuis. They have been the leads on this project and have worked extensively with the Cemetery Board, Architect, and met with the potential Construction Managers.

There is a proposed resolution attached and should you have any questions in advance of the meeting, please feel free to contact myself, Adam, or Greta.



City of Plymouth

Department of Municipal Services

1231 Goldsmith, Plymouth, MI

734-453-7737

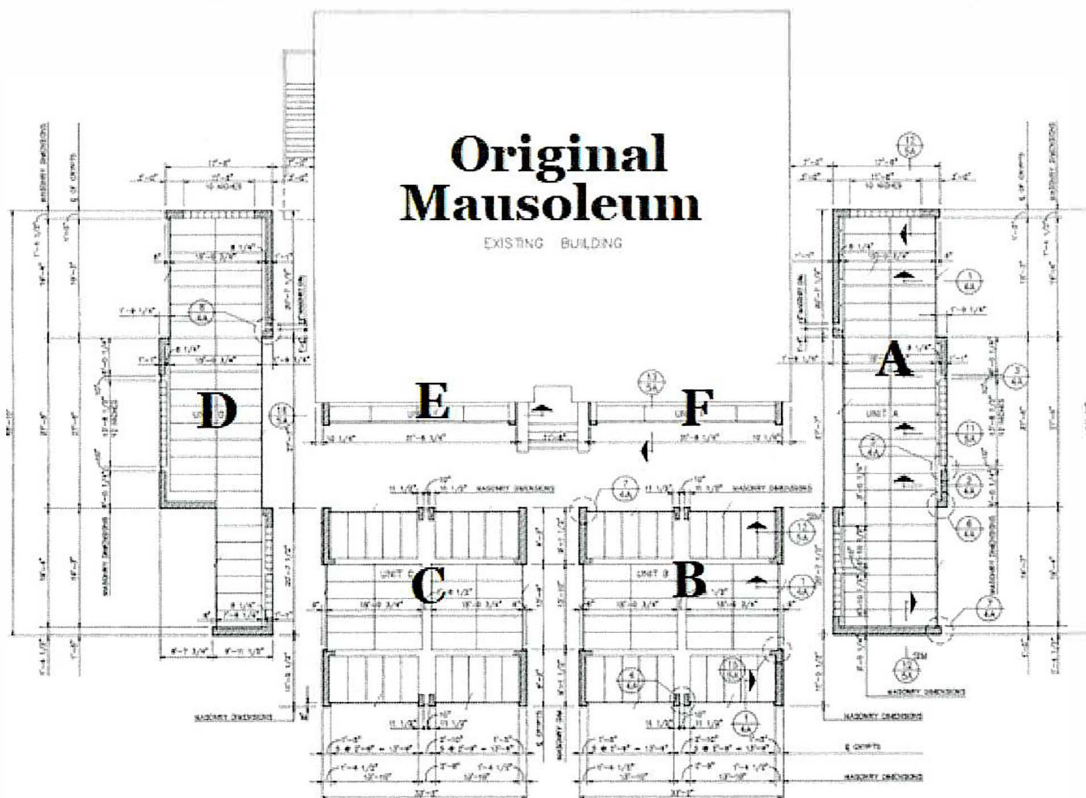
dms@plymouthmi.gov

Date: April 29, 2026
To: Chris S. Porman, City Manager
From: Adam Gerlach, Assistant Director of Municipal Services
Greta Bolhuis, AICP, Planning and Community Development Director
Re: Riverside Cemetery Garden Mausoleum Renovation Construction Manager Proposal

Background:

As you are aware, the City of Plymouth has owned and operated Riverside Cemetery for almost 150 years. The cemetery grounds include numerous gravesites and burial plots as well as a mausoleum with crypt (full-body casket entombment) and niche (cremation inurnment) spaces. The mausoleum buildings (Riverside Mausoleum and Riverside Garden Mausoleum) provide an above ground alternative to in-earth burial. These structures are designed and intended to provide a final resting place in perpetuity.

The Riverside Mausoleum (original structure) was constructed in the late 1920s. The original building is designed as a traditional mausoleum where the burial crypts are enclosed inside of the structure. The original mausoleum crypts and niches have all been sold and nearly all spaces are fully occupied. In 1989, the Garden Mausoleum was constructed surrounding the "Original Mausoleum". The Garden Mausoleum is made up of six "open air" units where the burial crypts and niches are accessible from and exposed to the exterior. See the diagram below for the overall layout.



The Garden Mausoleum buildings (units) labeled A, B, C, and D are composed of single crypts, double crypts, and niches. The units labeled E and F are composed of side-by-side or “couch-style” crypts. There are single and double crypts in buildings A, B, C, and D available for sale, it should be noted that in building D all of the double crypts are unsold. It should also be noted that all niches have been sold, and the vast majority of the spaces are fully occupied. The units E and F crypts are all unsold.

There have been several documented design flaws, construction quality concerns, and ongoing maintenance challenges with the Garden Mausoleum since its construction 37 years ago. The list of issues includes but is not limited to: granite crypt front panels which fall off due to epoxy adhesive failure, panel fastening hardware failure due to corrosion and misalignment, frost heaving during winter months due to improper and/or failed flashing and waterproofing systems. Furthermore, in the decades since the design and construction of the garden mausoleum the market has shifted dramatically away from full body burials (crypts) to cremation burials (niches). The city now has to deal with a mausoleum building that is in disrepair, with nearly 70% of the crypts unsold, and sales that average approximately 3.5 per year with demand falling (average sales for the last 5 years is 2.2 crypt units). While at the same time, we have been completely sold out of niches for nearly 2 years (prior to selling out, sales averaged over 16 per year with rising demand).

City staff has tried to address the maintenance concerns, but at best, they were managing the most pressing issue at the time and there needed to be a more wholesale approach to upgrading the hardware, etc. The Cemetery Board of Trustees has been aware of and discussing the ongoing maintenance concerns with the Garden Mausoleum for the last few years. The mausoleum has continued to deteriorate since that time and in 2024 the City Commission identified a one-year task of “Plan/budget for mausoleum repair project at Riverside Cemetery” in the city’s Strategic Plan. The City Commission considered the proposal from Ehresman Architects at their May 20, 2024 meeting; and awarded a contract to Ehresman to develop a design concept for the repair and retrofit of the Garden Mausoleum. Following the successful conclusion of the concept design, city staff discussed moving forward to the next phase, which would include construction documents, bidding, and construction administration.

The Cemetery Board of Trustees met three times in 2025 to review and refine the project’s design. During these meetings, the Board provided clear direction and valuable feedback, which staff shared with Ehresman. That input was then incorporated into the concept plan. As discussions continued, it became clear that this was more than just a complex project, it was going to require creative solutions. The proposed replacement elements are not direct one-for-one substitutions, making it difficult to develop traditional bid specifications based on standard parts or materials. Attempting to define exact replacements could also limit contractor interest and reduce flexibility in how the work is completed.

With Ehresman’s support, city staff contacted local contractors to develop preliminary cost estimates. Based on this feedback, the Construction Manager approach was identified as the preferred project delivery method. Under this approach, the Construction Manager assumes responsibility for cost overruns while allowing flexibility in selecting materials, methods, and construction techniques.

The city has successfully used this approach on previous projects, including the generator installation at the Cultural Center. Ehresman will continue to provide design consultation and advance the project drawings as needed. They will also support on-site inspections and testing, performing functions similar to those typically handled by engineering on infrastructure projects.

In late 2025 city staff reached out to five construction manager companies to gauge interest in the project and share the preliminary design drawings Ehresman had completed. Staff met virtually and in-person with Oliver/Hatcher Construction, John DeMattia Construction, Spartan Construction, and Shaw Construction. Ram Construction did not respond to requests for meeting. In February 2026 city staff followed up with the five firms formally requesting proposals for the project. The request for proposals document is attached. We received three proposals back with various levels of detail. Oliver/Hatcher Construction was not interested, and again, Ram Construction did not respond.

After review, city staff recommends entering into a Construction Manager Services Contract of Shaw Construction of Livonia, MI. Their proposal demonstrates a clear understanding of the goals and desired outcomes of the renovation project which is to fix the known faults and defects of the Garden Mausoleum so that it may be well managed and maintained in perpetuity. The proposal from Shaw Construction is the most thorough and comprehensive of the proposals received. Shaw includes several examples of competitive bidding and Shaw has already gone beyond what was asked for by leveraging the expertise and experience of their sub-contractors. For example, Shaw understood our desire to switch to rosettes to improve operations, but they researched this option further by speaking to other cemeteries and suggested an alternative solution. Shaw's proposal proves to us what each sub-contractor will do for a specific price and they will continue to bid out the various sub-contractors required of this complex project to ensure we achieve as much of the project as possible.

The mausoleum renovation is budgeted for fiscal year 2025-2026 and funding was split as outlined below. Capital Outlay for FY25/26 for Cemetery is listed in the approved budget for the following four (4) line items:

Riverside – 2023 Reno Plan retrofit existing crypt/niche fastener system: \$650,000.00

Riverside – 2023 Reno Plan demo/retrofit/install new niches (Couch Crypts): \$40,000.00

Riverside – 2023 Reno Plan retrofit/install new glass for niches: \$90,000.00*

Riverside – 2023 Reno Plan demo/retrofit/install new niches (Unit A & D): \$320,000.00

**Note: Cemetery Board of Trustees reviewed the concept and preliminary design for new "glass-type" niches. After review and discussion, the board recommended against this portion of the project. The board recommended the funds be spent to demo/retrofit/install new niches at the Couch Crypts instead.*

Project #1 requires improvement to the fastening system that holds up the granite fronts, improvement to the stone walls, replacement of the roofs, improvement of the flashing and waterproofing of the mausoleum walls, and replacement of the damaged architectural pre-cast concrete.

Project #2 requires removal of the existing couch crypts along the original Mausoleum building and replacing them with a series of low columbarium walls with garden/landscape features.

Project #3 requires selective demolition of the double crypts in Units A and D to install six (6) new niche walls with a garden feature.

The city has budgeted a total of \$1,100,000 for this project. We are aware that the full needs for repairs and maintenance of the Garden Mausoleum and adjacent site areas exceeds the amount budgeted. In this context of the funds available, we are confident that the construction manager approach is going to get us closer to completing all the repairs and maintenance needed with our limited budget. A 5% contingency will come from other sources to include Operating Supplies and Contractual Services.

Recommendation:

City staff recommends that the City Commission approves the Construction Manager Proposal for the Garden Mausoleum proposal from Shaw Construction in the amount budgeted not to exceed \$1,100,000 as outlined in their proposal for the Riverside – Reno Plan Capital Outlay (for the specific line items listed above). In addition, City staff recommends a 5% contingency of \$55,000 which would come from Operating and/or Contractual Services Accounts should the need arise for any field changes.

If you have any questions, please contact us directly.



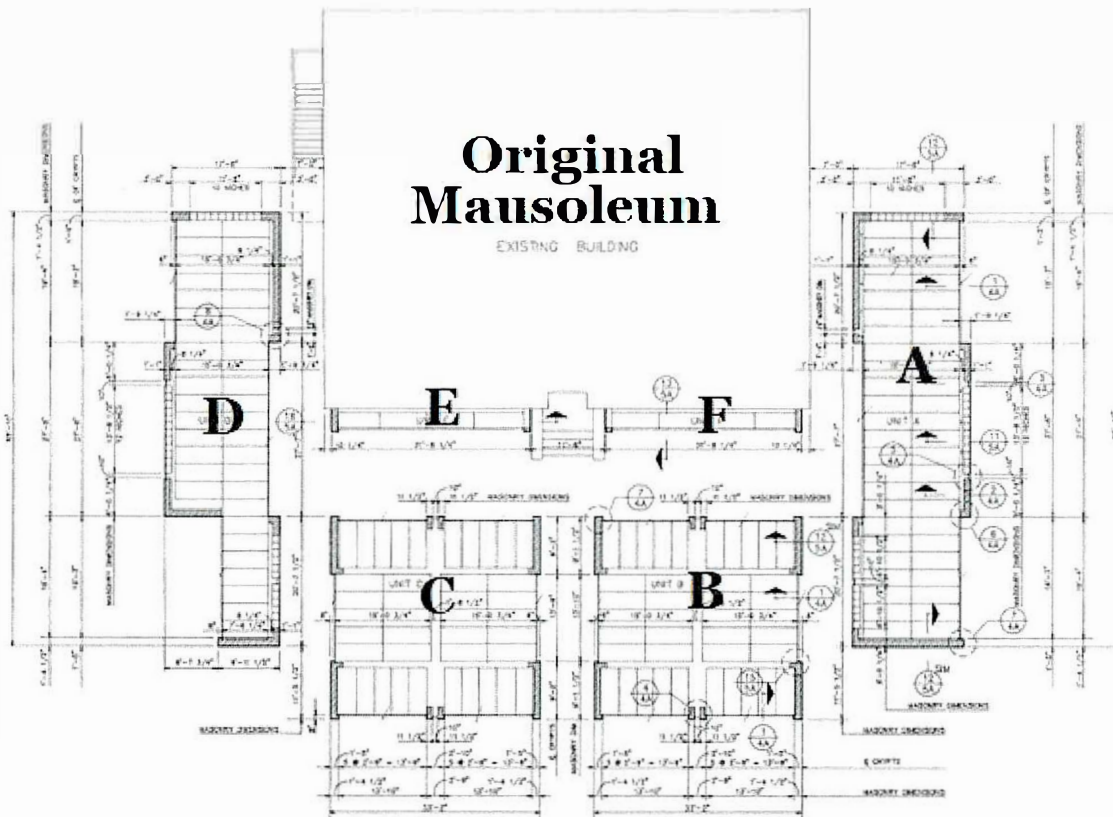
City of Plymouth Department of Municipal Services

City of Plymouth
201 S. Main
Plymouth, Michigan 48170

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

Solicitation for Construction Manager Proposal

It is the intent of the City of Plymouth to receive proposals for the three (3) capital improvement projects to the Riverside Cemetery Outdoor Garden Mausoleum. It is the goal of the City of Plymouth to respectfully repair the mausoleum for our existing owners and then create new niches to improve the mausoleum and to create saleable units. This complex was constructed in 1988 and is designated as Units A, B, C, D, E, and F. See image below.



 FLOOR PLAN

LEGEND
SYMBOLS FOR STRUCTURAL BLOCK CONSTRUCTION

Scope of Work

The specific projects the City of Plymouth wishes to accomplish are outlined below. The drawings completed by Ehresman Architects that were previously provided give the location of improvements, detail some of the construction, and general design of the work to be done. The specific projects are ranked #1 to #3 in priority order; 1 is the highest priority.

Project #1 is to retrofit and/or replace the existing crypt/niche fastener system, repair and/or replace degraded or damaged stone, replace roof, repair and/or replace flashing and waterproofing of the mausoleum walls and replace damaged architectural pre-cast concrete.

- a. Retrofit and/or replace the existing crypt/niche fastener system
 - i. Remove existing fastening system and granite fronts
 - ii. Store granite fronts
 - iii. Provide temporary coverage to niche and crypt fronts
 - iv. Install new fastening system
 - v. Modify existing granite fronts to accommodate new fastening system
 - vi. Reinstall granite fronts
- b. Repair and/or replace degraded or damaged stone
 - i. Repair mortar joints
 - ii. Repair salt damage and erosion
- c. Replace roof
 - i. Remove presumed original built up roof and replace with new roof system
 - ii. Roof membrane to be integrated with a new parapet cap, providing protection for wall system
- d. Repair and/or replace flashing and waterproofing of the mausoleum walls and replace damaged architectural pre-cast concrete
 - i. Correctly detail and install a new water management system
 - ii. Replace the existing degraded pre-cast concrete curbs at crypt walls with new

Project #2 is to remove the existing couch crypts (Units E and F) located along the original Mausoleum building. The city intends to construct a series of six (6) low columbarium walls with garden features.

- a. Remove existing couch crypts
 - i. Selective demolition of the couch crypts to minimize disturbance to the foundation of the original Mausoleum
- b. Construct a series of six (6) low columbarium walls with a garden feature
 - i. New low walls for "premium" niches to include matching fastening system and provide complementary granite fronts
 - ii. Create a garden feature space. All plants and landscaping are outside of the scope and will be completed by City of Plymouth after completion of construction.

Project #3 is to selectively demolish and remove the double crypts in Units A and D and install new niche walls as designed in the conceptual plan. The city intends to construct three (3) columbarium walls in each Unit with a garden feature.

