



# City of Plymouth Historic District Commission Regular Meeting Agenda

Wednesday, December 6, 2023 – 7:00 p.m.  
Plymouth City Hall & Online Zoom Webinar

City of Plymouth  
201 South Main Street  
Plymouth, Michigan 48170

www.plymouthmi.gov  
Phone 734-453-1234  
Fax 734-455-1892

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/83078436431?pwd=bCtVY0tFbVdwWFM0cHRqRjNsdnI5Zz09>

Webinar ID: 830 7843 6431

Passcode: 230262

- 1) CALL TO ORDER
- 2) CITIZENS COMMENTS
- 3) APPROVAL OF THE MINUTES
  - a) Approval of the November 1, 2023, regular meeting minutes
- 4) APPROVAL OF THE AGENDA
- 5) COMMISSION COMMENTS
- 6) OLD BUSINESS
  - a) Delegation of Administrative Approvals
- 7) NEW BUSINESS
  - a) H23-07, 330 S. Main, Highline Spirits: Renovation of Façade, new lighting & signage.
- 8) REPORTS AND CORRESPONDENCE
- 9) ADJOURNMENT

Citizen Comments - This section of the agenda allows up to 3 minutes to present information or raise issues regarding items not on the agenda. Upon arising to address the Commission, speakers should first identify themselves by clearly stating their name and address. Comments must be limited to the subject of the item.

Meetings of the City of Plymouth are open to all without regard to race, sex, color, age, national origin, religion, height, weight, marital status, disability, or any other trait protected under applicable law. Any individual planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) should submit a request to the ADA Coordinator at 734-453-1234 ext. 234 at least two working days in advance of the meeting. The request may also be submitted via mail at 201 S. Main St. Plymouth, MI 48170, or email to [clerk@plymouthmi.gov](mailto:clerk@plymouthmi.gov).

**GOAL AREA ONE - SUSTAINABLE INFRASTRUCTURE**

**OBJECTIVES**

1. Identify and establish sustainable financial model(s) for major capital projects, Old Village business district, 35<sup>th</sup> District Court, recreation department, and public safety
2. Incorporate eco-friendly, sustainable practices into city assets, services, and policies; including more environmentally friendly surfaces, reduced impervious surfaces, expanded recycling and composting services, prioritizing native and pollinator-friendly plants, encouraging rain gardens, and growing a mature tree canopy
3. Partner with or become members of additional environmentally aware organizations
4. Increase technology infrastructure into city assets, services, and policies
5. Continue sustainable infrastructure improvement for utilities, facilities, and fleet
6. Address changing vehicular habits, including paid parking system /parking deck replacement plan, electric vehicle (EV) charging stations, and one-way street options

**GOAL AREA TWO – STAFF DEVELOPMENT, TRAINING, AND SUCCESSION**

**OBJECTIVES**

1. Create a 5-year staffing projection
2. Review current recruitment strategies and identify additional resources
3. Identify/establish flex scheduling positions and procedures
4. Develop a plan for an internship program
5. Review potential department collaborations
6. Hire an additional recreation professional
7. Review current diversity, equity, and inclusion training opportunities
8. Seek out training opportunities for serving diverse communities

**GOAL AREA THREE - COMMUNITY CONNECTIVITY**

**OBJECTIVES**

1. Engage in partnerships with public, private and non-profit entities
2. Increase residential/business education programs for active citizen engagement
3. Robust diversity, equity, and inclusion programs
4. Actively participate with multi-governmental lobbies (Michigan Municipal League, Conference of Western Wayne, etc.)

**GOAL AREA FOUR - ATTRACTIVE, LIVABLE COMMUNITY**

**OBJECTIVES**

1. Create vibrant commercial districts by seeking appropriate mixed-use development, marketing transitional properties, and implementing Redevelopment Ready Communities (RRC) practices
2. Improve existing and pursue additional recreational and public green space opportunities and facilities for all ages
3. Develop multi-modal transportation plan which prioritizes pedestrian and biker safety
4. Improve link between Hines Park, Old Village, Downtown Plymouth, Plymouth Township, and other regional destinations
5. Maintain safe, well-lit neighborhoods with diverse housing stock that maximizes resident livability and satisfaction
6. Modernize and update zoning ordinance to reflect community vision
7. Implement Kellogg Park master plan

*“The government in this community is small and accessible to all concerned.”*

-Plymouth Mayor Joe Bida

November 1977



City of Plymouth  
Historic District Commission  
Regular Meeting Minutes  
Wednesday, November 1, 2023 - 7:00 p.m.

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City of Plymouth  
201 S. Main  
Plymouth, Michigan 48170-1637

www.plymouthmi.gov  
Phone 734-453-1234  
Fax 734-455-1892

**1. CALL TO ORDER**

- a. Chair Colleen Polin called the meeting to order at 7:00 p.m.  
Present: Chair Polin, Members Jeremy Borys, Meghan Covino, Gania Kandalaft, Joshua Mrozowski

Excused: Stan Cole, John Townsend

Also present: Economic Development Director John Buzuvis

**2. CITIZEN COMMENTS**

There were no citizen comments.

**3. APPROVAL OF THE MINUTES**

Kandalaft offered a motion, seconded by Borys, to approve the minutes of the July 5, 2023, regular meeting.

There was a voice vote.  
MOTION PASSED

**4. APPROVAL OF THE AGENDA**

Mrozowski offered a motion, seconded by Covino, to approve the agenda for Wednesday, November 1, 2023.

There was a voice vote.  
MOTION PASSED

**5. COMMISSION COMMENTS**

There were no commission comments.

**6. OLD BUSINESS**

There was no old business.

**7. NEW BUSINESS**

- a. H23-05 380 S. Main, Fiamma: Paint color change and reskin awning  
Owner Ryan Yaquinto explained his request and offered to answer questions.

***Motion***

Borys offered a motion, seconded by Covino to issue a certificate of appropriateness for H23-05 for paint color change and reskinning the awnings.

***Finding of Fact***

The project meets the Secretary of Interior standards for rehabilitation numbers 1 and 5.

There was a voice vote.

MOTION PASSED 5-0.

- b. H 23-06 306 S. Main, The Ledger: Signage  
Owner Stefan Stefanakis provided information about the sign request. There was discussion about how it would be installed, and Stefanakis said because the letters would be mounted to the light fixture, no additional holes would be drilled.