- a. Selective demolition and removal of double crypts in Units A and D
 - i. Shown on plans in center third of the unit. Support and preserve surrounding walls.
 - ii. Note: Unit A is partially privately owned. The city is coordinating relocation. If relocation is not completed by the start of construction, the scope of work will eliminate this portion of the project.

- b. Construct three (3) columbarium walls in each Unit with a garden feature
 - i. New walls for niches installed at the perimeter of the former double crypt space. Walls to be integrated with the adjacent exposed structure shall include a matching fastening system and provide complementary granite fronts.
 - ii. Provide new poured concrete walkways adjacent to new columbarium walls.
 - iii. Create a garden feature space. All plants and landscaping are outside of the scope and will be completed by City of Plymouth after completion of construction.

Project Timeline

Due to the final scope of work not yet fully defined, the city plans to work in conjunction with the selected construction manager to finalize the feasible scope of work and timeline. It is estimated that pre-construction and permitting will take 2 months and construction will take 3-4 months.

Budget and Bidding Requirements

The current budgeted amount is \$650,000.00 for Project #1, \$130,000.00 for Project #2, and \$320,000.00 for Project #3 for a total amount not to exceed \$1,100,000.00. There is no bid bond requirement, and this project is not funded by any State or Federal dollars (so prevailing wage is not applicable). The project is in the fiscal year ending June 30, 2026. If money is not expended by the end of the fiscal year, then a clear plan will be jointly developed to determine when the project will be finalized.

Deliverables

It is the intent of the City of Plymouth to receive written project estimate/proposals for construction managers to accomplish the three capital improvement projects. Proposals should be detailed in the suggested divisions, as applicable:

- a. Demolition and removal
- b. Excavation and earthwork
- c. Poured concrete work
- d. Masonry work including architectural pre-cast concrete, CMU/concrete block, limestone, and granite
- e. Granite fronts and granite fastening system
- f. Roofing and Sheetmetal

General Notes:

- a. If additional design work is required, please price that as a standalone item.
- b. If proposal is offered as a project fee percentage, please provide that percentage.
- c. Please provide estimated pricing to complete each of the three projects and provide preliminary details on division of work that will be bid and sub-contracted and/or performed by the construction manager firm.

Selection and Contract

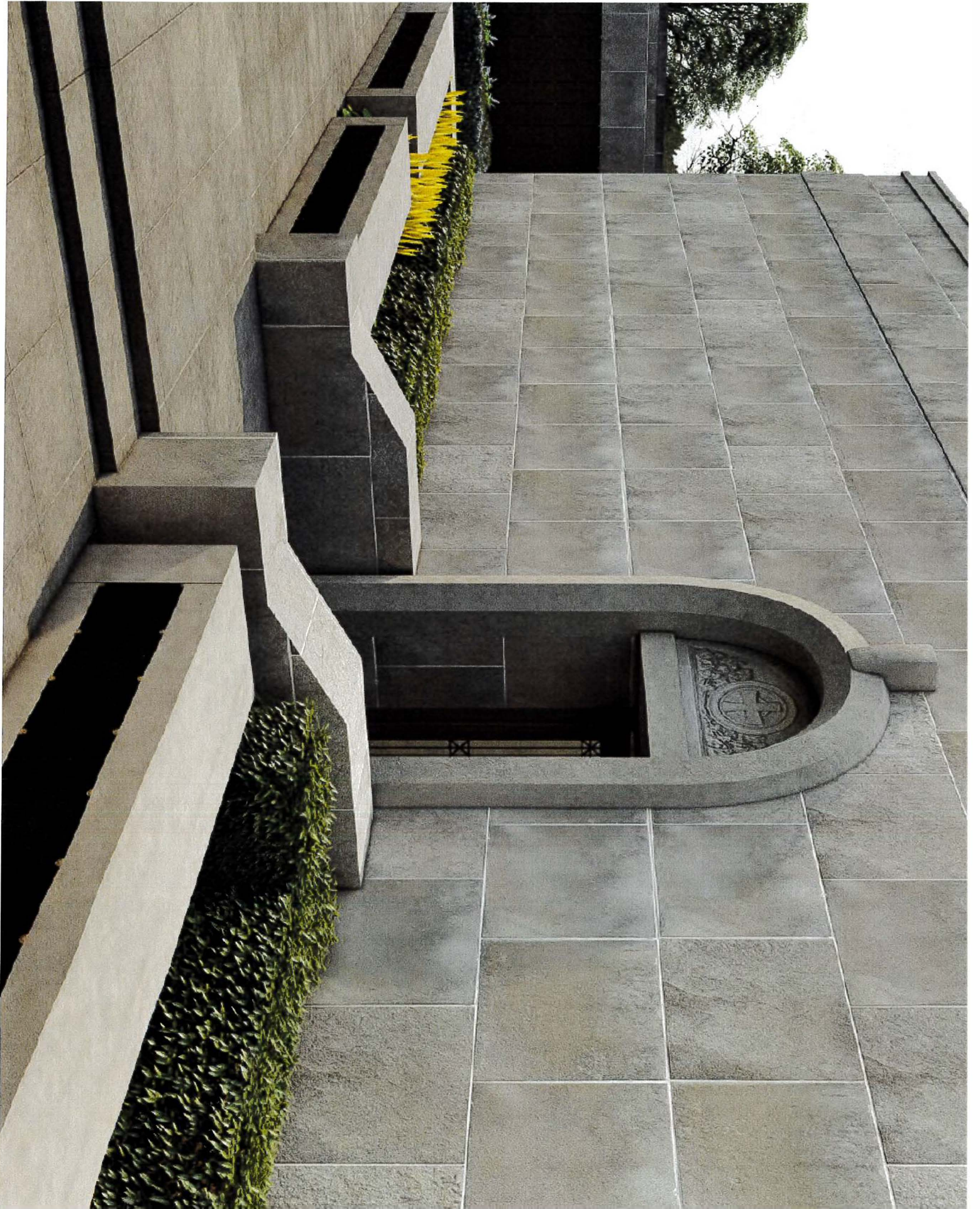
Once the construction manager firm is selected, a contract will be required. Insurance requirements are like other on-site contractors where the City of Plymouth is a named insured. Insurance to be provided during pre-construction timeline.

Supporting Services to be Provided by the City of Plymouth

The city will handle all communication and coordination with the existing families and owners, including relocation (temporary or permanent) of any remains. The city will handle public relations with visitors. The city will provide for the safe storage of any granite fronts or any other salvaged materials or elements to be reused. The city will waive all local permit fees. The city will provide electrical power for contractor use. City to provide on-site, temporary restroom facilities. City to provide disposal of concrete, soil, and other waste materials. The city will provide miscellaneous materials (sand, stone, soil, mulch, etc.) for the site work. The city will provide building inspections and material testing, as needed.

Please email Adam Gerlach at agerlach@plymouthmi.gov with any necessary clarifications.

Due: Tuesday, March 17, 2026





City of Plymouth Riverside Cemetery 680 Plymouth Road Columbarium & Mausoleum Improvements

City of Plymouth
680 Plymouth Road
Plymouth, MI 48170
Contact Name: Adam Gerlach, Assistant Director of
Municipal Services
Contact Phone: (734) 453-7737

ARCHITECT:



LANDSCAPE ARCHITECT:



STRUCTURAL ENGINEER:



LOCATION PLAN



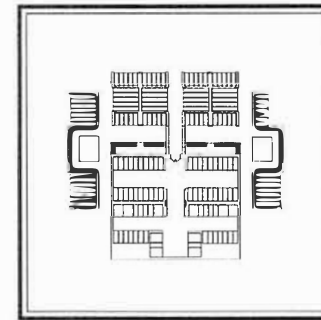
NOT TO SCALE

APPLICABLE CODES:

MICHIGAN BUILDING CODE: 2015 EDITION
 I LUMINA ADA LAW: CURRENT I.B.
 ACCESSIBLE AND USABLE BUILDINGS & FACILITIES ACT: 2007 EDITION

ZONING DISTRICT:

ZONING DISTRICT & DESCRIPTION BASED ON CITY ORDINANCE



BUILDING KEY PLAN



NOT TO SCALE

LIST OF ALTERNATES:

ALTERNATE #1: UNIT B & C ROOFING REPLACEMENT
 DUE TO THE PHYSICAL ASPECTS TO THE EXISTING ROOFING SYSTEM #10
 REPLACE WITH NEW TAPE INSULATION AND 60-MIL EPDM ROOFING. CONTRACTOR TO
 VERIFY THE EXISTING UNIT FOR STRUCTURAL STRENGTH FOR LIGHT BUILT UP ROOFING

LIST OF DRAWINGS

- 10 TITLE SHEET
- 1010 GENERAL INFORMATION
- ARCHITECTURAL DRAWINGS:
 - A1.10 SITE MEMORIAL SIGNAGE
 - A1.11 ELEVATION MEMORIALS
 - A1.12 WALL SECTION MEMORIALS
 - A1.13 MAUSOLEUM MEMORIALS PLAN
 - A1.14 FLOOR PLAN
 - A1.15 MAUSOLEUM PLAN
 - A1.16 LA FURNER ELEVATIONS
 - A1.17 EXTERIOR FINISHES
 - 1010 WALL SECTION
- LANDSCAPE DRAWINGS:
 - L1.00 DRAWING NAME
 - L1.01 DRAWING NAME
- STRUCTURAL DRAWINGS:
 - S1.00 DRAWING NAME
 - S1.01 DRAWING NAME

Design Development Review: 27 September 2024

Title Sheet



City of Plymouth
Riverside Cemetery
Columbarium & Mausoleum Improvements

Project No. 2024

TTL



ABBREVIATIONS

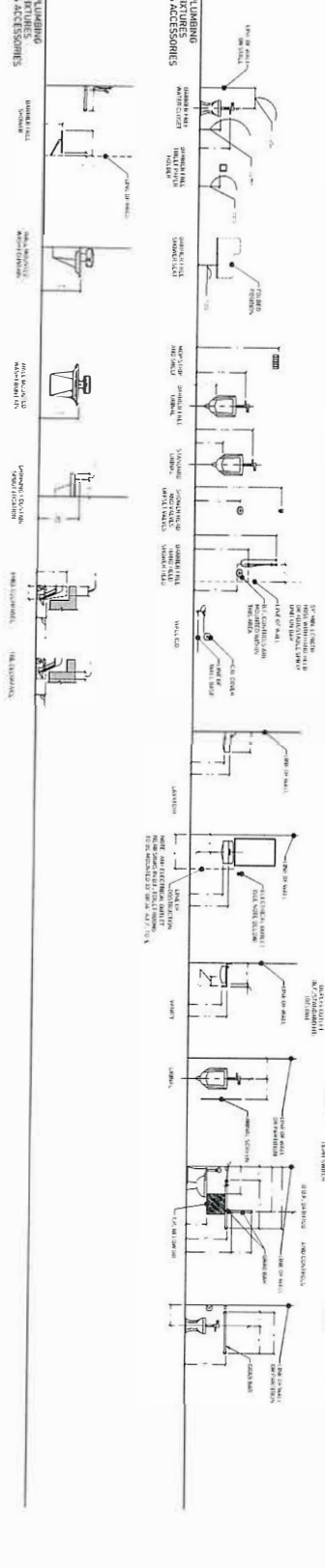
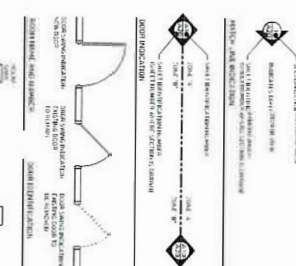
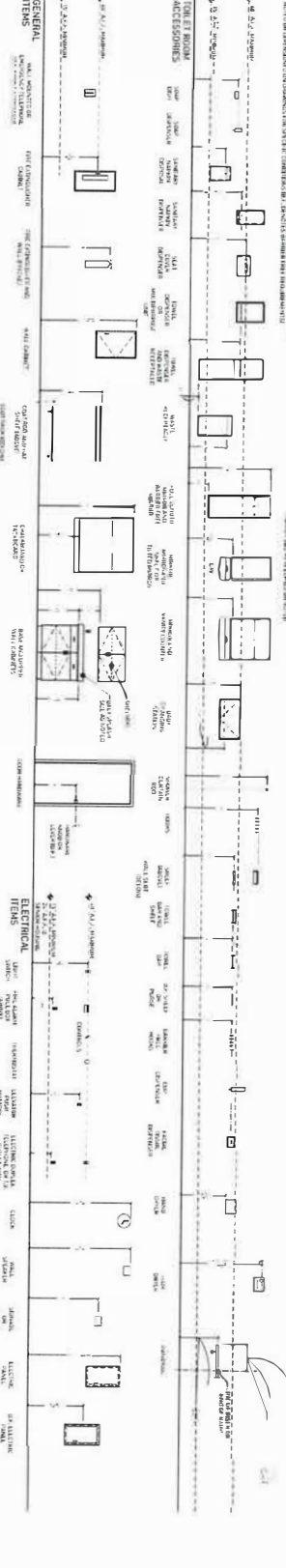
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1	AC	11	AC	21	AC	31	AC
2	AD	12	AD	22	AD	32	AD
3	AE	13	AE	23	AE	33	AE
4	AF	14	AF	24	AF	34	AF
5	AG	15	AG	25	AG	35	AG
6	AH	16	AH	26	AH	36	AH
7	AI	17	AI	27	AI	37	AI
8	AJ	18	AJ	28	AJ	38	AJ
9	AK	19	AK	29	AK	39	AK
10	AL	20	AL	30	AL	40	AL

TYPICAL MONITORING HEIGHTS



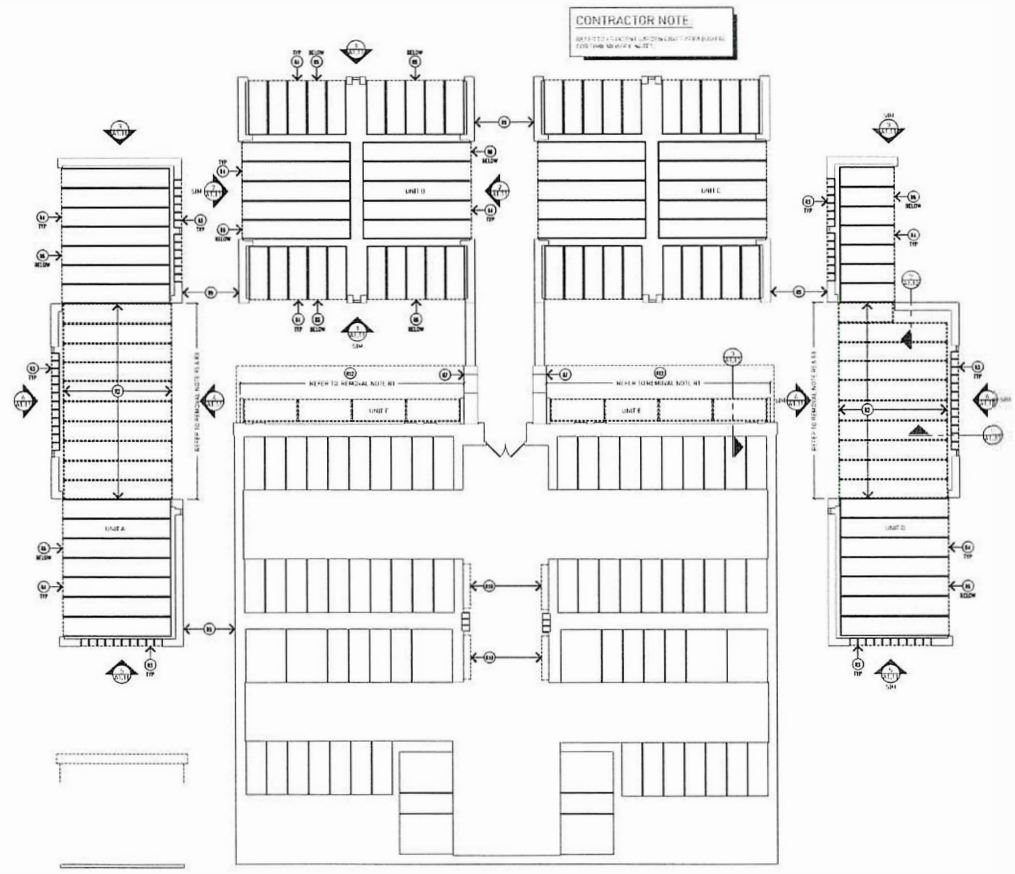
GENERAL NOTES

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND DRAWINGS.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
- 3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.



REFERENCE SYMBOLS

- 1. SEE ARCHITECTURAL DRAWINGS FOR SYMBOLS AND NOTATION.
- 2. SEE ELECTRICAL DRAWINGS FOR SYMBOLS AND NOTATION.
- 3. SEE MECHANICAL DRAWINGS FOR SYMBOLS AND NOTATION.



CONTRACTOR NOTE
 VERIFY ALL EXISTING CONDITIONS FOR REMOVAL
 FOR THIS PROJECT. SEE 101.

GENERAL NOTES:

01. DO NOT SCALE DRAWING. DRAWING SCALE IS GIVEN FOR GENERAL REFERENCE ONLY.
02. HOLD UP ALL EXISTING EXTERIOR WALLS OR CORNER OPERATIONS ON WORK.
03. PROTECT ALL EXISTING ITEMS TO REMAIN FROM CONSTRUCTION OPERATIONS SO AS TO NOT CAUSE DAMAGE.
04. ALL AREAS DETACHED OR DAMAGED BY CONSTRUCTION OPERATIONS SHALL BE PATCHED, REPAIRED, AND REFINISHED BACK TO EXISTING CONDITION.
05. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, INCLUDING ALL UTILITIES, BEFORE ANY WORK BEGINS TO ENSURE TO REMOVE THE WORK.
06. VERIFY ALL BEAMS AND WALLS ARE LEGAL, SOUND AND SUFFICIENTLY STRONG FOR EXISTING STRUCTURE. THE COST OF REPAIRS TO BE SAUNGE AND SHALL BE RETURNED TO THE OWNER.
07. REFER TO EXISTING GENERAL SPECIFICATIONS FOR FURTHER INFORMATION ON REMOVAL OR PATCHING TO BE REMOVED.
08. REFER TO EXISTING GENERAL SPECIFICATIONS FOR FURTHER INFORMATION ON REMOVAL OR PATCHING TO BE REMOVED.
09. POINT TO REMAIN, EXISTING GENERAL SPECIFICATIONS, SHALL BE REMOVED AND RE-PLACED. CONTRACTOR TO HOLD UP ALL EXISTING CONSTRUCTION.
10. REFER TO ALL EXISTING GENERAL SPECIFICATIONS TO BE REMOVED FOR A COMPLETE REMOVAL. CONTRACTOR TO HOLD UP ALL EXISTING CONSTRUCTION AND TO REMOVE QUANTITY OF JOINTS TO BE REMOVED.
11. POINT TO REMAIN, EXISTING GENERAL SPECIFICATIONS, SHALL BE REMOVED AND RE-PLACED. CONTRACTOR TO HOLD UP ALL EXISTING CONSTRUCTION.

REMOVAL NOTES:

01. EXISTING CONCRETE CURBS, CHIMNEYS, FOUNDATIONS, SLAB ON GRADE, ETC. COMPLETE.
02. EXISTING CONCRETE CURBS, CHIMNEYS, FOUNDATIONS, SLAB ON GRADE, ETC. COMPLETE.
03. EXISTING GENERAL SPECIFICATIONS AND CORRELATED EXISTING SYSTEMS, INCLUDING GENERAL SPECIFICATIONS, SHALL BE REMOVED. CONTRACTOR TO HOLD UP ALL EXISTING CONSTRUCTION.
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1 Site Removals Plan
 Scale: 1/8"=1'-0"

Design Development Review: 27 September 2024

Site Removals Plan

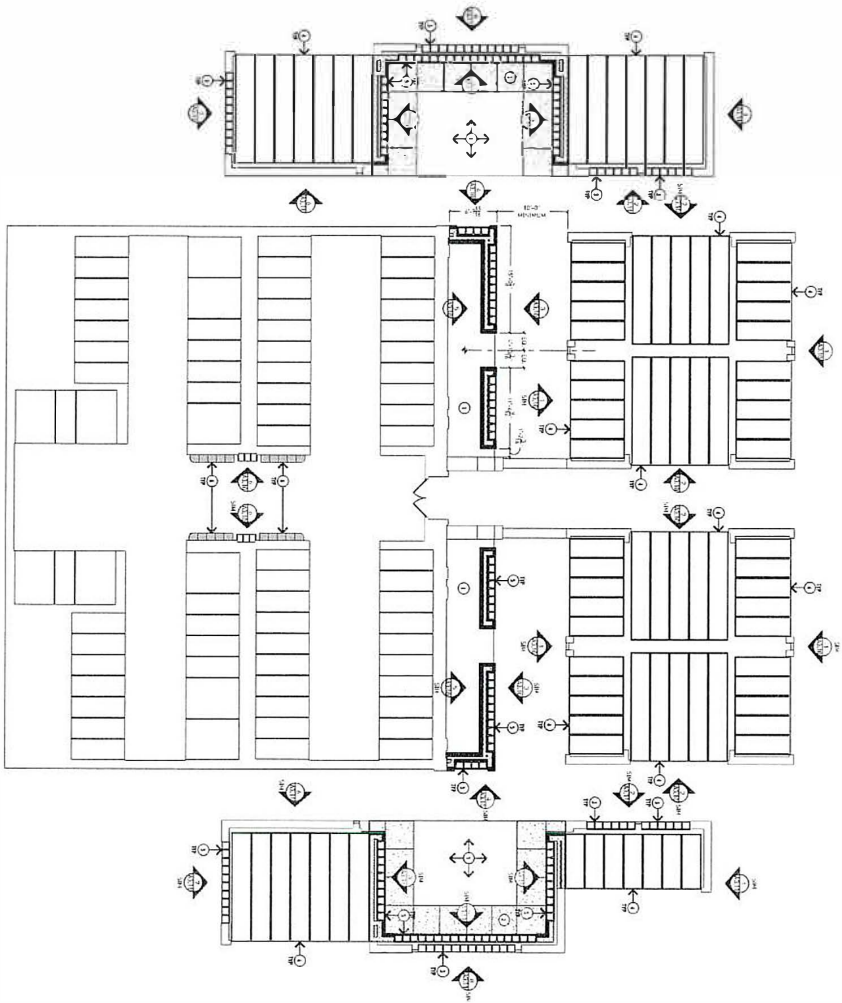
 City of Plymouth
 Riverside Cemetery
 Columbarium & Mausoleum Improvements



Project No. 3024

A1.10

101 W. BROAD ST., SUITE 100, PLYMOUTH, MA 01969



1.1 Site Plan
Scale: 1/8" = 1'-0"

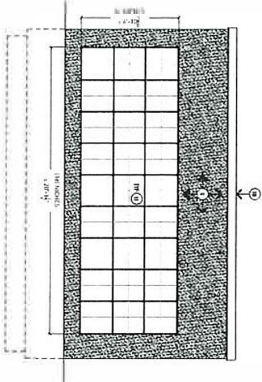
GENERAL NOTES:

01. SEE ALL NOTES AND SPECIFICATIONS, INCLUDING STATE AND FEDERAL REQUIREMENTS AND STANDARDS.
02. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
03. ALL UTILITIES SHALL BE LOCATED AND DEPTH NOTED PRIOR TO CONSTRUCTION.
04. ALL UTILITIES SHALL BE PROTECTED AND DEPTH NOTED PRIOR TO CONSTRUCTION.
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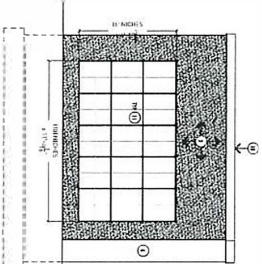
DRAWING NOTES:

01. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE.
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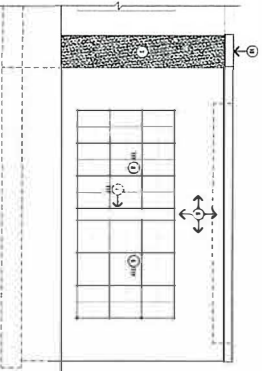




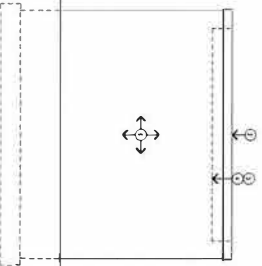
Unit A East Elevation
Scale: 1/4" = 1'-0"



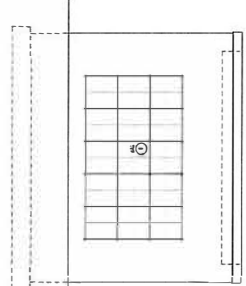
Unit A South Elevation
Scale: 1/4" = 1'-0"



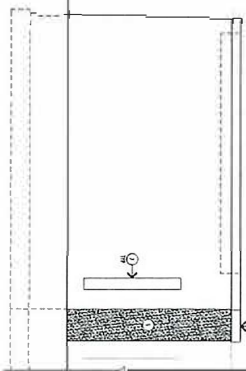
Unit A Partial East Elevation
Scale: 1/4" = 1'-0"



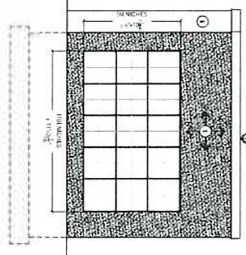
Unit A North Elevation
Scale: 1/4" = 1'-0"



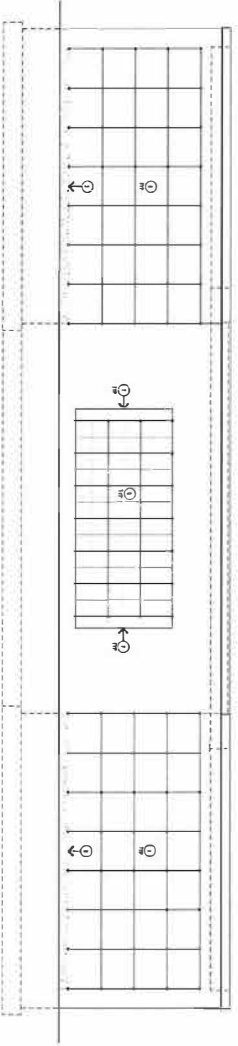
Unit A South Elevation
Scale: 1/4" = 1'-0"



Unit A Partial East Elevation
Scale: 1/4" = 1'-0"



Unit A North Elevation
Scale: 1/4" = 1'-0"



Unit A West Elevation
Scale: 1/4" = 1'-0"

GENERAL NOTES:

1. PROVIDE CURB, DRAINAGE, SLOPED SIDEWALK, AND OTHER NECESSARY DETAILS.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF PHOENIX SPECIFICATIONS.
3. PROVIDE ALL NECESSARY MATERIALS AND LABOR FOR THE COMPLETION OF THE PROJECT.
4. ALL WORK SHALL BE COMPLETED BY THE DATE SPECIFIED IN THE CONTRACT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES.
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Exterior Elevations

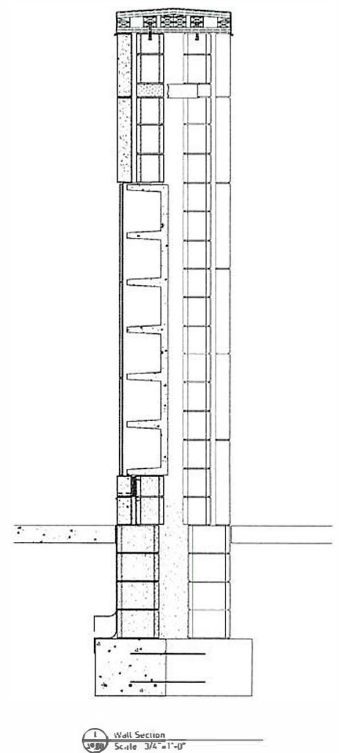
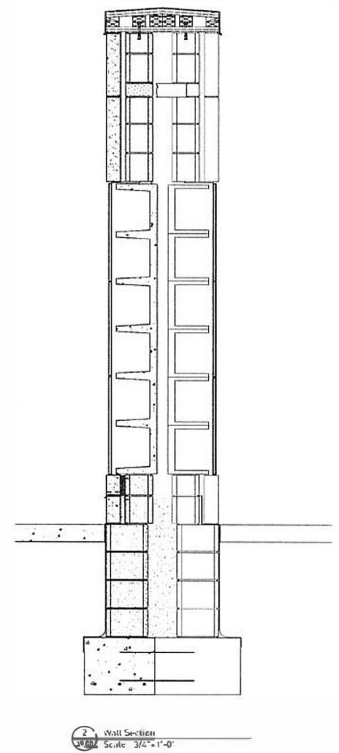
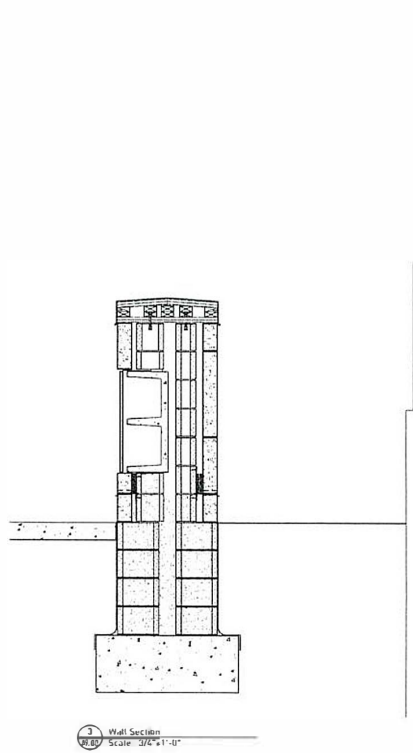
 City of Phoenix
 Riverside Cemetery
 Columbarium & Museum Improvements
 Project No. 2024

GENERAL NOTES:
 01 - EXISTING CONCRETE FOUNDATION FOR EXISTING MONUMENT ONLY
 02 -

REMOVAL NOTES:
 R1 -

EXISTING TO REMAIN:
 E1 -

DRAWING NOTES:
 1 -



Des-qa-Bc.dwg Rev. 27 September 2024

Wall Sections

EHRESMAN ARCHITECTS

City of Plymouth
 Riverside Cemetery
 Columbarium & Mausoleum Improvements

Project No. 3024 **A9.00**

100 N. Bay Street, Suite 200, Plymouth, MA 01959



- PLAN KEY**
- 1. RESTORED/ REPAIRED CONCRETE WALK
 - 2. EXISTING MAUSOLEUM
 - 3. NEW LOW NICHE WALLS
 - 4. NEW NICHE WALLS - MATCH HT
 - 5. NEW LANDSCAPE BEDS

SCHEMATIC LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"



deak
PLANNING + DESIGN
143 cadycenter #79
northville, mi 48167
deakplanningdesign.com

date: 2023-8-12 Review

PLANT PALETTE



GREEN VELVET BOXWOOD GREEN MOUNTAIN BOXWOOD SHORT N SWEET SUMMERSWEET GUARDIAN ANGE HOSTA BILLY STRING HOSTA LITTLE ROCKET LIGULARIA

SCHEMATIC LANDSCAPE PLAN
EHRESMAN
City of Plymouth
Riverside Cemetery
Columbarium Master Plan
Project No. 1323 Design A
sheet no. L.301

MANAGED. BUILT TOGETHER. SATISFACTION.

Riverside Cemetery Outdoor Garden Mausoleum Capital Improvements

CITY OF PLYMOUTH

REQUEST FOR PROPOSAL

CONSTRUCTION MANAGEMENT SERVICES

Attention: Adam Gerlach

Greta Bolhuis

SHAW CONSTRUCTION AND MANAGEMENT

COMMERCIAL & INDUSTRIAL GENERAL CONTRACTORS
PROPERTY MANAGEMENT



**CONSTRUCTION &
MANAGEMENT CO.**

COMMERCIAL & INDUSTRIAL
GENERAL CONTRACTORS



Shaw Construction and Management
Livonia, Michigan

Index

- Section A. Introduction, Firm Overview, Project Team
- Section B. Construction Management Approach and Responsibilities
- Section C. Response to RFP
- Section D. Budgets and Cost Review
 - a. Project 1 - Repair Existing
 - b. Project 2 - Replace Couch Crypts Units E/F
 - c. Project 3 - Replace Double Crypts Units A/D

13980 FARMINGTON ROAD ~ LIVONIA, MI 48154 ~ PHONE 734.425.6854

MANAGED.BUILT TOGETHER.SATISFACTION.



**CONSTRUCTION &
MANAGEMENT CO.**

COMMERCIAL & INDUSTRIAL
GENERAL CONTRACTORS

Contact Information

Theodore V. Barker, AC President

13980 Farmington Road

Livonia, MI 48154

Phone: 734.425.6854

Email: tbarker@shawcm.com

Website: www.shawcm.com

Section A. Company Overview



Construction Services & Property Management Services

The Shaw name is widely recognized as a provider of quality construction and management services and our reputation with customers, building officials, suppliers and sub-contractors is without equal. Clients find that our company is small enough to provide personal attention to their project, and at the same time, the staff at Shaw Construction and Management Co. brings talent and experience usually associated with much larger firms.