***Motion***

Borys offered a motion, seconded by Covino, to issue a certificate of appropriateness for H23-06 for signage.

***Finding of Fact***

The project meets the Secretary of Interior standards for rehabilitation numbers 1, 5, 9, and 10.

***Condition***

The applicant is to submit an accurate depiction of the installation of the letters on the U-channel for the light bar.

There was a voice vote.

MOTION PASSED 5-0.

**8. REPORTS AND CORRESPONDENCE**

Borys said he and Townsend met with Buzuvis to work on a document that lists basic items such as signage and awnings that can be approved administratively. When the document is complete, they will bring it before the HDC for approval.

Polin said she had been questioned about the repair to the sandstone at the ground level of the Ledger building. She said the repairs that were recently completed had been approved by the HDC on February 20, 2023

**9. ADJOURNMENT**

Covino offered a motion, seconded by Borys, to adjourn the meeting at 7:21 p.m.

There was a voice vote.

MOTION PASSED 5-0



Historic District Commission  
201 S. Main Plymouth, MI 48170

Case Number H23-07  
Agenda Date: December 6, 2023

Address: 330 S. Main  
Year Built: 1893  
Historical Significance: Architecture/Commerce

Proposed Changes: Paint color change, signage, lighting, door replacement, mechanical equipment

### Standards for Rehabilitation

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**Sec. 18-654. - Duties and powers.**

(a) It shall be the duty of the historic district commission to review all plans for the construction, addition, alteration, repair, moving, excavation or demolition of structures in the historic district and it shall have the power to pass upon such plans before a permit for such activity can be granted. In reviewing the plans, the commission shall follow the U.S. Secretary of the Interior's standards for rehabilitation and guidelines for rehabilitating historic buildings, as set forth in 36 CFR 67, or their equivalent as approved or established by the state bureau of history of the department of state, and shall also give consideration and significance to:

- (1) The historical or architectural value and significance of the historic resource and its relationship to the historic value of the surrounding area;
- (2) The relationship of the exterior architectural features of such historic resource to the rest of the resources and to the surrounding area;
- (3) The general compatibility of the exterior design, arrangement, texture and materials proposed to be used;
- (4) To any other factor, including aesthetics, which it deems pertinent;
- (5) The proposed major changes to open spaces in a historic district. The HDC shall review plans for major changes to these open spaces, such as the removal of large trees (over 12 inches in diameter as measured four feet above ground) or the making of major contour changes in terrain features. The HDC may use its discretion to decide if proposed changes are major in nature or not.

(b) The HDC shall review and act upon exterior features of a resource, and shall not review and act upon interior arrangements unless interior work will cause visible changes to the exterior of the historic resource. The HDC shall not disapprove applications except in regard to considerations as set forth in subsection (a) of this section.

(c) The HDC may delegate the issuance of certificates of appropriateness for specified minor classes of work to its staff, to the inspector of buildings, or to another delegated authority. The HDC shall provide to such delegated authorities specific written standards for issuing the certificates of appropriateness under this subsection. Such delegated authorities shall come before the next regularly scheduled HDC meeting and the HDC shall review the certificates of appropriateness so issued. These reviews are to serve the purpose of keeping the HDC informed as to what certificates of appropriateness for minor work have been issued since the last HDC meeting. On a quarterly basis, the HDC shall review the certificates of appropriateness, if any, issued by the aforesaid delegated authority to determine whether or not the delegated responsibilities should be continued.

(d) In case of an application for work affecting the appearance of a resource or for the alteration, moving or demolition of a resource which the commission deems so valuable to the city that the loss thereof will adversely affect the public purpose of the city, the historic district commission shall endeavor to work out with the owner an economically feasible plan for preservation of the historic resource.

The following applicable information has been provided		YES	NO	N/A
<b>Demolition, new construction, additions, and alterations</b>				
1.	Completed application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2.	Synopsis: description of the project in words	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3.	Materials finish list	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.	Detailed justification of why the changes are necessary	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5.	Historic photographs of the building	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6.	Photographs of the building and site as they exist today	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7.	Scaled drawings to include existing and proposed site plan including property lines, easements, setbacks, and landscape features	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8.	Scaled drawings to include existing and proposed floor plans	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9.	Scaled drawings to include existing and proposed elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10.	Scaled drawings to include existing and proposed cross sections and other details as needed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

11.	Cut sheets (manufacturer information) for all exterior materials including windows, doors, garage, doors, exterior lighting, fencing, etc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12.	Material samples and colors for roofing, siding, and trim	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13.	Statement of impact of the project on surrounding properties and buildings. Statement shall include items such as architectural character, building scale, vehicular and pedestrian traffic, mass, form, proportion, configuration, location on site, landscaping, and visual appearance.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14.	Time frame for the project including approximate start date and dates for exterior completion, landscaping completion, and final occupancy	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15.	Color rendering of exterior elevation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16.	New construction requires a streetscape view (to scale) with the proposed project inserted	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

### Sign and awning installation or replacement

Please include the following applicable information		YES	NO	N/A
1.	Completed application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2.	Synopsis: description of the project in words including related work such as soffits, fascia, gutters, and trim	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3.	Materials finish list	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.	Detailed justification of why signage and/or awning installation or replacement is necessary	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5.	Historic photographs of the building	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6.	Description of the existing signage/awning material including location, size, material, color, and condition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7.	Photographs of the building as it exists today	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8.	Scaled and dimensioned front and side elevations showing the size and location of signage and/or awning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9.	Scaled cross-section of building elevation indicating proposed signage and/or awning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10.	Identification of all materials used in the construction of signage and/or awning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11.	Material samples including number, letter, font size, and colors of signage and/or awning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

### Paint color change

Please include the following applicable information		YES	NO	N/A
1.	Completed application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2.	Synopsis: description of the project in words	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3.	Materials finish list	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.	Detailed justification of why the changes are necessary	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5.	Historic photographs of the building	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6.	Photographs of the building and site as they exist today	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7.	Samples of the proposed paint color (paint chip)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8.	Photographs and/or diagrams showing the locations and colors where paint will be applied	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