For decades, Shaw Construction & Management Co. has been a trusted partner for commercial and industrial clients across Michigan. Our mission is to deliver tailored solutions with the expertise of a skilled team committed to excellence. We provide a powerful synergy of construction management and property management services. With over 40 years of expertise, we'll show you what sets us apart.

We have experience in all aspects of construction as well a range of projects, from 250,000 sq. ft. department stores, to sophisticated medical facilities, to specialized industrial and retail build-outs. This diversity has provided exposure to virtually every construction method, venerable and leading-edge materials, and various trades and equipment. Our experience has sparked creative solutions to the challenges associated with all types of projects. *Since 1984*

Firm Overview

SHAW CONSTRUCTION AND MANAGEMENT

Established in Livonia, MI in 1984

13980 Farmington Rd.

Livonia, MI

www.shawcm.com

Key Contact: Theodore V. Barker, AC
President
Phone: 734.425.6854
tbarker@shawcm.com

EMR Rating: .76
Builders License#: 2101187372 Exp. 5/31/2027
Federal ID: 38-2578895
MESC #: 1001362
Duns Number: 131431322
Worker's Comp Carrier: Auto Owners Insurance Co.

Insurance/Bonding: Troy Metro Agency
248.813.8540 (office)
Contact: Patrick Esper

Banking: ORSA Credit Union
500 Harvey
Plymouth, MI 48170
734.453.1200
Contact: Melanie Szymanski

First Merchants Bank
41656 Ann Arbor Rd.
Plymouth, MI 48170
Angel Bomia

Accountant: Rehmann Robson
39300 West Twelve Mile Rd.
Farmington Hills, MI 48331
248.579.1100
Contact: Bryan Kearis

Organizational Structure and Project Team

Company Officers:

Theodore V. Barker, AC, President

Became President January 1, 2009, formerly Vice President A.Z. Shmina Construction, twenty years experience in all forms of commercial construction management, Past President and Current Board Member Washtenaw Contractors Association, Plymouth A.M. Rotarian and Vice President of Foundation, Vistage Member, Plymouth Canton Steelers Little League Football Unit Director, PARC Board of Director, Bachelors degree in business from Grand Valley State University.

Devin Duerr, Vice President

Employed by Shaw Construction and Management Co. since 2026. Oakland University. Oversees all field operations along directly overseeing certain construction projects as a General Superintendent.

Suzanne Provagna, Chief Financial Officer

Employed by Shaw companies since 1995. Finance Administration, University of Phoenix. Vistage Key Member. Oversees all office administration, account receivables, billings, and overall finances of Shaw Construction.

Shaw Construction and Management History

Our Company was incorporated in December of 1984, as a subsidiary of Shaw Electric Company. In 1996 Richard Barker and George Friess purchased the portion of stock owned by Shaw Electric and continued as equal partners. In 2009, long time employee, Vice-President Martin Rapson, and Mr. Barker's son, Theodore Barker, purchased Shaw from Mr. Barker and Mr. Friess while keeping the elder Barker employed as an estimator within the firm. Commercial and industrial general contracting/construction management/design build work constitutes a large portion of annual sales. However, we also provide property management services for ten buildings totaling slightly over one million square feet. Since 1984, we have displayed constant growth in both our construction operations and our property management services. Our office and warehouse facilities are located at Farmington Road and the I-96 expressway in Livonia, Michigan. Our facilities consist of a 4,000 square foot building together with one acre of yard space.

Why use Shaw Construction and Management?

Shaw Construction is the ideal choice for this project. While small enough to provide individual attention to the project, Shaw offers talent and experience normally only available with much larger firms. The resumes of the principles of Shaw reflect vast experience in all aspects of construction as well diversity of projects. From 250,000 square foot department stores to the most sophisticated medical facilities, fifteen years of completed work at University of Michigan, and unique industrial projects such as the hydrogen fuel cell development laboratory for Nissan. This diversity has provided exposure to virtually every construction method, construction materials, various trades, equipment and the resultant challenges associated with all types of projects.

Shaw Construction's reputation with customers, building officials, suppliers and sub-contractors is without equal and inquires with those who have interacted with Shaw is always encouraged.

Shaw Construction has yet another qualification somewhat unique. An aspect of Shaw's experience is that of a property manager. With just over One Million square foot of property under management (in which 600,000 square feet was constructed by Shaw Construction) over the last thirty plus years has provided invaluable experience with construction materials, methods, and workmanship over the long term. This qualification has taught us to always look at projects through the eyes of an owner and not just a contractor. Our ability to value engineer goes beyond price, because we know what has performed for buildings over the decades. These qualities have given us the capability to recognize the best values for all types of facilities.

PROPOSED TEAM:

Estimator/Assistant Project Manager- Shawn Kranick, AC, Employed since 2011, came to Shaw Construction in the beginning of 2011 out of Eastern Michigan's Construction Management Program and immediately landed a project at Schoolcraft Community College, which he successfully estimated, ran, and completed. He has successfully taken off, estimated, budgeted for many of Shaw's 200 plus estimated projects annually and currently just finished projects he estimated and ran at Gianna House, second X Golf Buildout and Advia Credit Union Headquarters in Port Huron. He acted as our Project Manager for renovations and tenant buildouts at 888 Big Beaver Building (\$4 Million in total contracts) in Troy, MI. 30 hour OSHA certified. Washtenaw Contractors Association Epic Graduate.

Office Administration, Ann McNally, Office Administration, Ann McNally - Ann has been employed since 2012, came to Shaw Construction from another contracting firm and brings years of experience in accounts payable along with customer service. She would assist in this project in accounts receivable and payables along with contract management by issuing contracts, overseeing insurance requirements, and helping with the submittal process.

Project Manager/Project Executive- Theodore V. Barker, AC Running over 100 Million dollars in contracts as a Project Manager before coming to Shaw Construction in 2009. Since taking over Shaw Construction, he has stayed focused on developing large company practices in a smaller company atmosphere and has successfully grown Shaw Construction without disrupting its excellent reputation.

THEODORE V. BARKER, AC

41242 Crabtree Court • Plymouth, MI 48170 • 734.260.0758 • tbarker@shawcm.com

Committed to our customer satisfaction by delivering and leading the most qualified team who strives to maintain our reputation as an outstanding organization.

PROFESSIONAL EXPERIENCE

PRESIDENT, CEO, 2009-Present

Shaw Construction and Management Co., Livonia, MI

- ✓ Recently completed City of Plymouth Fountain, PARC Theater, Farwell Schools 2021 Bond Projects at High School, Middle School and Elementary School, Addition and Alterations to Salem South Lyon Library, Michigan School of Psychology Campus Expansion, Fox Hills Chrysler Alterations and Lou LaRiche Chevrolet Addition and Alterations, Our Lady of Good Counsel Sanctuary Remodel, Addition and Alterations to Lake Pointe Bible Church
- ✓ 2012 Washtenaw Contractors Association Pyramid Award Winner for Best Project Team Under \$3 Million Category for the Miracle League of Plymouth
- ✓ Continue to grow relationships with long time customers Nissan Technical Center, Denso International, Jimmy John's, Johnson Controls and Diebold all while introducing new clients like CBRE, Munch's Supply, and Valeo.
- ✓ Property Management firm for just over 1,000,000 sq. ft. of facilities in Michigan
- ✓ Developed and implemented an ongoing maintenance program for Community Financial Credit Union branches and main headquarters, this relationship stemmed off of three successful renovations

VICE PRESIDENT, 2008

PROJECT MANAGER, 2001 – 2008

SUPERINTENDENT, 1998-2001

A.Z. Shmina, Inc. – Brighton, MI

Selected Contributions:

- ✓ Project Manager for First Presbyterian Church of Plymouth, First United Methodist Church of Garden City, \$4 million in total contracts
- ✓ Project Manager for The Shul Synagogue, West Bloomfield, \$3.5 million
- ✓ Established a Construction Management Contract for \$5 million and under projects at University of Michigan, and used this contract method for multiple projects at School of Public Health, Electrical Engineering and Computer Science Building, and through out the University Health Care Campus
- ✓ Project Manager for University of Michigan; Michigan Stadium Renovation, Med Sci Buildings I & II Renovations, Observatory Lodge Renovation, Intramural Building, CCRB, Matthaai Botantacial Gardens Renovation, Angel Hall Auditorium C & D Renovations & Angel Hall LVA Student Affairs, North Campus Engineering Building I & II Optics, Radrick Farms Clubhouse Renovation, multiple elevator replacement projects, \$35 million in total contracts
- ✓ Project Manager for University of Michigan Hospital & Health Services; 4th Floor Neurosurgery Intensive Care Unit, Front Entrance Replacement Cancer Center and Taubman Center, Nuclear

Pharmacy, Clinical Pharmacy, Autoclave, MRI Suite, High Dose Radiation and Generator Replacement, \$10 million in total contracts

- ✓ Project Manager for Ann Arbor Schools Bid Pack #6, Tappan Middle School Renovation, Burns Park Elementary Addition and Renovation, Angell Elementary Addition and Renovation, \$3.5 million in total Contracts
- ✓ Project Manager for Pittsfield Township Nature Preserve, \$1.5 million in total contract
- ✓ Project Manager for Orchard Lake Country Club Pool House and Lakelands Golf & Country Club Addition and Renovation, \$4 million in total contracts
- ✓ Project Manager for Toyota Tech Center Dyno Pit Replacement, and performed a variety of projects at the General Motors Tech Center, \$6 million in total contracts
- ✓ Superintendent for University of Michigan-Dearborn, Wellness Center, Education Building 2nd Floor Remodel, and Kindergarten Day Care Facility, \$3.5 Million in total contracts
- ✓ Superintendent for Grosse Ile Schools 1997 Bond Issue, \$20 million in total contracts
- ✓ Superintendent for Rockwood Municipal Buildings, \$7 million in total contracts

Education & Credentials

B.A., Business Management, Seidman School of Business, Grand Valley State University

30 Hour OSHA and CPR/First Aid Certified

Vistage Member

Washtenaw Contractors Association, Past President (2012-2016), Current Board Member

Associated General Contractors Supervisory Program, Completed ten, ten-week courses covering Construction topics

American Institute of Constructors, Associate Constructor, Michigan Chapter Board Member

Rotary Club of Plymouth A.M., Foundation Vice President 2016- Current

Lake Pointe Homeowner's Association, Vice President, Board Member 2012-2020

Plymouth- Canton Steelers Head Football Coach- 23 years

Plymouth-Canton Steelers Football Unit Director 2017- 2020

Michigan Youth Football and Cheer Conference, Secretary, Board Member 2017- Current

Canton High School Football Booster President 2019-2022

Precision Baseball Coach 2016- Present

Plymouth Arts and Recreation Center, Board of Directors

DEVIN DUERR

15029 Maplewood Lane • Plymouth, MI 48170 • 313.304.1342 •

PROFESSIONAL EXPERIENCE

VICE PRESIDENT 2026- Present
GENERAL SUPERINTENDENT 2024- Present
PROJECT SUPERINTENDENT, 2006-2023
Shaw Construction & Management Co.-Livonia, MI

Successfully ran and completed projects in both private and public sectors as a Superintendent. Capable of overseeing a project through its earliest stages to completion and continuously shown the ability to sustain repeat business from past projects.

Select Completed Projects:

LakePointe Bible Church Addition and Alterations
Salem South Lyon Library Addition and Renovations
St Thomas the Apostle Catholic Church Renovations
Leapers Gun Range Expansion
Wyandotte Public Schools 2015 Bond
Community Financial Headquarters Renovation, Livonia Branch, Novi Call Center
St. Nicholas Greek Orthodox Church Hall Renovations

PROJECT SUPERINTENDENT

Shaw Construction & Management Co. – Livonia, MI

Responsibilities handled:

- Handle day to day operation of job site
- Responsible for job safety
- Prepared documents on cost, budget, contracts and estimates
- Organized project meetings which help to develop skills of all staffs.
- Discussed with clients on subject of project schedules, general contracts, purchase orders, subcontract agreements etc.

GENERAL FOREMAN

Shaw Construction & Management Co. – Livonia, MI

- Assisted in management of job sites
- Completed worked orders and delegated tasks to co-workers
- Organized and controlled warehouse

EDUCATION & CREDENTIALS

- 30 Hour OSHA Certified/First Aid CPR
- Washtenaw Contractors EPIC Program 2016
- Wayne State University – Detroit MI 2001-2003
- Oakland Community College – Auburn Hills, MI 2003-2004

SHAWN A. KRANICK

19945 29 Mile Rd • Ray, MI 48096 • 734.787.7003 • skranick@shawcm.com

PROFESSIONAL EXPERIENCE

ESTIMATOR/PROJECT MANAGER, 2012-Present **Shaw Construction & Management Co.-Livonia, MI**

Successfully prepared estimates, project documents, mobilization for projects, and worked closely with project leaders to complete projects on time. Has worked along side other superintendents and project managers, as well as been the Superintendent throughout time with Shaw Construction.

Select Completed Projects:

Farwell Schools 2021 Bond
Gianna House Renovations
Shaw Electric & Systems Integrated Façade Renovation in Southfield, MI
888 Building, Troy, MI Multiple Projects totaling over \$3.5 Million
Fox Hills Chrysler Dealership in Plymouth, MI
Advia Credit Union Headquarters Renovations
Multiple Team Rehab Renovations

Responsibilities handled:

- Project Coordination (Materials, Subcontractors, Venders... ETC)
- Safety Coordinator
- Project Documentation (ie. Scheduling, Mobilization, RFI's, Change Orders, Safety Manual, Purchase Orders, Owners Manual, Close out Procedures.)
- Jobsite Cleanliness

Shaw Construction Internship, 2011- 2012

Shaw Construction & Management Co. – Livonia, MI

- Assisted in management of job sites
- Assisted in Estimating and Bidding
- Planning and Scheduling Contractor Tasks
- Request for Information and Change Orders
- Organized and controlled warehouse
- Job Site Cleanliness and Organization

Education & Credentials

Eastern Michigan University 2010-2012
Bachelors Degree in Construction Management
Graduated December 2011

Accreditations Earned:

- ✓ Washtenaw Contractors Association Emerging Professionals Program (EPIC) 2014-2015
- ✓ Member, Associated Constructor (AC) through The American International Contractors (AIC)

Certifications Earned:

- ✓ First Aid/ CPR/ AED
- ✓ 30 hour Occupational Safety and Health (OSHA) Certification



**CONSTRUCTION &
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GENERAL CONTRACTORS

B. Construction Management Approach and Responsibilities

Pre-construction Phase

During this phase it has been our practice to not charge a fee or hourly cost. This portion of the project we consider part of our fee in the construction portion of the project. Shaw Construction wants to make sure we are as committed as you by giving our resources to you during this portion of the project and making us just as anxious to get the project started as you the owner.

Preconstruction Phase Services- Our preconstruction approach includes cost estimating, cost control, scheduling, and value engineering while protecting the Architects/Engineers design and the Owner's established budget.

- i. Document review
- ii. Establishment of budget
- iii. Master project takeoff and estimate
- iv. Determine phasing of project
- v. Master project schedule
- vi. Value engineering analysis
- vii. Obtain permits
- viii. Bid scope preparation and review
- ix. Subcontractor pre-qualification
- x. Bid period management
- xi. Bid opening
- xii. Post bid review
- xiii. Prepare and distribute contracts to sub-trades

Construction Phase - Construction Management Fee- 7.5%

Shaw Construction and Management are typically paid a percentage of the value of the actual work performed, and we are proposing a fee of five to ten percent for this project. The fee is inclusive of all overhead and profit for the project and is based solely upon permit fees, subcontractor contracts, direct labor, equipment, and materials. The fee is exclusive of expenses such as background costs such as insurance, phones, vehicles, and other such costs not directly a part of actual construction. In general terms the percentage fee covers the costs of the involvement of the CM's Project Manager, Estimator(s), and office support staff. Jobsite labor provided by the CM such as field supervision, laborers, or skilled trades is billed to the project at previously agreed upon labor rates.

Construction Phase Services

- i. Establishment, maintenance and enforcement of a site specific safety policy for the project
- ii. Maintain project schedule with weekly updates
- iii. Daily supervision of work in field
- iv. Manage ongoing inspections of building for all trades
- v. Quality control enforcement for the entire project
- vi. Communication with Owner, Architect, and Subcontractors
- vii. Progress meetings, progress meeting minutes and distribution
- viii. Prepare periodic updates of project costs for Owner review
- ix. Administer timely payments to suppliers and sub trades with fully understood and complete payment application process
- x. Full management of subcontractor administration of pay requests, sworn statements and waivers of lien ensuring a lien free project at turn over to owner
- xi. Begin project closeout at beginning of construction phase

Post Construction Phase

Shaw Construction and Management is always working towards the completion of the project and prides ourselves on completing projects on time and within budget. We feel that it is important to finish the project strong and do not let punch lists linger on by concentrating on quality workmanship and up front problem solving throughout the project.

Post Construction Phase- Upon final completion the CM will obtain full waivers, guarantees, special warranties and close out documentation from all subcontractors and suppliers. These items will be organized and distributed to the Owner and Architect.

- i. Final inspections
- ii. Management and timely completion of punch lists
- iii. As built drawings
- iv. Obtain warranties and guarantees
- v. Owner maintenance manuals
- vi. Administer on-site training for Owners personnel
- vii. Complete closeout in a timely manner

Construction Management – Advantages and Disadvantages

Advantages

- ≈ Cost savings on the project go back to the owner, contingency is figured into overall budget held by the CM
- ≈ Selection of CM is based more on qualifications and less on price, the owner has more involvement with the selection of the team they will be working with from the CM
- ≈ More collaborative approach for managing construction, input early on realities of cost, specifications, lead times, and materials to help protect the budget and schedule
- ≈ Construction company works with the Owner and Architect from the earliest stages to advise and develop a budget for the project.
- ≈ There is typically more flexibility for changes and defining the scope of work because the relationship of the Architect, Owner and CM is already well established which typically results in less change orders
- ≈ Agreed upon fee for overhead and profit, typically less than in a General Contractor bid
- ≈ Transparent on all cost and decisions, any and all cost are represented in depth thru receipts, subcontractor invoicing and records of Construction Managers staff and hours on site
- ≈ Owner can be as involved as much or as little as desired

Disadvantage

- ≈ Shared risk on having budget overruns
- ≈ Failing to carry out effective competitive tendering project trade package and time/budget



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GENERAL CONTRACTORS

C. Response to RFP

1. Scope of Work

Shaw Construction and Management understands the three projects and the order of priority and plan to bring this project to completion. In section D. we have included budget breakdowns, were we supported our costing by going to select contractors and suppliers. Pricing is reflective of the preliminary drawings prepared by Ehresman Architects dated 9/27/2024.

In Project #1 costing we included Ehresman Architects cost to complete the construction drawings and work thru the bidding and construction process. This can be discussed further as to how involved we may use them during the bidding and construction portion of the project, but we do feel it is smart to have them complete the drawings.

For the hardware rework and repairs to Niche and Crypt granite fronts, we reached out to JMD Restoration. They have steered us away from the idea of rosettes and have supplied us with an alternative option that has proven to be affective and we find to be a cost savings. JMD Restoration would remove the granite fronts, remove and salvage the Eickhoff hardware, clean the granite of epoxy, drill new mounting hole in the salvaged hardware, install new router dovetail slots in granite to receive new SS bolt head for mechanical fastening, install salvaged Eickhoff hardware using the new dovetail slots in the granite and reinstall the granite fronts. This process was just proved a success at Elmwood Cemetery in Detroit, MI and I suggest that we visit the Cemetery to explore this option.

Other budget pricing was supported by talking to Molnar Roofing, Navetta Masonry, and Custom Stone Works. This is still preliminary and we would bid the project out once construction documents are completed.

2. Timeline

When awarded the project we would suggest engaging the Architect, Ehresman Architects, immediately. We would offer any suggestions, changes and hope they could turn around construction/permit drawings quickly, plan on one month. Once the drawings are received, we would go out to final bid and submit for permit, which would be another month, staying with your two-month pre construction as indicated in the RFP.

Immediately upon finalizing bids and making sure the budget is intact we would look to get submittals in and product ordered, working on getting lead times sorted out and seeing what impact that may have to the schedule. As for now, I would suggest that a 3-4 month schedule for Project #1, this would allow for procurement and lead times. We would start construction about a month after contracts are issued, figure two-three months of construction, depending lead times for material and weather disruptions for Project #1.

Project #2 and #3 would follow and determine their own schedule length unless we were to include them with Project #1, which we would look to extend the construction total timeline to four-five months.

3. Budget and Bidding Requirements

For budget costing please refer to Section D for Project #1, 2, and 3.

Currently how it is budgeted we are over the anticipated budget, yet Project #1 appears to be heading under budget. As we bid out work we can secure final pricing to determine. I would anticipate this project moving past the date of June 30, 2026 and could possibly be complete in August of 2026 depending on the final scope of work

4. Deliverables

For breakdown of costing please see Section D for Project #1, 2, and 3 spreadsheets. In each project we have included and broke out the requested items in A-F of this section.

General:

- A. We have included this additional design pricing from Ehresman Architects, along with Bidding and Construction Admin cost which could possibly be eliminated from the budget.
- B. Our Construction Management Fee for the projects is 7.5% as shown and calculated in Section D budgets.
- C. We would anticipate bidding out all divisions to multiple subcontractors and vendors; we typically look for three or more bids per division to show a competitive complete final construction budget.

5. Selection and Contract

As indicated, we did include bonding for this project nor would we require bonding from our subcontractors.

We are fully insured and have no issue with any requirements that is set by the City, and all of our subcontractors have to be insured and will not have issue with meeting the requirements as well.

GENERAL ESTIMATE



**CONSTRUCTION &
MANAGEMENT CO.**
COMMERCIAL & INDUSTRIAL
GENERAL CONTRACTORS

Project Name: Riverside Masoleum Project #1 Budget
Date: 3.10.26 v3.0
Estimator: TB

Description	Quan.	U.P. Mat	U.P. Labor	U.P. Sub.	Material	Labor	Sub	Total
Site Safety/Site Protection	1			\$7,500.00	\$0.00	\$0.00	\$7,500.00	\$7,500.00
Crane Rental	1				\$0.00	\$0.00	\$0.00	\$0.00
Equipment Rentals	1				\$0.00	\$0.00	\$0.00	\$0.00
Site Protection/ Safety/ Security	1				\$0.00	\$0.00	\$0.00	\$0.00
Temp Protection/Utilities/Facilities	1				\$0.00	\$0.00	\$0.00	\$0.00
Demolition	1				\$0.00	\$0.00	\$0.00	\$0.00
Demo Existing Degraded Pre-Cast Concrete Curbs	480			\$30.00	\$0.00	\$0.00	\$14,400.00	\$14,400.00
Misc. Removal	1			\$5,000.00	\$0.00	\$0.00	\$5,000.00	\$5,000.00
Concrete	1				\$0.00	\$0.00	\$0.00	\$0.00
Replace Precast Sill/Curbing	480			\$50.00	\$0.00	\$0.00	\$24,000.00	\$24,000.00
Masonry Restoration	1				\$0.00	\$0.00	\$0.00	\$0.00
Replace 150 sf. Limestone	1			\$52,500.00	\$0.00	\$0.00	\$52,500.00	\$52,500.00
Tuck Pointing/Joint Repair	1			\$15,000.00	\$0.00	\$0.00	\$15,000.00	\$15,000.00
Cripts/Niches	1			\$108,900.00	\$0.00	\$0.00	\$108,900.00	\$108,900.00
Removal/Fastener Replacement/Reinstallation(JMD Restoration)	726				\$0.00	\$0.00	\$0.00	\$0.00
Granite Replacement Panels	100			\$150.00	\$0.00	\$0.00	\$15,000.00	\$15,000.00
Waterproofing/Drainage	1			\$8,500.00	\$0.00	\$0.00	\$8,500.00	\$8,500.00
Waterproofing	1				\$0.00	\$0.00	\$0.00	\$0.00
Flashing	1				\$0.00	\$0.00	\$0.00	\$0.00
Carpentry	1			\$3,500.00	\$0.00	\$0.00	\$3,500.00	\$3,500.00
Misc./Nailer Repair/Replacement	1				\$0.00	\$0.00	\$0.00	\$0.00
Jt Sealants	1			\$3,500.00	\$0.00	\$0.00	\$3,500.00	\$3,500.00
TOTALS					\$0.00	\$0.00	\$257,800.00	\$257,800.00
Miscellaneous							Total Mat, Labor, Sub's	\$257,800.00
General Condition 2%	1	\$7,500.00	\$7,500.00				Miscellaneous	\$81,402.00
Supervision	320	\$90.00	\$28,800.00					
Laborer	120	\$70.00	\$8,400.00				Sub-Total	\$339,202.00
Final Cleaning	1	\$2,000.00	\$2,000.00				Contingency 0% (held by owner)	\$0.00
Permit 2%	1	\$0.00	\$0.00					
Porta John	2	\$150.00	\$300.00					
Dumpster	2	\$650.00	\$1,300.00				Sub-Total + Contingency	\$339,202.00
Architectural Drawings (Quoted By Ehresman to Complete)	1	\$33,102.00	\$33,102.00				OHP 5%	\$16,960.10
		Total	\$81,402.00				Sub-Total + O.H. & Profit	\$356,162.10
Alternates:								
							Estimate Total	\$356,162.10

GENERAL ESTIMATE



**CONSTRUCTION &
MANAGEMENT CO.**
COMMERCIAL & INDUSTRIAL
GENERAL CONTRACTORS

Project Name: Riverside Masoleum Project #2 Couch Crypt Replacements
Date: 3.11.26 v2.0
Estimator: TB

Description	Quan.	U.P. Mat	U.P. Labor	U.P. Sub.	Material	Labor	Sub	Total	
Site Safety/Site Protection	1			\$7,500.00	\$0.00	\$0.00	\$7,500.00	\$7,500.00	
Equipment Rentals	1				\$0.00	\$0.00	\$0.00	\$0.00	
Site Protection/ Safety/ Security	1				\$0.00	\$0.00	\$0.00	\$0.00	
Temp Utilities/Facilities	1				\$0.00	\$0.00	\$0.00	\$0.00	
Demolition/Excavation	1				\$0.00	\$0.00	\$0.00	\$0.00	
Demo of Couch Crypts	400			\$25.00	\$0.00	\$0.00	\$10,000.00	\$10,000.00	
Sawcut and remove concrete	1600			\$3.50	\$0.00	\$0.00	\$5,600.00	\$5,600.00	
Excavate for foundations and prep	250			\$25.00	\$0.00	\$0.00	\$6,250.00	\$6,250.00	
Underground/Drainage/Storm (French?)	2			\$3,000.00	\$0.00	\$0.00	\$6,000.00	\$6,000.00	
Prep/Stone for subgrade for slab on grade	830			\$3.00	\$0.00	\$0.00	\$2,490.00	\$2,490.00	
Backfill/Grading	1			\$5,000.00	\$0.00	\$0.00	\$5,000.00	\$5,000.00	
Landscaping	1				\$0.00	\$0.00	\$0.00	\$0.00	
Gardens/Turf	2			\$5,000.00	\$0.00	\$0.00	\$10,000.00	\$10,000.00	
Concrete	1				\$0.00	\$0.00	\$0.00	\$0.00	
Spread Foundations for masonry/niches	10			\$650.00	\$0.00	\$0.00	\$6,500.00	\$6,500.00	
Slab on Grade/Sidewalk	830			\$18.00	\$0.00	\$0.00	\$14,940.00	\$14,940.00	
Steel	1				\$0.00	\$0.00	\$0.00	\$0.00	
Steel Angle above Crypt	100			\$40.00	\$0.00	\$0.00	\$4,000.00	\$4,000.00	
Masonry	1				\$0.00	\$0.00	\$0.00	\$0.00	
CMU Foundation from spread footings	1			\$5,000.00	\$0.00	\$0.00	\$5,000.00	\$5,000.00	
CMU Walls for Crypt/Niches	1			\$15,000.00	\$0.00	\$0.00	\$15,000.00	\$15,000.00	
Carpentry	1				\$0.00	\$0.00	\$0.00	\$0.00	
Misc./Nailer	1			\$3,000.00	\$0.00	\$0.00	\$3,000.00	\$3,000.00	
Waterproofing/Air/Vapor Barrier	1			\$2,500.00	\$0.00	\$0.00	\$2,500.00	\$2,500.00	
Jt Sealants	1			\$1,500.00	\$0.00	\$0.00	\$1,500.00	\$1,500.00	
Roofing- Metal Cap/Flashing	1			\$10,000.00	\$0.00	\$0.00	\$10,000.00	\$10,000.00	
Cripts/Niches	1				\$0.00	\$0.00	\$0.00	\$0.00	
Limestone	100	\$548.00	\$500.00		\$54,800.00	\$50,000.00	\$0.00	\$104,800.00	
New Niches Faces- Granite	44			\$350.00	\$0.00	\$0.00	\$15,400.00	\$15,400.00	
TOTALS					\$54,800.00	\$50,000.00	\$130,680.00	\$235,480.00	
Miscellaneous									
General Condition 2%	1	\$5,000.00	\$5,000.00						
Supervision	240	\$90.00	\$21,600.00						
Laborer	100	\$70.00	\$7,000.00						
Final Cleaning	1	\$1,000.00	\$1,000.00						
Permit 2%	1	\$0.00	\$0.00						
Porta John	2	\$150.00	\$300.00						
Dumpster	1	\$650.00	\$650.00						
Site Layout/ 3rd Testing	1	\$1,500.00	\$1,500.00						
		Total	\$37,050.00						
Alternates:									
								Total Mat, Labor, Sub's	\$235,480.00
								Miscellaneous	\$37,050.00
								Sub-Total	\$272,530.00
								Contingency 0% (held by owner)	\$0.00
								Sub-Total + Contingency	\$272,530.00
								OHP 7.5%	\$20,439.75
								Sub-Total + O.H. & Profit	\$292,969.75
								Estimate Total	\$292,969.75

GENERAL ESTIMATE



CONSTRUCTION & MANAGEMENT CO.
COMMERCIAL & INDUSTRIAL
GENERAL CONTRACTORS

Project Name: Riverside Masoleum Project #3 Rework Crypts A & D
Date: 3.12.26 v3.0
Estimator: TB

Description	Quan.	U.P. Mat	U.P. Labor	U.P. Sub.	Material	Labor	Sub	Total
Site Safety/Site Protection	1			\$10,000.00	\$0.00	\$0.00	\$10,000.00	\$10,000.00
Equipment Rentals	1				\$0.00	\$0.00	\$0.00	\$0.00
Site Protection/ Safety/ Security	1				\$0.00	\$0.00	\$0.00	\$0.00
Temp Utilities/Facilities	1				\$0.00	\$0.00	\$0.00	\$0.00
Demolition/Excavation	1				\$0.00	\$0.00	\$0.00	\$0.00
Demo of Couch Crypts	2600			\$6.00	\$0.00	\$0.00	\$15,600.00	\$15,600.00
Sawcut and remove concrete	2600			\$3.00	\$0.00	\$0.00	\$7,800.00	\$7,800.00
Excavate for foundations and prep	400			\$20.00	\$0.00	\$0.00	\$8,000.00	\$8,000.00
Underground/Drainage/Storm (French?)	2			\$3,500.00	\$0.00	\$0.00	\$7,000.00	\$7,000.00
Prep/Stone for subgrade for slab on grade	500			\$3.00	\$0.00	\$0.00	\$1,500.00	\$1,500.00
Backfill/Grading	1			\$5,000.00	\$0.00	\$0.00	\$5,000.00	\$5,000.00
Landscaping	1				\$0.00	\$0.00	\$0.00	\$0.00
Gardens/Turf	2			\$3,500.00	\$0.00	\$0.00	\$7,000.00	\$7,000.00
Concrete	1				\$0.00	\$0.00	\$0.00	\$0.00
Extend Spread Foundations for masonry/niches	10			\$700.00	\$0.00	\$0.00	\$7,000.00	\$7,000.00
Slab on Grade/Sidewalk	500			\$18.00	\$0.00	\$0.00	\$9,000.00	\$9,000.00
Steel	1				\$0.00	\$0.00	\$0.00	\$0.00
Angle above Crypts	100			\$40.00	\$0.00	\$0.00	\$4,000.00	\$4,000.00
Masonry	1				\$0.00	\$0.00	\$0.00	\$0.00
CMU Foundation from spread footings	1			\$10,000.00	\$0.00	\$0.00	\$10,000.00	\$10,000.00
CMU Walls for Crip/Niches	1			\$30,000.00	\$0.00	\$0.00	\$30,000.00	\$30,000.00
Carpentry	1				\$0.00	\$0.00	\$0.00	\$0.00
Misc./Nailer	1			\$3,500.00	\$0.00	\$0.00	\$3,500.00	\$3,500.00
Waterproofing/Air/Vapor Barrier	1			\$5,000.00	\$0.00	\$0.00	\$5,000.00	\$5,000.00
Jt Sealants	1			\$1,500.00	\$0.00	\$0.00	\$1,500.00	\$1,500.00
Roofing- Metal Cap/Flashing	1				\$0.00	\$0.00	\$0.00	\$0.00
Metal Cap/Flashing	1			\$10,000.00	\$0.00	\$0.00	\$10,000.00	\$10,000.00
Cripts/Niches	1				\$0.00	\$0.00	\$0.00	\$0.00
Limestone	150	\$548.00	\$500.00		\$82,200.00	\$75,000.00	\$0.00	\$157,200.00
New Niches Faces- Granite	400			\$350.00	\$0.00	\$0.00	\$140,000.00	\$140,000.00
TOTALS					\$82,200.00	\$75,000.00	\$281,900.00	\$439,100.00
Miscellaneous								Total Mat, Labor, Sub's \$439,100.00
General Condition 2%	1	\$7,500.00	\$7,500.00					Miscellaneous \$54,700.00
Supervision	360	\$90.00	\$32,400.00					
Laborer	160	\$70.00	\$11,200.00					Sub-Total \$493,800.00
Final Cleaning	1	\$1,000.00	\$1,000.00					Contingency 0% (held by owner) \$0.00
Permit 2%	1	\$0.00	\$0.00					
Porta John	3	\$150.00	\$450.00					
Dumpster	1	\$650.00	\$650.00					Sub-Total + Contingency \$493,800.00
Site Layout/ 3rd Testing	1	\$1,500.00	\$1,500.00					OHP 5% \$24,690.00
			Total	\$54,700.00				Sub-Total + O.H. & Profit \$518,490.00
Alternates:								
								Estimate Total \$518,490.00