<b>Proposed door or garage door replacement</b>				
Please include the following applicable information		YES	NO	N/A
1.	Completed application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2.	Synopsis: description of the project in words	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3.	Materials finish list	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.	Detailed justification of why door replacement is necessary	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5.	Historic photographs of the building	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6.	Description of the existing door material including color and condition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7.	Photographs of the affected doors as they exist today	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8.	Photographs of the building with proposed changes indicated	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9.	Cut sheets (manufacturer information) for all replacement doors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10.	Material samples and colors of doors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11.	Number of doors to be replaced	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12.	Dimensions of doors including frame thickness and frame width	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13.	Photographs of other projects incorporating the door replacement component	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**CITY OF PLYMOUTH**  
**HISTORIC DISTRICT COMMISSION APPLICATION**

Community Development Department  
 201 S. Main Street Plymouth, MI 48170  
 Ph. 734-453-1234 ext. 232  
[www.plymouthmi.gov](http://www.plymouthmi.gov)

**I. Site/Project Information**

Site Address 330 S. Main	<input checked="" type="checkbox"/> Contributing structure <input type="checkbox"/> Non-contributing structure	Date of Application 11/03/2022
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Name of Property Owner AW2 Investments, LLC. ATTN: Andrew Winnie	Phone Number (734) 451-6666	
Mailing Address 47965 Merle Ct.	Email Address (Required) awinnie@ebuymedia.com	
City Belleville	State Michigan	Zip Code 48111

**II. Applicant and Contact Information**

Indicate Who the Applicant Is. If Property Owner, Skip to Section III.	Architect	<input checked="" type="checkbox"/>	Developer		Engineer		Lessee
Applicant/Company Name Caleb Marquard, Architect	Phone Number (989) 370-4581						
Applicant/Company Address 15628 Westbrook	City Livonia	State MI	Zip Code 48154				
Email Address (Required) calebmarquard@gmail.com							

**III. Site Plan Designer and Contact Information**

Site Plan Designer Company Name Caleb Marquard, Yellowstone Architecture & Construction	Phone Number (734) 548-6957		
Company Address 777 E. Eisenhower Pkwy., Suite 850	City Ann Arbor	State MI	Zip Code 48108
Registration Number 1301064293	Expiration Date 07/12/2024	Email Address (Required) cmarquard@yellowstone.build	


**IV. Type of Project (Please Select All that Apply)**

<input type="checkbox"/> New Construction	<input type="checkbox"/> Window Replacement	<input checked="" type="checkbox"/> Sign/Awning Install or Replacement	<input checked="" type="checkbox"/> Color Change
<input type="checkbox"/> Addition	<input type="checkbox"/> Siding Replacement	<input type="checkbox"/> Wall/Fence Install or Replacement	<input type="checkbox"/> Building Cleaning
<input checked="" type="checkbox"/> Alteration	<input type="checkbox"/> Door Replacement	<input type="checkbox"/> Paving Install or Replacement	<input type="checkbox"/> Other
<input type="checkbox"/> Porch Reconstruct/Repair	<input type="checkbox"/> Roof Replacement	<input type="checkbox"/> Landscaping Install or Replacement	

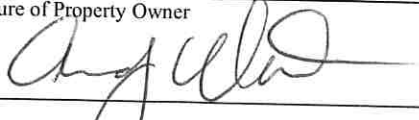
**V. Description of Work**

Renovation of existing suite to provide new distilled spirits Tasting Room. New partitions, MEP alterations, and FFE. Exterior facade rehabilitation including finishes and signage.

### VI. Applicant Signature

Signature of Applicant 	Date 11/03/2023
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### VII. Property Owner Signature

Signature of Property Owner 	Date 11/08/2023
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### VIII. Submittal Checklist

Please include the following applicable information		YES	NO	N/A
<b>Demolition, new construction, additions, and alterations</b>				
1.	Completed application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2.	Synopsis: description of the project in words	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3.	Materials finish list	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.	Detailed justification of why the changes are necessary	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5.	Historic photographs of the building	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6.	Photographs of the building and site as they exist today	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7.	Scaled drawings to include existing and proposed site plan including property lines, easements, setbacks, and landscape features	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8.	Scaled drawings to include existing and proposed floor plans	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9.	Scaled drawings to include existing and proposed elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10.	Scaled drawings to include existing and proposed cross sections and other details as needed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11.	Cut sheets (manufacturer information) for all exterior materials including windows, doors, garage, doors, exterior lighting, fencing, etc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12.	Material samples and colors for roofing, siding, and trim	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13.	Statement of impact of the project on surrounding properties and buildings. Statement shall include items such as architectural character, building scale, vehicular and pedestrian traffic, mass, form, proportion, configuration, location on site, landscaping, and visual appearance.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14.	Time frame for the project including approximate start date and dates for exterior completion, landscaping completion, and final occupancy	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15.	Color rendering of exterior elevation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16.	New construction requires a streetscape view (to scale) with the proposed project inserted	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>Proposed window replacement project</b>				
1.	Completed application	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2.	Synopsis: description of the project in words	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.	Materials finish list	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.	Detailed justification of why window replacement is necessary	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5.	Historic photographs of the building	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6.	Description of the existing window material including color and condition	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7.	Photographs of the affected windows as they exist today	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8.	Photographs of the building with proposed changes indicated	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Please include the following applicable information		YES	NO	N/A
9.	Cut sheets (manufacturer information) for all replacement windows	[ ]	[ ]	[X]
10.	Material samples and colors of windows	[ ]	[ ]	[X]
11.	Number of windows to be replaced	[ ]	[ ]	[X]
12.	Dimensions of windows including frame thickness and frame width	[ ]	[ ]	[X]
13.	Photographs of other projects incorporating the window replacement component	[ ]	[ ]	[X]
<b>Proposed door or garage door replacement</b>				
1.	Completed application	[ ]	[ ]	[X]
2.	Synopsis: description of the project in words	[ ]	[ ]	[X]
3.	Materials finish list	[ ]	[ ]	[X]
4.	Detailed justification of why door replacement is necessary	[ ]	[ ]	[X]
5.	Historic photographs of the building	[ ]	[ ]	[X]
6.	Description of the existing door material including color and condition	[ ]	[ ]	[X]
7.	Photographs of the affected doors as they exist today	[ ]	[ ]	[X]
8.	Photographs of the building with proposed changes indicated	[ ]	[ ]	[X]
9.	Cut sheets (manufacturer information) for all replacement doors	[ ]	[ ]	[X]
10.	Material samples and colors of doors	[ ]	[ ]	[X]
11.	Number of doors to be replaced	[ ]	[ ]	[X]
12.	Dimensions of doors including frame thickness and frame width	[ ]	[ ]	[X]
13.	Photographs of other projects incorporating the door replacement component	[ ]	[ ]	[X]
<b>Proposed roof replacement</b>				
1.	Completed application	[ ]	[ ]	[X]
2.	Synopsis: description of the project in words including related work such as gutters, soffit, and fascia	[ ]	[ ]	[X]
3.	Materials finish list	[ ]	[ ]	[X]
4.	Detailed justification of why roof replacement is necessary	[ ]	[ ]	[X]
5.	Historic photographs of the building	[ ]	[ ]	[X]
6.	Description of the existing roof material including color and condition	[ ]	[ ]	[X]
7.	Photographs of the roof as it exists today	[ ]	[ ]	[X]
8.	Photographs of the building with proposed changes indicated	[ ]	[ ]	[X]
9.	Cut sheets (manufacturer information) for replacement roof	[ ]	[ ]	[X]
10.	Material samples and colors of roof	[ ]	[ ]	[X]
11.	Dimensions of replacement roof	[ ]	[ ]	[X]
12.	Photographs of other projects incorporating the roof replacement component	[ ]	[ ]	[X]
<b>Proposed siding replacement</b>				
1.	Completed application	[ ]	[ ]	[X]
2.	Synopsis: description of the project in words including related work such as soffits, fascia, gutters, and trim	[ ]	[ ]	[X]
3.	Materials finish list	[ ]	[ ]	[X]