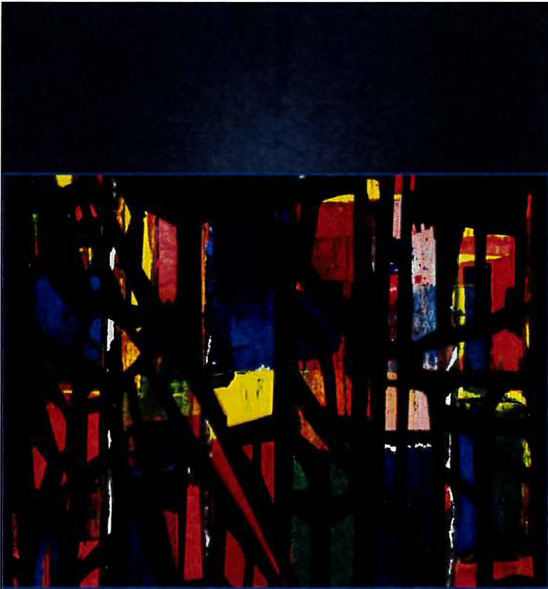
Spartan Construction Group INC.
 30956 Industrial Rd.
 Livonia, MI 48150
 Phone: (734) 331-5061

City Of Plymouth Riverside Cemetery Outdoor Garden Mausoleum CM Services							
Division	CSI No.	Description	Quantity	Unit	Unit Price	Total Cost	
10000		General Requirements					
10000	10000	Project Management	1	LS	\$70,000.00	\$70,000.00	
10000	10000	Project Supervision	1	LS	\$80,000.00	\$80,000.00	
10000	10000	Contingency Allowance NA	1	LS	\$0.00	\$0.00	
10000	10000	DTE/ Consumers Allowance NA	1	LS	\$0.00	\$0.00	
10000	10000	A/E Services	1	LS	\$34,000.00	\$34,000.00	
10000	10000	Sanitary Facilities (BY OWNER)	1	LS	\$0.00	\$0.00	
10000	10000	Dumpsters/ Debris Removal (BY OWNER)	1	LS	\$0.00	\$0.00	
10000	10000	Bonding (NA)	1	LS	\$0.00	\$0.00	
10000	10000	Permits (Waived)	1	LS	\$0.00	\$0.00	
10000	10000	Testing (BY OWNER)	1	LS	\$0.00	\$0.00	
10000	10000	Field Office NA	1	LS	\$0.00	\$0.00	
10000	10000	Project Signage	1	LS	\$800.00	\$800.00	
10000	10000	Staking And Layout NA	1	LS	\$0.00	\$0.00	
10000	10000	Traffic Control NA	1	LS	\$0.00	\$0.00	
10000	10000	Temporary Fencing	1,100	LF	\$12.00	\$13,200.00	
10000	10000	Final Clean	1	LS	\$8,000.00	\$8,000.00	
		Project #1 Budget					
		Estimated budget for Project #1	1	LS	\$650,000.00	\$500,000.00	



Spartan Construction Group INC.
 30956 Industrial Rd.
 Livonia, MI 48150
 Phone: (734) 331-5061

City Of Plymouth Riverside Cemetery Outdoor Garden Mausoleum CM Services							
Division	CSI No.	Description	Quantity	Unit	Unit Price	Total Cost	
		Project #2 Budget					
		Estimated budget for Project #2	1	LS	\$130,000.00	\$109,000.00	
		Project #3 Budget					
		Estimated budget for Project #3	1	LS	\$320,000.00	\$230,000.00	
					CM Fee 5%	\$55,000.00	
					Total Estimate	\$1,100,000.00	



**Riverside Cemetery Development
City of Plymouth
Plymouth, MI**

**Proposal for
Construction Management Services
for
Addition and Renovation**

**Prepared by
John DeMattia Construction, LLC**

January 9, 2026



January 12, 2026

Mr. Adam Gerlach
Assistant Director of Municipal Services
City of Plymouth
Department of Municipal Services
1231 Goldsmith
Plymouth, MI 48170

Re: Riverside Cemetery Development
Proposal for Construction Management Services
City of Plymouth, MI

Dear Mr. Gerlach:

Thank you for inviting John DeMattia Construction LLC to submit a proposal for the Riverside Cemetery Development project referenced above. I have been in charge of construction and estimating operations for over forty years and I will be the lead role throughout this project. When I established my company fourteen years ago, I made a conscious decision to stay a small firm and I will only take on jobs I am directly involved in. I handle all my own estimating, project management and accounts payable.

In response to our December 12, 2025, meeting, we are submitting the attached for approval. We offer the following services:

- ◆ Securing building permits.
- ◆ Testing and inspections.
- ◆ On-site supervision and daily subcontractor coordination
- ◆ Temporary protection for weather and public safety.
- ◆ Estimating, bidding and securing subcontractors.
- ◆ Project management and subcontractor coordination
- ◆ AIA billings and subcontractor payments.
- ◆ Close out documents and guarantees.

I appreciate you giving me the chance to quote this project and if there are any questions, please feel free to call me directly at 734-754-1240.

We look forward to hearing from you soon and working together to bring Riverside Cemetery Development dreams to fruition.

Sincerely,

John DeMattia Construction LLC

John DeMattia
President

Table of Contents

1. Firm Background and Project Approach
2. Relevant Experience and References
3. Organizational Chart and Team Resumes
4. Fee Proposal

1. Firm Background and Project Approach

Firm Background

Who we are and what we do.....

At John DeMattia Construction, we believe in a team work environment from site selection through design and construction. We are a full service construction management company offering creative solutions for your building needs. Owner John DeMattia established the firm in 2009 after working in the construction industry for 35 years. Our goal is complete customer satisfaction within the defined project scope and budget...always on the same team and on the same page.

Services

Site Selection
 Land Planning
 Preconstruction Services
 General Contracting
 Construction Management
 Construction Consulting
 Design/Build
 Estimating Services
 Turn Key Operations

Areas of Expertise

Commercial and Industrial Buildings
 Glass Recycling
 Interior Renovations
 Medical Offices
 Municipal Wastewater
 Religious Facilities
 Retail Facilities
 Theatre and Classroom Facilities
 Utilities



*St. Kateri Tekakwitha Catholic Church, Dearborn, MI
 Addition/Renovation*

Client List

Archdiocese of Detroit
 Black and Veatch Inc.
 BASF Corporation
 Brembo North America
 CNA Insurance
 Christ the King Lutheran Church
 City of Ann Arbor, Ann Arbor Municipal Airport
 Dayco Corporation
 Detroit Golf Club
 Domino's Farms Corporation
 Federal Mogul
 First Solar, Inc. - Petersburg, OH; Malaysia
 Ford Motor Company, ACH Saline
 Fowlerville District Library
 Hope Lutheran Church
 Keihin North America
 Meadowbrook Country Club
 Metro Consulting
 NSK Inc.
 Philmar Plaza
 Romulus Public Library
 State of Michigan
 Summit Group
 St. Vincent Ferrer Catholic Community
 Tetra Tech, Inc.
 UM Health Services
 University Presbyterian Church
 Wayne State University
 - Hilberry Theatre Renovation
 - Educational Outreach Relocation

What our Clients Say

"Our first job was started on a handshake rather than a contract. They have our company's highest respect through their integrity and commitment to our projects."

Van Belanger, Facility Superintendent - Domino's Farms

Approach to Project

Preconstruction Services

John DeMattia Construction LLC is committed to providing the City of Plymouth/Riverside Cemetery and Ehresman Architects with continual cost updates throughout the entire design process. This will be accomplished through the face-to-face interaction of our pre-construction team with the design team and supplemented through the use of e-mail/internet, which permits electronic transmittal of drawings and online budget analysis.

As a construction firm, our focus is on the early development of project cost models, based upon a high degree of interaction with the design team and conceptual design input. The key to providing solid estimating data and analysis will rest on three essential elements:

- A high degree of interaction with the architect in developing early conceptual cost estimates.
- Early development of a conceptual cost model that focuses on building systems and potential value engineering strategies.
- Market relevance, that is, the cost model will reflect current market conditions and account for a highly dynamic sub-contractor market.

Each of these three elements is described further below:

Architect/Estimator Interaction

The approach we are suggesting for the estimating effort utilizes a highly collaborative and interdisciplinary estimating team. The team will include individuals from Ehresman Architects and our pre-construction team and will be led by the project estimator, John DeMattia. We anticipate that this team will incorporate a multi-disciplinary approach, directed by specific cost, scheduling, and quality objectives. It is the responsibility of this team to ensure that the careful balance between design intent and construction feasibility is positively integrated.

It is our belief that such a highly interactive and synergistic team approach leads to the best design and construction solution. It encourages innovation and creativity and strengthens the overall team dimension of the project.

As a practical matter, we anticipate the team's interaction will be portrayed through weekly face-to-face meetings of the estimating team supplemented through the use of e-mail/internet, which permits electronic transmittal of drawings and online budget analysis.

System Based Cost Modeling and Value Engineering

To focus the combined effort of the estimating team, a common nomenclature and cost model will be developed. We recommend a model that initially focuses on building systems, especially during the value engineering phase of the project. We anticipate that value engineering strategies will be developed as early as possible in the process with final evaluation occurring later in design development. As design development concludes, the more traditional sixteen-divisional cost estimate will be implemented.

Please note that throughout the cost development process, we will also be using the more traditional 16-division CSI format. This budget format allows the team to develop specific sub-trade strategies and to evaluate labor and material concerns.

Market Relevance

Labor prices and materials have increased in the last two years. Therefore, our estimates are not only based on historical data but are adjusted with subcontractor input and testing. This information will be used to test cost assumptions and develop a market-based cost model. This approach will be of particular importance as cost information is shared with the architect and parish so that no surprises occur.

Construction Management Services

Outline of CM Services

John DeMattia Construction LLC will perform preconstruction and construction services. Our highly interactive CM process will complete your project within specific scheduling, budgeting, and quality objectives. We plan to work with the architect to initiate a critical path schedule especially long lead items.

Construction Services

During construction, we coordinate and work with Ehresman Architects and other consultants to evaluate design options for cost impact and constructability of the project. Potential services before construction starts depend greatly upon design and financing decisions, which could include:

- Estimating
 - Detailed
- Project planning
 - Project scheduling
 - Constructability review
 - Document schedule consultation
 - Construction document review
 - Estimating
 - Long lead item identification
 - Bidders list recommendation
 - Bid solicitation
 - Scope interview
 - Subcontractor award
 - Scope changes
 - Value management ideas
 - Critical path scheduling
 - Safety
 - Impact on surrounding tenants and services
 - Bid packaging
 - Budget review to establish and maintain the GMP
 - Public safety requirements

Issuance of building permits and government relations are also an important part of the construction process, and we can assist the architect and our client with these issues.

Cost and Quality Control

The project budget will be continuously updated for your review and included in the monthly Project Summary Report. We will manage this process throughout the project. The entire team takes quality control in the field very seriously. A superintendent will be on your site monitoring quality. The superintendent will oversee the testing of materials, workmanship quality, and work sequencing.

It is our responsibility to ensure and enforce quality control and work inspection continually. The project team will focus on aspects of quality, from adherence to construction documents to workmanship to closeout documentation. Emphasis will be placed on engineering and coordination before material fabrication, as well as inspections during installation to maximize quality and prevent unnecessary delays and associated costs. Quality control will be a main topic at all subcontractor pre-award conferences and project coordination meetings.

Schedule Management

Developing schedules requires the ability to envision each step of the preconstruction and construction process, and then translate that vision into realistic steps and timeframes, taking into account the experience and abilities of the individual players of the project team. Once these steps and durations are identified, we will use Microsoft Project software to develop the master schedule. The master schedule will be clearly communicated to members of the project team at all partnering, preconstruction, and pre-bid interviews to enforce the goals and expectations of the project. Review of the master schedule will also be a significant part of all project planning and progress meetings.

We will update the master schedule monthly, post it in the job-site trailer, and include a copy in the monthly Project Summary Report. Updates will highlight:

- Actual vs. targeted schedule progress for each milestone and the overall project.
- Changes in the project's critical path and significant revisions in the schedule structure.
- Acceleration alternatives to make up for slow progress.

Along with the master schedule, the project team will utilize two-week "look ahead" schedules to guide the project on a day-to-day basis. The "look ahead" schedules will be prepared by our project manager and superintendent and will be reviewed in detail weekly. A copy of the "look ahead" schedule will be attached to meeting minutes for record purposes and to communicate to those not present an accurate picture of current and future progress.

Construction

After the construction documents are available and bids have been received, the construction phase of the project begins. The daily, on-site construction duties are the responsibility of the project superintendent. Enforcing compliance with construction documents and the design intent of the architect will be accomplished in conjunction with the project manager. Maintaining an uninterrupted project workflow and meeting milestone schedule dates are key priorities. Coordination with tenants and providing a safe work environment for building occupants will be addressed daily.

Shop drawing review is the key to a successful project, ensuring timely material and equipment deliveries. Our process anticipates integrating architecture with project management for the initial shop drawing review and completeness will accelerate the turnaround time for shop drawing approval, reduce scope changes, and eliminate scheduling delays.

Project closeout does not start in the last month of a project but at the onset. We propose to provide a team environment to address ongoing punch list items throughout the project before subcontractors leave the site. This would include furnishing as-builts, O&M manuals, warranties, start-up scheduling, and preventative maintenance programs.

Bidding and Award of Subcontracts

As construction documents for a certain scope of work are completed, we will bid on this work and award subcontracts. Bids will be thoroughly analyzed to ensure that you receive the maximum benefit from the construction dollars expended. Our process of bidding, bid analysis, and award of subcontracts is as follows:

- Each bid package will be reviewed by the construction management team for quality control and final value engineering analysis.



- The City of Plymouth, Ehresman Architects, and John DeMattia Construction will mutually establish a bidders list.
- Bids will be tabulated and analyzed for competitiveness, thoroughness, and conformance with the project plans and specifications.
- Copies of all bids, bid analyses, and executed subcontracts will be made available for the architect and owner's review.

Field Supervision

An onsite field superintendent will be assigned to your project. This field superintendent will have a proven record of excellence on numerous projects of similar scope and complexity. Specifically, the field superintendent will:

- Schedule the work in the field from our onsite office.
- Communicate pertinent field activities with the project manager, project architect, and owner.
- Provide the front-line inspection of quality. Our processes, people, and procedures constantly plan for the desired level of quality. The project superintendent is assisted by the project manager and project architect in monitoring the completed work to ensure that the highest levels of quality are achieved.
- Coordinate municipal inspections and expedite obtaining the required temporary and final occupancy permits.
- Conduct safety reviews and toolbox meetings with subcontractors.
- Maintain a Daily Field Report to document the field activities.