Please include the following applicable information		YES	NO	N/A
4.	Detailed justification of why siding replacement is necessary	[ ]	[ ]	[X]
5.	Historic photographs of the building	[ ]	[ ]	[X]
6.	Description of the existing siding material including width, color, and condition	[ ]	[ ]	[X]
7.	Photographs of the siding as it exists today	[ ]	[ ]	[X]
8.	Photographs of the building with proposed changes indicated	[ ]	[ ]	[X]
9.	Scaled and dimensioned elevations showing the replacement siding	[ ]	[ ]	[X]
10.	Cut sheets (manufacturer information) for replacement siding	[ ]	[ ]	[X]
11.	Material samples and colors of siding	[ ]	[ ]	[X]
12.	Dimensions including full profile of replacement siding	[ ]	[ ]	[X]
13.	Photographs of other projects incorporating the roof replacement component	[ ]	[ ]	[X]
<b>Sign and awning installation or replacement</b>				
1.	Completed application	[X]	[ ]	[ ]
2.	Synopsis: description of the project in words including related work such as soffits, fascia, gutters, and trim	[X]	[ ]	[ ]
3.	Materials finish list	[X]	[ ]	[ ]
4.	Detailed justification of why signage and/or awning installation or replacement is necessary	[X]	[ ]	[ ]
5.	Historic photographs of the building	[X]	[ ]	[ ]
6.	Description of the existing signage/awning material including location, size, material, color, and condition	[X]	[ ]	[ ]
7.	Photographs of the building as it exists today	[X]	[ ]	[ ]
8.	Scaled and dimensioned front and side elevations showing the size and location of signage and/or awning	[X]	[ ]	[ ]
9.	Scaled cross-section of building elevation indicating proposed signage and/or awning	[X]	[ ]	[ ]
10.	Identification of all materials used in the construction of signage and/or awning	[X]	[ ]	[ ]
11.	Material samples including number, letter, font size, and colors of signage and/or awning	[X]	[ ]	[ ]
<b>Site improvements: fence, walls, paving, or landscaping installation</b>				
1.	Completed application	[ ]	[ ]	[X]
2.	Synopsis: description of the project in words	[ ]	[ ]	[X]
3.	Materials finish list	[ ]	[ ]	[X]
4.	Detailed justification of why site improvement is necessary	[ ]	[ ]	[X]
5.	Historic photographs of the building and site	[ ]	[ ]	[X]
6.	Photographs of the building and site as it exists today	[ ]	[ ]	[X]
7.	Scaled and dimensioned site plan showing existing lot lines	[ ]	[ ]	[X]
8.	Scaled and dimensioned site plan showing existing buildings	[ ]	[ ]	[X]
9.	Scaled and dimensioned site plan showing	[ ]	[ ]	[X]
10.	Identification of all materials used in the construction of signage and/or awning	[ ]	[ ]	[X]
11.	Material samples including number, letter, font size, and colors of signage and/or awning	[ ]	[ ]	[X]

Please include the following applicable information		YES	NO	N/A
<b>Porch reconstruction or repair</b>				
1.	Completed application	[ ]	[ ]	[X]
2.	Synopsis: description of the project in words	[ ]	[ ]	[X]
3.	Materials finish list	[ ]	[ ]	[X]
4.	Detailed justification of why the changes are necessary	[ ]	[ ]	[X]
5.	Historic photographs of the building	[ ]	[ ]	[X]
6.	Photographs of the building and site as they exist today	[ ]	[ ]	[X]
7.	Description of the existing porch material including location, size, material, color, and condition	[ ]	[ ]	[X]
8.	Scaled drawings to include existing and proposed site plan	[ ]	[ ]	[X]
9.	Scaled drawings to include existing and proposed floor plans	[ ]	[ ]	[X]
10.	Scaled drawings to include existing and proposed elevations	[ ]	[ ]	[X]
11.	Scaled drawings to include existing and proposed cross sections and other details as needed	[ ]	[ ]	[X]
12.	Cut sheets (manufacturer information) for proposed replacement porch materials	[ ]	[ ]	[X]
13.	Material samples and colors for porch	[ ]	[ ]	[X]
<b>Paint color change</b>				
1.	Completed application	[X]	[ ]	[ ]
2.	Synopsis: description of the project in words	[X]	[ ]	[ ]
3.	Materials finish list	[X]	[ ]	[ ]
4.	Detailed justification of why the changes are necessary	[X]	[ ]	[ ]
5.	Historic photographs of the building	[X]	[ ]	[ ]
6.	Photographs of the building and site as they exist today	[X]	[ ]	[ ]
7.	Samples of the proposed paint color (paint chip)	[X]	[ ]	[ ]
8.	Photographs and/or diagrams showing the locations and colors where paint will be applied	[X]	[ ]	[ ]
<b>Building cleaning</b>				
1.	Completed application	[ ]	[ ]	[X]
2.	Synopsis: description of the project in words	[ ]	[ ]	[X]
3.	Materials finish list	[ ]	[ ]	[X]
4.	Detailed justification of why the changes are necessary	[ ]	[ ]	[X]
5.	Historic photographs of the building	[ ]	[ ]	[X]
6.	Photographs of the building and site as they exist today	[ ]	[ ]	[X]
7.	Description of the cleaning method including the names of chemicals and the pressure of any washes or applications	[ ]	[ ]	[X]
8.	Brochure for cleaning agents	[ ]	[ ]	[X]
9.	Description of the treatment of the building exterior (surface) after cleaning – painting, sealing, tuck pointing, etc.	[ ]	[ ]	[X]

# Highline Spirits Renovation

330 S. Main, Plymouth, MI 48170

## Released For: Historic Review

Release Date: 11/17/2023

Oxford Project Number: HLP22

### Project Team

**Owner:** AW2 Investments, LLC  
 Contact: Andrew Winnie  
 47965 Merle Ct  
 Belleville, MI 48111  
 (734) 451.6666  
 awinnie@ebuymedia.com

**Architect/Designer:** Caleb Marquard, AIA  
 15628 Westbrook  
 Livonia, MI 48154  
 (989)370-4581  
 calebmarquard@gmail.com

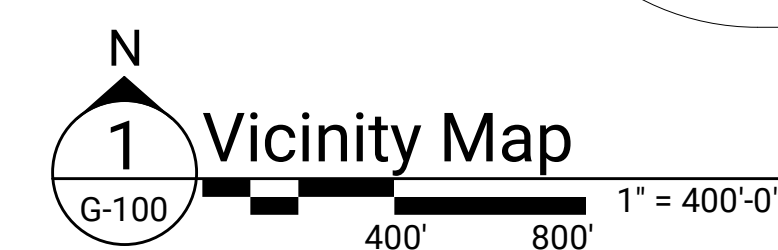
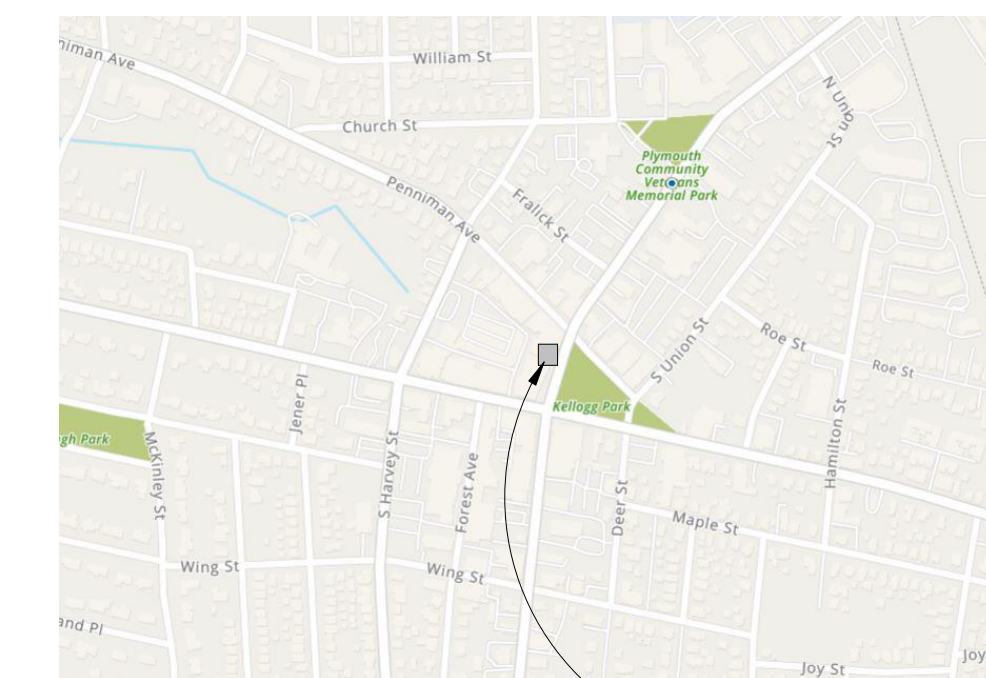
**Tenant:** Highline Spirits, LLC  
 Contact: Christina Lower, CEO  
 8482 Cedar Hills Drive  
 Dexter, MI 48130  
 (517) 290.8001  
 christi@highlinespirits.com

### Project Description

Renovation of existing tenant space for new distilled spirits tasting room. Updates to mechanical, electrical, and plumbing systems as well as interior partitions, finishes, and occupant notification devices. Select renovation to existing facades for new Tenant signage

**Assumed exception: historic district restroom variance; single-occupant toilet room with lavatory to satisfy both Male and Female requirements**

**Approximate project schedule: 11/2023-03/2024**



### Historic District Description

Renovation of existing former Wiltse's Pharmacy mercantile tenant space for new Highline Spirits distilled spirits tasting room. Updates to mechanical, electrical, and plumbing systems as well as interior partitions, finishes, and occupant notification devices.

#### Sign/Awning Replacement:

Select renovation to existing facades including fresh sealant/paint and new lit metallic affixed Tenant signage to denote new use. Tenant is gifting the existing historic Wiltse's sign to Historical society museum. New aluminum sign on rear (west) facade, Existing rear (west) facade damaged awning has failed and is causing infiltration. A new EIFS decorative frame and header will be provided in accordance with adjacent building standards.

#### Statement of Impact:

The architectural character of the existing historic main street facade will be cherished and enhanced with fresh exterior grade paint, including accent tones to denote existing architectural trim details as is currently the standard along the main street historic corridor. We are embracing the existing first floor storefront windows and entry, no changes are to occur to building footprint. In order to meet accessibility, an automatic door operator and push-button bollard will be floor mounted at the main entry exterior. The building scale, vehicular and pedestrian traffic paths to and from the site, mass, form, proportion, configuration, location on site, and landscaping will all remain.