Reporting and Documentation

We will prepare a monthly executive report to keep you informed of the schedule and budget of the project. Typical reports will include:

- An Indicated Outcome Report (IOR) to keep you informed of the financial status of the project.
- A monthly Project Summary Report to update you on budgets, construction activity, permit status, and upcoming work.
- Minutes of all meetings to document critical items of the project.
- Schedules are prepared and frequently updated to ensure the completion of the project on time.
- Monthly progress photos.

Close-Out Procedures

As construction nears completion, our project close-out procedures will include the following:

- Inspecting the facility with the owner and project architect to ensure conformity of the work with contract documents.
- Obtaining final municipal inspections.
- Submitting service and maintenance manuals. Training sessions will be held to educate you on major systems within the building.
- Submitting warranties and guarantees.
- Processing all sworn statements, final waivers, and final invoices.
- Final cleaning of the building before occupancy.

Audit Program

As part of our services, our construction management team will perform an audit of your facility:

- Near the end of the one-year warranty period, if requested, the facility will be inspected for warranty items. Our personnel will expedite the completion of all warranty work with the appropriate subcontractors or suppliers.

Business Procedures and Recordkeeping

John DeMattia Construction focuses on providing our clients with the highest quality products and services. To that



end, we use a proven Quality Management System model. Our quality system gives us the tools for measuring and monitoring the success of our system and fosters an environment that encourages employee involvement in continuously improving the way we operate. By working within the processes defined by our Quality System, the team associated with your project can ensure a quality product.

The processes require clearly documenting your needs and requirements; specifying quality materials to be used by only our approved suppliers; maintaining the project plan, which includes a detailed project schedule; and following a comprehensive submittal approval process. Throughout the project, quality in-process inspections are conducted. We will also ask for your participation in customer satisfaction surveys, looking for opportunities to improve our services.

2. Relevant Experience and References

References

St. Hugo of the Hills

Carla Amori
Business Manager
2215 Opdyke Rd.
Bloomfield Hills, MI 48304
248.767.3299

Fowlerville District Library

Marion Cornett
Board President
131 Mill St.
Fowlerville, MI 48836
517.404.3827

Archdiocese of Detroit, Detroit, MI Archives Relocation

Mike Edgar
Director
PM Net for the Archdiocese of Detroit
1234 Washington Blvd.
Detroit, MI 48226-1825
734.748.1942

St. Kateri Tekakwitha Catholic Church, Dearborn, MI

Gathering Space Addition

Father Terrance Kerner
1601 Rotunda Drive
Dearborn, MI 48120
313.336.3227

S3 Architecture
Steve Schneemann
33610 Grand River
Farmington Hills, MI 48335
248.427.0007

Holy Redeemer Catholic Parish, Detroit, MI Extensive Phased Renovation of the Historic Church

Don Hanchon
Bishop
1721 Junction
Detroit, MI
313.842.3450

Road Less Traveled Books

Chuck Allore
33300 Thomas Street
Farmington, MI 48336
248.921.6205

St. William Parish

Deborah Diviny
Business Manager
531 Common St.
Walled Lake, MI 48390
313.574.0095

St. Irenaeus Parish

Diana Goofryd
Manager
771 Old Perch Rd.
Rochester Hills, MI 48309
248.651.9595

St. Michael the Archangel Parish

Msgr. Tindell
Pastor
11441 Hubbard Rd.
Livonia, MI 48150
313.330.1038

Romulus Public Library, Romulus, MI

Patty Braden
Library Director
11121 Wayne Rd.
Romulus, MI 48174
734.955.4516

SI Company LLC

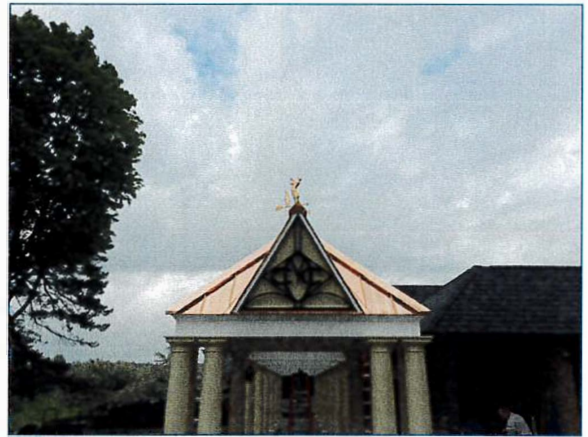
Molly Theis
Executive Assistant
5111 Venture Dr.
Ste. 3
Ann Arbor, MI 48108
734.761.5504

**Meadowbrook Country Club
Northville, MI**

Size — 15,900 SF Renovation
Method — Construction Management
Cost — GMP \$3,000,000
Completed — May 2015

We completed the interior renovations of the Meadowbrook Country Club, a nearly 100 year old private golf and social club, which included:

- Reconfiguration of the interior walls in the north end of the building, relocation/modification to the existing Golfer's Grille Restaurant, Family Dining Room, Pro Shop and Men's Locker Room
- Removal of the existing bar
- Removal and replacement of two bathrooms
- New bar in the Golfer's Grille Restaurant
- New fireplace in the Family Dining Room
- New lockers in the Men's Locker Room
- New bar in the Men's Locker Room
- New exterior windows and doors in the Family Dining Room
- New exterior windows in the Pro Shop
- New lighting, flooring, finishes, and millwork throughout the renovated area
- Redistribution of HVAC ductwork



Detroit Golf Club Detroit, MI

Size — 22,900 SF Renovation
Method — Construction Management
Cost — GMP \$3,000,000
Completed — July 2020

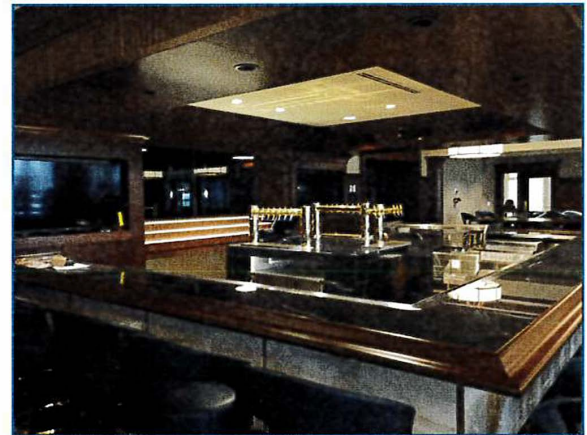
We are in the process of completing the interior and exterior renovations of the Detroit Golf Club. Founded in 1899, DGC remains an exclusive private golf club to this day. The DGC offered two clubhouses with the first opening in 1906, followed by the completion of the Albert Kahn designed Clubhouse in 1918. Its multiple courses are enhanced with an aquatics center, athletic facilities, children's amenities, as well as formal and casual dining options.

The project includes the complete renovation of approximately 8,150 SF of interior space (in two separate buildings) and 14,750 SF of outdoor dining and patio space.

The new spaces in the club house include the Grill Room and Bar, kitchen, toilet rooms, Pro Shop, Wine Room and storage.

The Cart Barn includes the caddie area, kitchenette, and bag storage area, new toilet facilities, and new exterior doors and windows. The Cart Barn also includes the construction of a roof over the courtyard.

The exterior work included a new covered Dining Area with heaters, fire pit area with planters, new gateway entry, a new covered golfer's entry, as well as a new score board for tournaments.

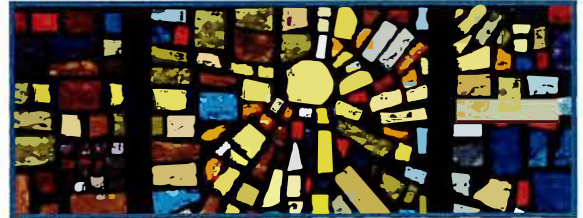


**St. William Catholic Parish
Walled Lake, MI**

**Size — 2,946 SF Renovation
Method — Construction Management
Cost — \$775,000
Completed — September 2025**

John DeMattia Construction was selected to perform the construction management of this nearly 85 year old parish. The 2,946 SF renovation project was completed in September of 2025, and the existing facility was open and operational for mass and school during construction. We took careful, temporary measures to accommodate the ongoing activities.

This project includes: Renovation of the existing cry room, vesting room, and restroom under the balcony on the east side of the nave; adding a new wall to delineate the AV production space from the adjacent storage on the balcony; replacing the wood and glass on the west facade of the church; demolishing the existing boiler; leveling the floor of the existing boiler room (~5' below finish floor); reconfiguration of the existing sacristy; relocation and reconfiguration of the Sacrament and French drain; reconfiguration of the toilet room within the existing storage area; reconfiguration and expansion of the choir space to accommodate additional seats and improve circulation; relocation of the existing lectern; replacing the glazing wall and revising the furniture and layout in the devotional area; prepping to add a backup generator in the future pending cost savings to serve the sanctuary; adding height to the half wall/ storage shelving at the rear of the sanctuary; revising all sanctuary lighting; and demolish and replace the flooring in the nave.



St. Michaels the Archangel Livonia, MI

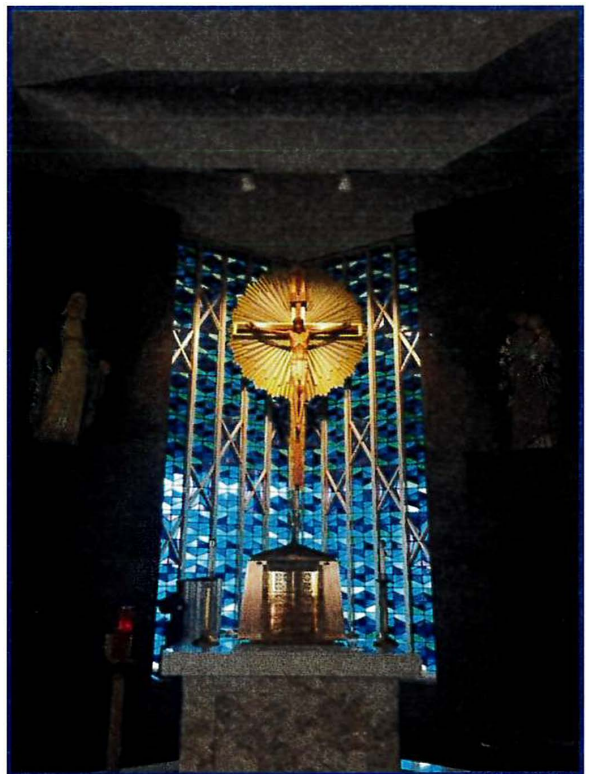
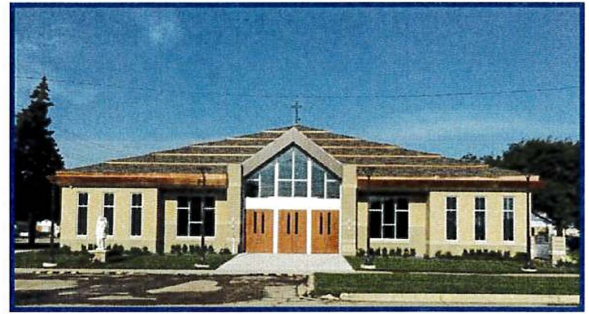
Size — 4,000 SF Renovation
Method — Construction Management (GMP)
Cost — \$3,840,000
Completed — July 2021

John DeMattia Construction was selected to perform the construction management of this nearly 90 year old parish. The 4,000 SF addition and renovation project was completed using the construction management method with a guaranteed maximum price and was delivered on time and under budget.

The project included an addition to the church as well as a \$200,000 renovation of the existing altar space. Work incorporated a new entrance to the building, including a fire wall between the foyer and gathering space to create a fireproof barrier and a quieter church, renovation of the altar, new kneelers and flooring, two new women's and men's bathrooms, a kitchenette, an usher room, and a new sacristy.

The mezzanine was enlarged to house the new mechanical rooms as well as increasing the choir loft. The stepped roof was removed and replaced with new copper gutters, downspouts and shingles. The project was finished with new landscaping, statue, and signage.

John Demattia Construction has over 35 year of ecclesiastic experience in the Metro area, including St. Vincent Ferrer Catholic Community, St. Irenaeus Parish ,Holy Redeemer Catholic Parish, St. Kateri Tekakwitha Catholic Church, Prince of Peace Catholic Church, St. Lucy Catholic Church, St. Regis Parish, and multiple projects with the Archdiocese of Detroit, as well as University Presbyterian Church, Christ the King Lutheran Church, and Hope Lutheran Church.

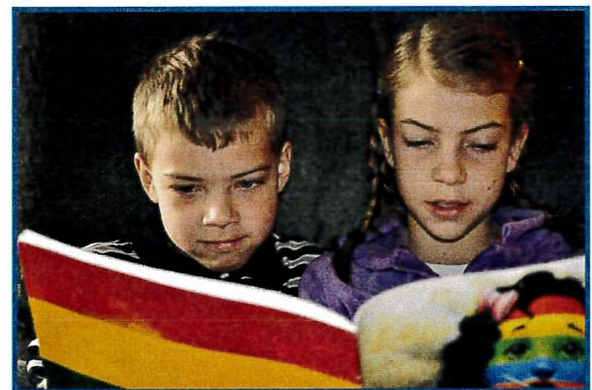
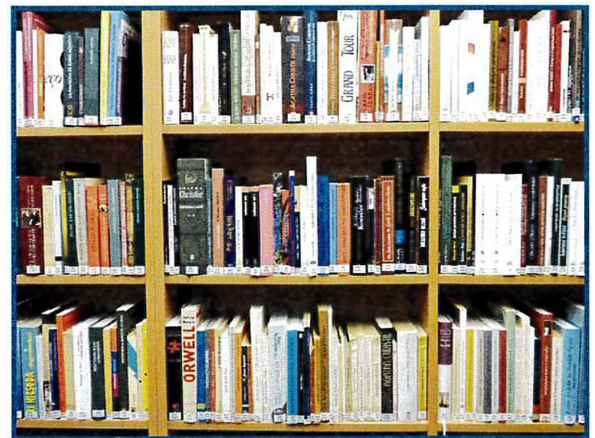


Flat River Library Greenville, MI

Size — 1,240 SF Renovation
Method — Construction Management
Cost — \$200,000
Completed — Spring 2024

John DeMattia Construction provided construction management services for the Flat River Library. The existing facility remained operational and in use as a Public Library, for the duration of the renovation, so temporary measures were taken to accommodate these ongoing activities.

- New gypsum board partition and glass in the existing Teen Collection Area and a glass bi-part sliding mall front system to create new Teen Program Room spaces.
- Rework of existing mechanical to accommodate the new Teen Program Room, with the addition of new mechanical ductwork and diffusers.
- Rework of existing electrical to accommodate the new Teen Program Room, with the addition of a new electrical power supply.
- Installation of a new custom millwork in the Teen Program Room.
- Installation of new wall and ceiling paint, and new carpet flooring in the Teen Program Room.
- Modifications to existing flooring in the Teen Collection Area.
- Removal of a portion of the existing ceiling and modifications to the existing acoustical ceiling grid system and existing lighting.
- Installation of Arktura baffle system, lighting, and new gypsum board. soffit in the Teen Program Room.



**Fowlerville District Library
Fowlerville, MI**

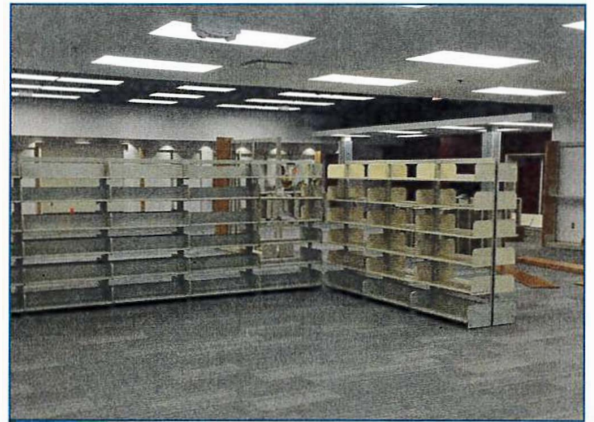
Size — 12,200 SF Renovation
Method — Construction Management
Cost — \$740,000
Completed — May 2018

John DeMattia Construction provided construction management services for the Fowlerville District Library. In just four and a half months, JMD was able to convert an existing grocery store into a new library. This included not only extensive demolition and plans for future expansion, but also:

- Fill abandoned piping tunnels
- Leveling uneven floors
- Removal of the existing mechanical system and installing an entirely new one
- All new LED lighting
- Acoustical ceilings throughout including acoustical ceiling cloud drops
- Sprinkler drops and riser
- New water and gas service into building

Facility features include:

- Archives room
- Children's area
- Circulation desk
- Program room with folding partition
- Fireplace in lounging area
- Directors office
- Kitchen
- Two new unisex bathrooms



Romulus Public Library Romulus, MI

Size — 2,800 SF Renovation
Method — Construction Management
Cost — \$ 470,000
Completed — March 2022

John DeMattia Construction provided construction management services for the Romulus Public Library. New carpeting and LVT flooring was installed throughout the newly renovated ADA compliant space and adult services area, including updates to the public computer area, service desk, and community room with a movable partition that can make multiple sized rooms for a variety of events, as well as new painting, signage, and millwork.