### Sheet Index

Sheet Number	Sheet Name	Current Revision Description	Current Revision Date
General			
G-100	Cover Sheet	Historic Review	11/17/2023
G-101	General Information & Accessible Clearances	Historic Review	11/17/2023
G-102	General Fixture Mounting Heights	Historic Review	11/17/2023
LS101	Code Analysis Plan & Schedules	Historic Review	11/17/2023
Civil/Landscape			
C-101	Site Plan	Site Plan Review	09/27/2022
Architectural			
D-101	Overall Demolition Floor Plan	Historic Review	11/17/2023
A-101	Overall New Work Floor Plan	Historic Review	11/17/2023
A-201	Overall Reflected Ceiling Plan	Historic Review	11/17/2023
A-301	Exterior Elevations	Historic Review	11/17/2023
A-302	Exterior Elevations	Historic Review	11/17/2023
A-601	Wall Sections	Historic Review	11/17/2023
A-801	Partition Types	Historic Review	11/17/2023
A-900	Finish Schedule	Historic Review	11/17/2023
Equipment			
Q-101	Equipment Plan	Historic Review	11/17/2023
Furniture			
F-101	Seating Plan	Historic Review	11/17/2023

Consultant

330 S. Main, Plymouth, MI 48170

Highline Spirits Renovation

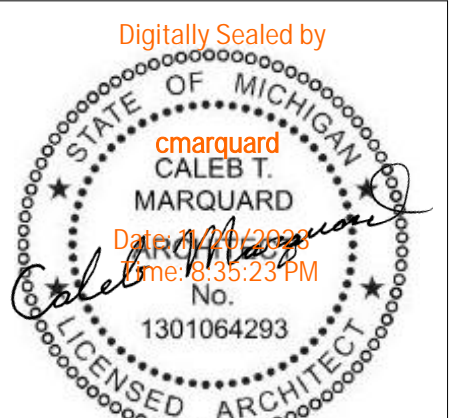
Cover Sheet

Historic Review

Job Title:

Sheet Title:

Released For:



23117\_HLP22\_HistoricReview\_seal.pdf

Seal

No.	Description:	Date:
2	Permit	09/14/2022
3	Permit Revision-01	09/26/2022
4	Site Plan Review	09/27/2022
5	Historic Review	11/17/2023

Project Manager:

Designer: C. Marquard

Drawn By:

QA/QC:

HLP22

G-100

NOT FOR CONSTRUCTION

Scales listed are for 22x34 sheet size

# General Symbol Legend

**Typical Detail Bubble (applies to all detail types):**

- Reference Text
- Top #: Detail Number (Location on sheet)
- Bottom #: Sheet on which detail is located

**Detail plan view:** Dashed outline indicates area being detailed

**Detail section view:** Tail indicates direction of section cut

**Wall section:** Tail indicates direction of section cut

**Building section:** Arrow indicates direction of building section

**Exterior elevation:** Arrow indicates face of structure being represented

**Interior elevation:**

- Reference Text
- Detail Number (Location on sheet)
- Sheet on which detail is located

**Level Mark**

- Name
- Elevation
- Target Elevation

**Column Grid**

- New column grid
- Existing column grid

**Room name**

- Room Tag: Indicates room number
- Indicates room area

**Align symbol**

**Partition type tag**

**Door number tag**

**Window type tag**

**Accent paint location and paint identification.** Accent paint color to be continuous for entire length of wall.

**Extent of finish material replacement** if not continuous for entire length of wall.

**Electrical fixture tag**

**Lighting fixture tag**

**Plumbing fixture tag**

**Equipment tag**

**Keynotes:** See sheet notes, same sheet as symbol

- Sheet Keynotes
- Indicates change in flooring material.
- New construction / New door and frame shown open 90°.
- Existing construction to remain. Existing doors shown open 45°.
- Indicates face of new construction to be aligned with face of existing construction to remain.

## Graphic Scale Legend

**View title with Graphic Scale & North Arrow:**

North Arrow (Direction varies per project)

Detail number

Sheet number

Graphic scale of drawing

**Reading the Graphic Scale:**

Determine where 1' lies on the graphic scale

Measure to 1' on the sheet to determine the scale

1/8" = 1'-0"

4'

8'

## ADA Door and Maneuvering Clearances

Direction of Travel Approach

**Latch side approach**

**Front approach**

**Hinge side approach**

**Clearances for doors in series**

**Toilet stall door and maneuvering clearances**

3'-6" (min) or 4'-0" w/ closer

4'-0" (min) or 4'-6" w/ closer

2'-0" (min)

5'-0" (min)

1'-6" (min)

12" (min) w/ closer & latch

d = 4'-6" or 5'-0"

36" @ d=60"

42" @ d=54"

1'-10" (min)

3'-6" (min) or 4'-0" w/ closer

4'-0" (min)

4'-0" (min)

4'-0" (min)

60" min

1'-6"

Required toe clearance (excluding partition supports)

3'-6" min. (toilet stall only)

4" max

56" Min. @ Wall-Mtd. W.C.

59" Min. @ Floor-Mtd. W.C.

6"

6"

Scales listed are for 22x34 sheet size

330 S. Main, Plymouth, MI 48170

**Highline Spirits Renovation**

General Information & Accessible Clearances

Historic Review

Job Title:

Sheet Title:

Released For:

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CALEB T. MARQUARD

Professional Seal

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23117\_HLP22\_HistoricReview\_seal.pdf

Date:	09/14/2022
Permit:	11/17/2023
Description:	Historic Review
No.:	2
Permit:	5
Project Manager:	C. Marquard
Designer:	
Drawn By:	
QA/QC:	