Facility features include:

- A functional modern service desk with custom millwork, better lighting and a more user-friendly shape, size, and placement.
- A new larger public computer area with power and data outlets on the floor for a cleaner space and easier internet access.
- Expanded community room space designed to serve as one large room, or, with a movable partition, two smaller rooms and renamed Community Room 1 and Community Room 2.
- A sink, new countertop, and outlets for patrons to prepare drinks or snacks for their groups.
- New carpeting in the updated sections expanding throughout the adult services area.



Road Less Traveled Books Farmington, MI

Size — 10,000 SF Renovation
Method — Construction Management
Cost — \$226,000
Completed — July 2024

John DeMattia Construction provided construction management services for the Road Less Traveled Books. We renovated 10,000 SF of an existing office building into a beautiful and inviting retail space. The upgrades included:

- Structurally stabilizing an existing masonry wall
- Demolition
- Concrete work
- Tuckpointing
- Custom millwork
- Seating
- Shelving units
- Drywall
- Carpeting
- Painting
- Electrical



Wixom Public Library Wixom, MI

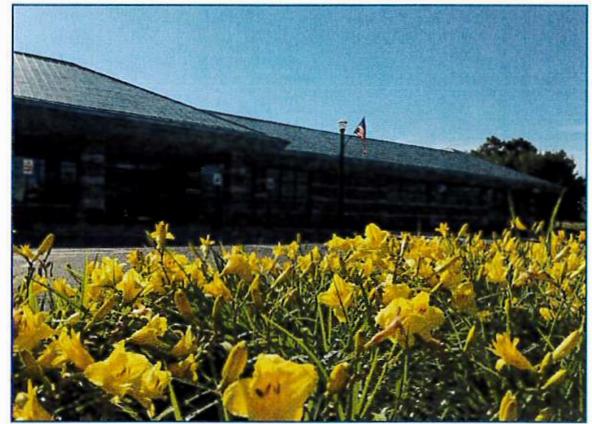
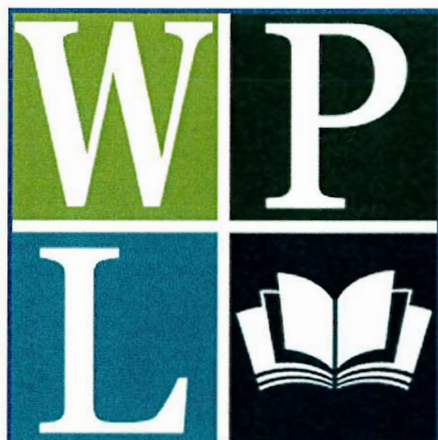
**Previous Experience with Lerner Linden Inc.
Method — General Contract
Completed — Spring 1990**

As part of his fathers firm Lerner Linden Inc., John DeMattia provided project management and estimating services for the Wixom Public Library. The multi million dollar project included the brand new library as well as addition and renovations to both the Wixom City Offices and Police Department.

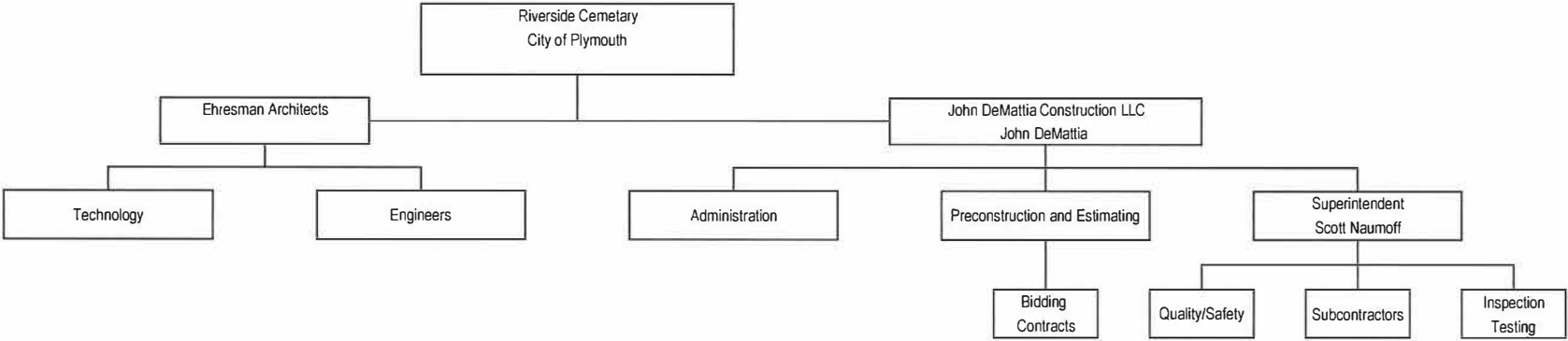
Total Project \$6.0 Million Dollars

Library features include:

- Metal Roofing
- Retention Pond
- New electrical, water and gas service into building
- Archives room
- Children's area
- Circulation desk
- Technology area -Computer bank
- Meeting rooms
- Kitchen



**3. Organizational Chart
and Team Resumes**





John M. DeMattia
John DeMattia Construction, LLC – President

As president, John is responsible for all company details while maintaining and fostering relationships with past, present and future clients. With over 35 years of experience in the building environment, John has a unique ability that allows him to fully understand his client's needs. He works with the project team step by step from formulating and implementing cost and construction strategies to the project closeout, including owners' financial updates and reports.

John's project experience throughout his extensive career spans everything from religious facilities and schools to pumping stations, glass recycling facilities, municipal offices, manufacturing plants, athletic facilities, class A offices, medical facilities and more.

Some of his experience of interest includes the Road Less Traveled Books, Farmington; Fowlerville Public Library; Romulus Public Library; the renovation of an existing facility to house all the archives for the Archdiocese of Detroit at the Sacred Heart Seminary; Farmington Bookstore, St. Hubert Catholic Church altar and vestibule renovation in Harrison Twp.; St. Lucy Catholic Church of St. Clair Shores exterior wall replacement; St. Vincent Ferrer Catholic Church Gathering Space Addition in Madison Heights; St. Kateri Catholic Church Expansion and Renovation in Dearborn, MI; the renovation of Christ the King Lutheran Church in Southgate, MI which consisted of a daycare, kitchen and multiple classrooms; the Hope Lutheran Church addition in Farmington Hills, MI included multiple classrooms, a large multipurpose room and kitchenette; and Holy Redeemer Catholic Parish in Detroit was the extensive phased renovation of the historic church, including updating sound and lighting and staying true to its 1920's design replacing its clay roof tiles, parapets and copper downspouts as part of a five year program.

John extensive project management and estimating success is fully shown on the Dominos' Farms campus with his involvement in Mr. Monaghan's personal developments and by completing the University of Michigan's MedSports Relocation, the Domino's Farms Connection addition, the Via Sacra School, Mother House and Cellular Tower. John has also completed renovations to Ave Maria Law School, Wayne State University Hilberry Theatre, General Motors Tech Center, Brembo North America dynamometers and renovations, Meadowbrook Country Club in Northville Formal Dining Room, Locker Room, Pro Shop and Pub renovations, the 30,000 SF Philmar Plaza retail renovation; multiple projects for CNA Bonding replacing original contractors to complete projects; multiple projects for Summit View Condominiums, Ann Arbor; BASF in Wyandotte, Southfield, and Mattawan; Federal Mogul multiple interior renovations at various facilities, Cassidy Lakes Technical School, and performed the Wayne State University Educational Outreach Relocation.

John has his BS in Civil Engineering from Michigan Technological University.



Scott Naumoff
John DeMattia Construction LLC, Superintendent

As superintendent, Scott oversees coordination and supervision of subcontractors and day-to-day site operations. He also assists with preparing bids, estimates, construction scopes, processing change orders, and formulating schedules for subcontractor distribution as well as maintaining code compliance. Scott has 30 years of experience in the commercial construction industry minimizing risk and delays, and maximizing savings and quality. The scope of his experience includes religious, educational, performing arts, commercial, retail, residential, food service, and industrial clients.

Project experience of interest includes Michigan Memorial Park Niche Lighthouse Columbarium, Flat Rock, MI; Detroit Memorial Park Columbarium, Redford, MI; The Road Less Traveled Books, Farmington; renovation of an existing facility to house all the archives for the Archdiocese of Detroit at the Sacred Heart Seminary; St. Kateri Catholic Church Expansion and Renovation in Dearborn, MI; Hope Lutheran Church addition in Farmington Hills with multiple classrooms, a large multipurpose room and kitchenette; Pondview Properties 32,000 sf office renovation, Ann Arbor: the Fowlerville District Library, where they renovated an existing grocery store to house the new library, along with plans to expand it in the future; Meadowbrook Country Club in Northville Formal Dining Room, Locker Room, Pro Shop and Pub renovations; Brembo North America dynamometer installation in Plymouth; the Wayne State University Hilberry Theatre; the Wayne State University Educational Outreach Relocation; the Western Washtenaw Recycling Authority addition; City of Ann Arbor Airport repairs; and the Metro Consulting Associates tenant improvement build-out. Other projects include Allen Park High School aquatics center demolition and expansion, cafeteria expansion, and performing arts theater; Multiple renovations for the Wiegenka, Gudith and Yake Elementary Schools in Woodhaven including office expansions and gym additions; Michigan Memorial Lighthouse Mausoleum demolition and reconstruction; and renovation of Anderson Elementary in Trenton.

Scott graduated from Ferris State University with a Bachelor of Science in Construction Management. He also has specialized certifications in Asbestos Awareness, OSHA training, as well as First Aid certifications in CPR and AED.

4. Fee Proposal

Fee Proposal

Construction Services

5% Cost of Construction

Reimbursables

See General Conditions and Schedule of Services in this section

Costs/Savings

All savings from value engineering and buyouts will revert to the City of Plymouth

Schedule of Services and Fees

Construction Services

Professional and technical services for site evaluation, field supervision, analysis, cost estimating, attending meetings, and construction.

Senior Project Manager	\$ 115.00 per hour
Project Manager	\$ 110.00 per hour
Estimator	\$ 105.00 per hour
Superintendent	\$ 100.00 per hour
Project Engineer	\$ 90.00 per hour

Note:

- Printing and reproduction to be reimbursed on an at-cost basis.
- Transportation is to be reimbursed at \$.70/ mile.
- Outside consultants to be reimbursed on an at-cost plus 5% basis.
- Rates include direct hourly costs, payroll taxes, insurance, and fringe benefits.

Effective: January 1, 2026

Item Description	Req By	Account #	R N	Est Life	Dept Priority	Method of Funding Approp Act 99 Bonds	Dept Req Est Cost	Manager Revisions	Budgeted Cost	
Municipal Services Department										
DMS FACILITY										
Replace Security/Fire Alarm system	MSD	101-900	-971.438	R	10	1	X	10,000	(10,000)	-
Renovate Office Entry + Increase Security	MSD	101-900	-971.438	R	10	1	X	10,000	(10,000)	-
Replace Entry & ADA Doors (Office & Garage)	MSD	101-900	-971.438	R	15	1	X	20,000	(20,000)	-
Install Backup Generator + EV Charging	MSD	101-900	-971.438	N	20	2	X	270,000	(270,000)	-
Repair / Block Wall & Tuckpoint	MSD	101-900	-971.438	R	10	2	X	25,000	(25,000)	-
Exterior Paint	MSD	101-900	-971.438	R	10	2	X	50,000	(50,000)	-
Replace Gutters, Siding & Soffits at Front Office	MSD	101-900	-971.438	R	10	2	X	30,000	-	30,000
Renovate Wash Bay & Replace Powerwasher	MSD	101-900	-971.438	R	10	2	X	25,000	-	25,000
Season Equipment Storage Rack System	MSD	101-900	-971.438	R	10	2	X	50,000	(50,000)	-
CEMETERY										
Riverside - Replace roadway pavement	MSD	101-900	-976.276	R	25	1	X	850,000	(850,000)	-
Riverside - Replace mausoleum repairs	MSD	101-900	-976.276	R	20	2	X	100,000	(100,000)	-
Riverside - Repair mausoleum masonry	MSD	101-900	-976.276	R	20	2	X	75,000	(75,000)	-
Riverside - Replace mausoleum carpet	MSD	101-900	-976.276	R	20	2	X	15,000	(15,000)	-
Riverside - Replace mausoleum Electrical Panel	MSD	101-900	-976.276	R	20	2	X	10,000	(10,000)	-
Riverside - Repair mausoleum Entry Door	MSD	101-900	-976.276	R	20	2	X	5,000	(5,000)	-
Riverside - Replace Garden Mausoleum Granite	MSD	101-900	-976.276	R	10	2	X	90,000	(90,000)	-
Riverside - Replace Concrete & Brick Walkway	MSD	101-900	-976.276	R	10	2	X	40,000	(40,000)	-
Riverside - 2023 Reno Plan retrofit existing crypt/niche fastner system	MSD	101-900	-976.276	R	20	2	X	650,000	-	650,000
Riverside - 2023 Reno Plan demo/retrofit/install new niches (Unit A & D)	MSD	101-900	-976.276	R	20	2	X	320,000	-	320,000
Riverside - 2023 Reno Plan demo/retrofit/install new niches (Couch Crypts)	MSD	101-900	-976.276	R	20	2	X	40,000	-	40,000
Riverside - 2023 Reno Plan retrofit/install new glass for niches	MSD	101-900	-976.276	R	20	2	X	90,000	-	90,000
CITY HALL										
Security Sysytem Enhancements	MIS	101-900	-971.436	R	10	1	X	55,000	-	55,000
Vestibule Security Enhancements	MSD	101-900	-971.436	R	25	1	X	85,000	-	85,000
Elevator Repairs/replacement	MSD	101-900	-971.436	R	25	2	X	100,000	(100,000)	-
Replace Flooring (Carpet, Tile, Vinyl, etc.) - CM Office	MSD	101-900	-971.436	R	10	2	X	25,000	-	25,000
Exterior Paint / Trim Repaid	MSD	101-901	-971.436	R	10	2	X	50,000	-	50,000

RESOLUTION

The following Resolution was offered by Comm. _____ and seconded by Comm. _____.

WHEREAS, the City of Plymouth has owned and operated Riverside Cemetery for nearly 150 years, providing burial services and maintaining facilities intended for perpetual use; and

WHEREAS, the Garden Mausoleum, constructed in 1989, has experienced ongoing structural deficiencies, design flaws, and maintenance challenges that have worsened over time; and

WHEREAS, burial trends have shifted significantly toward cremation, resulting in reduced demand for crypt spaces and increased demand for niche spaces, which are currently sold out; and

WHEREAS, the City Commission previously authorized design services, and through collaboration with Ehresman Architects and the Cemetery Board of Trustees, a comprehensive renovation concept has been developed to address both structural repairs and evolving service needs; and

WHEREAS, due to the complexity of the project and the need for flexibility in design and construction methods, the Construction Manager delivery approach was determined to be the most effective means to control costs, encourage innovation, and successfully complete the project; and

WHEREAS, a competitive proposal process identified Shaw Construction as the most qualified firm to serve as Construction Manager, demonstrating a clear understanding of the project and a comprehensive approach to its execution;

NOW, THEREFORE, BE IT RESOLVED, that the City Commission of the City of Plymouth hereby approves the Construction Manager Services Contract with Shaw Construction in an amount not to exceed \$1,100,000 for the Riverside Cemetery Garden Mausoleum Renovation Project;

BE IT FURTHER RESOLVED, that the City Commission authorizes a 5% contingency in the amount of \$55,000, to be funded from Operating and/or Contractual Services accounts if necessary to address unforeseen field conditions or project adjustments.