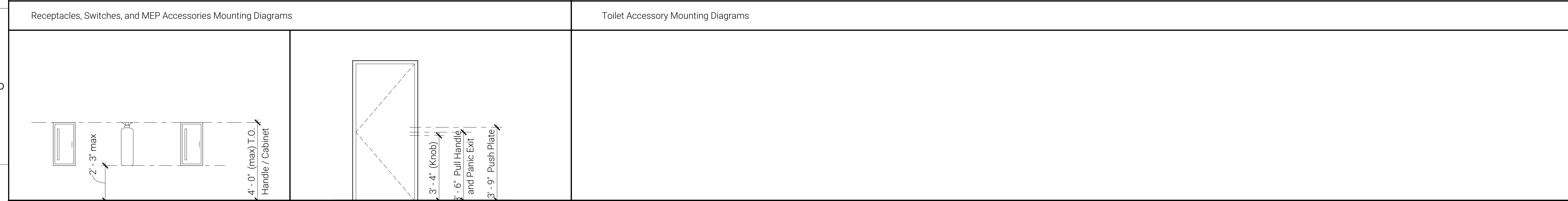
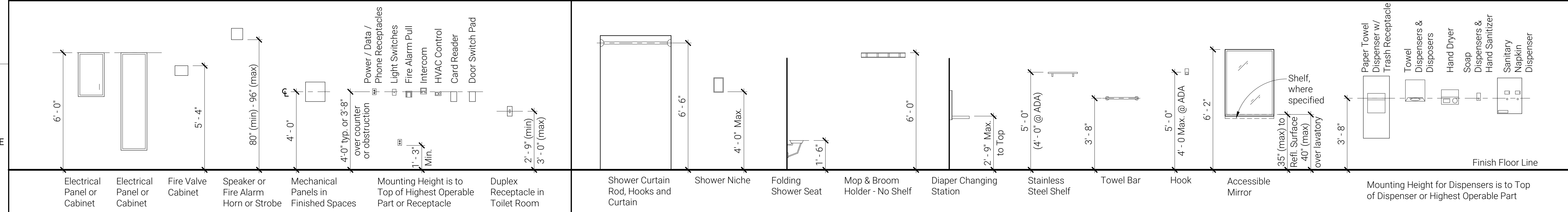
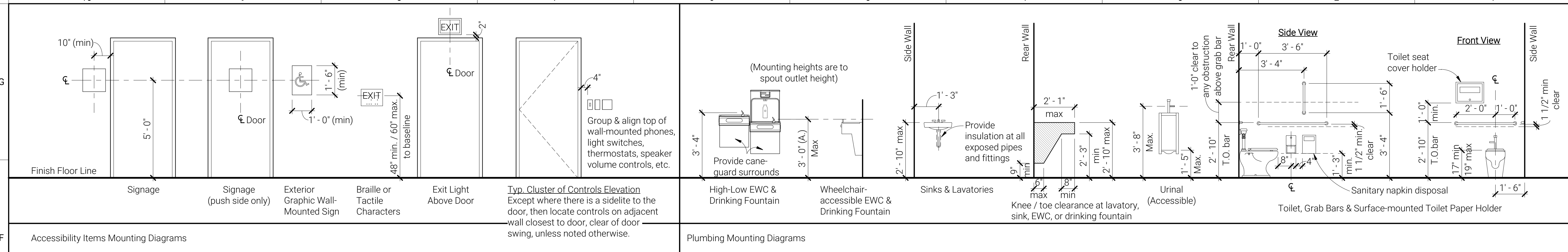
**NOT FOR CONSTRUCTION**

HLP22

**G-101**

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Plot/Date/Time: 11/20/2023 8:27:52 PM File Path: AutodesK Docs://HLS/HLP22.rvt



<p><b>Notes:</b></p> <ol style="list-style-type: none"> <li>This drawing represents typically encountered items. Not all items shown may occur within the scope of this project. Refer to complete specifications, drawing documentation set and/or equipment list.</li> <li>All heights are typical for equipment and fixtures unless noted otherwise in drawing documentation set.</li> </ol>	
<p><b>NOT FOR CONSTRUCTION</b></p>	
<p>Scales listed are for 22x34 sheet size</p>	

Consultant

330 S. Main, Plymouth, MI 48170

# Highline Spirits Renovation

## General Fixture Mounting Heights

### Historic Review

Job Title: \_\_\_\_\_  
Sheet Title: \_\_\_\_\_  
Released For: \_\_\_\_\_

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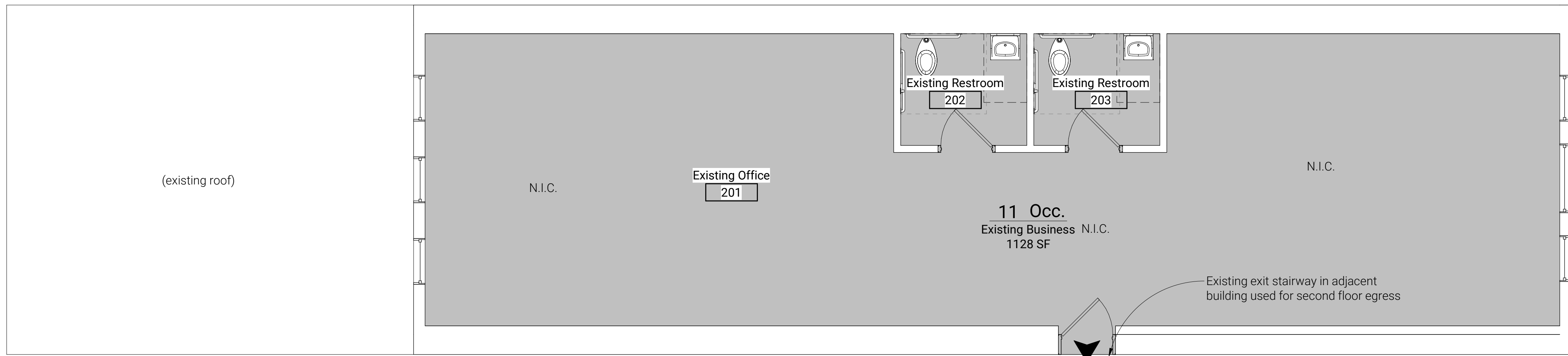
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No.	Description:	Date:
2	Permit	09/14/2022
5	Historic Review	11/17/2023

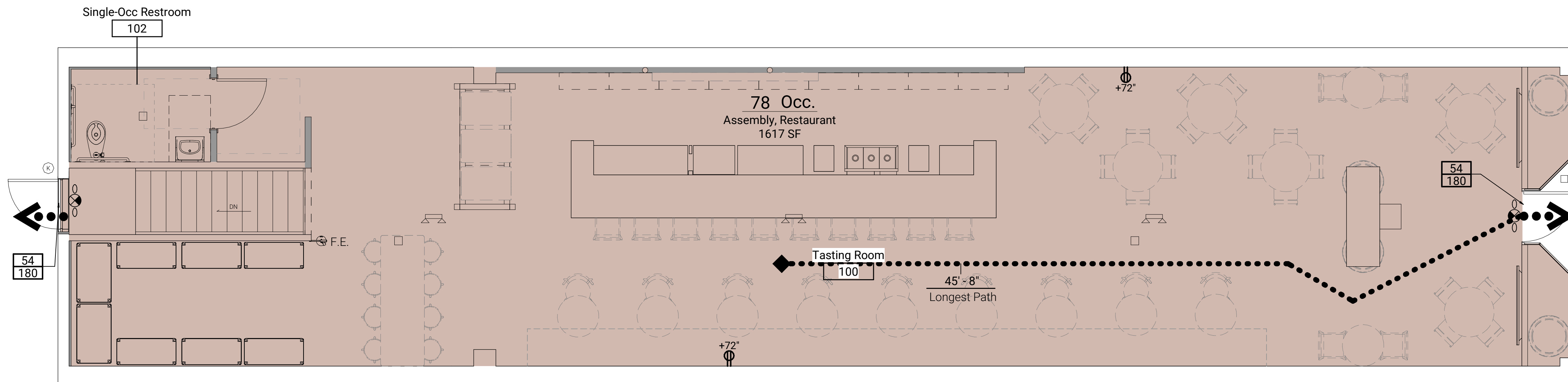
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Designer: C. Marquard  
Drawn By: \_\_\_\_\_  
QA/QC: \_\_\_\_\_

# HLP22

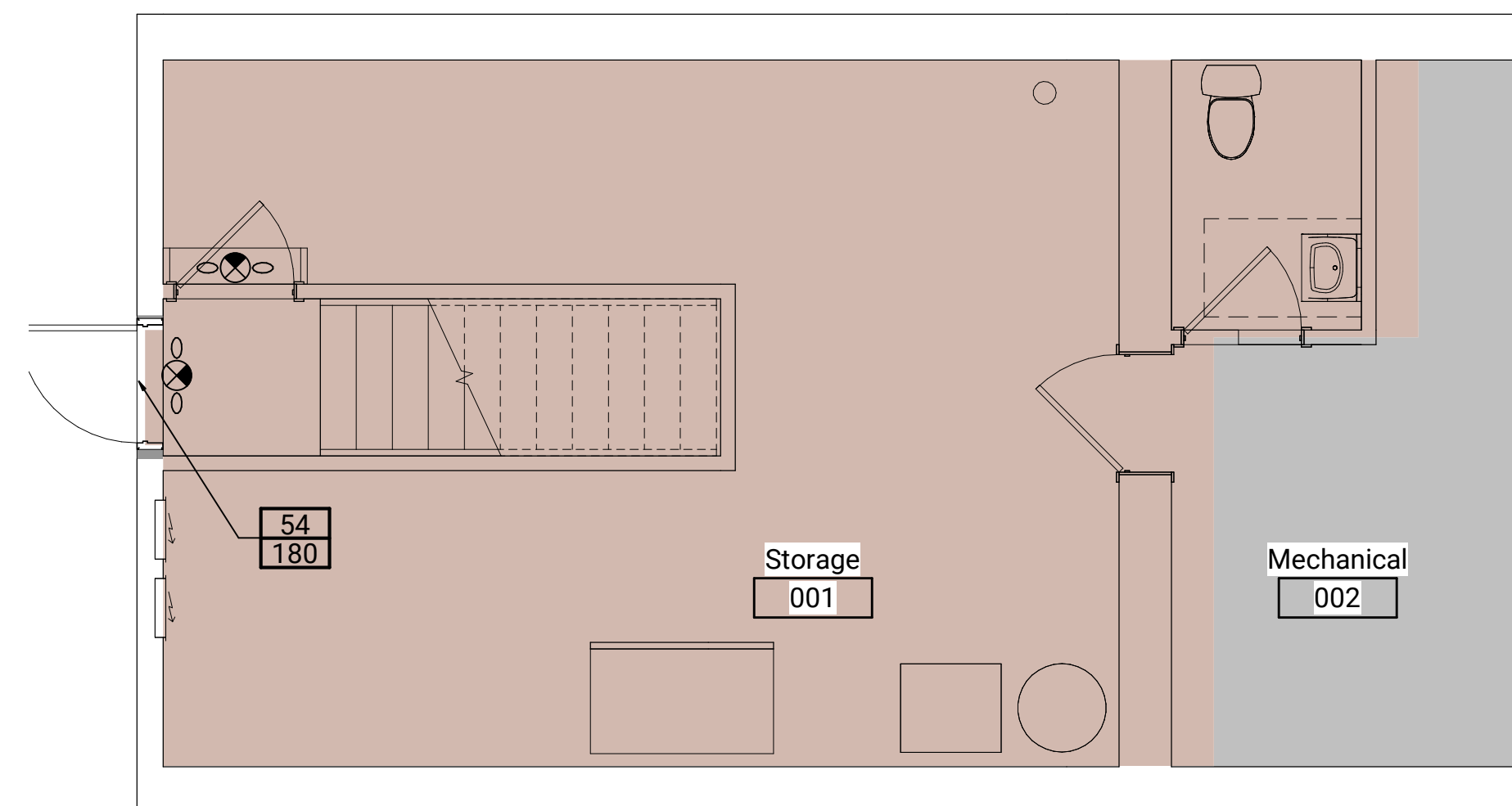
# G-102



**3 Overall Level 02 Life Safety Plan**  
 LS101 1/4" = 1'-0"



**2 Overall Level 01 Life Safety Plan**  
 LS101 1/4" = 1'-0"



**1 Partial Level 00 Basement Life Safety Plan**  
 LS101 1/4" = 1'-0"

Occupant Load (Table 1004.1.2)					
Use	Area	% of Total	Floor Area per Occupant	Net or Gross	Occupant Load
<b>Level 01</b>					
A-2 Assembly	1617 SF	59%	Adjusted*	Net	78
<b>Level 02</b>					
Existing Business	1128 SF	41%	100	Gross	12
<b>Grand total</b>	<b>2745 SF</b>	<b>100%</b>			

\*Adjusted per 2015MBC-1004.1.2 Where approved by the building official, the actual number of occupants for whom each occupied space, floor or building is designed, although less than those determined by calculation, shall be permitted to be used in the determination of the design occupant load.

**Applicable Codes and Life Safety Information Summary:**

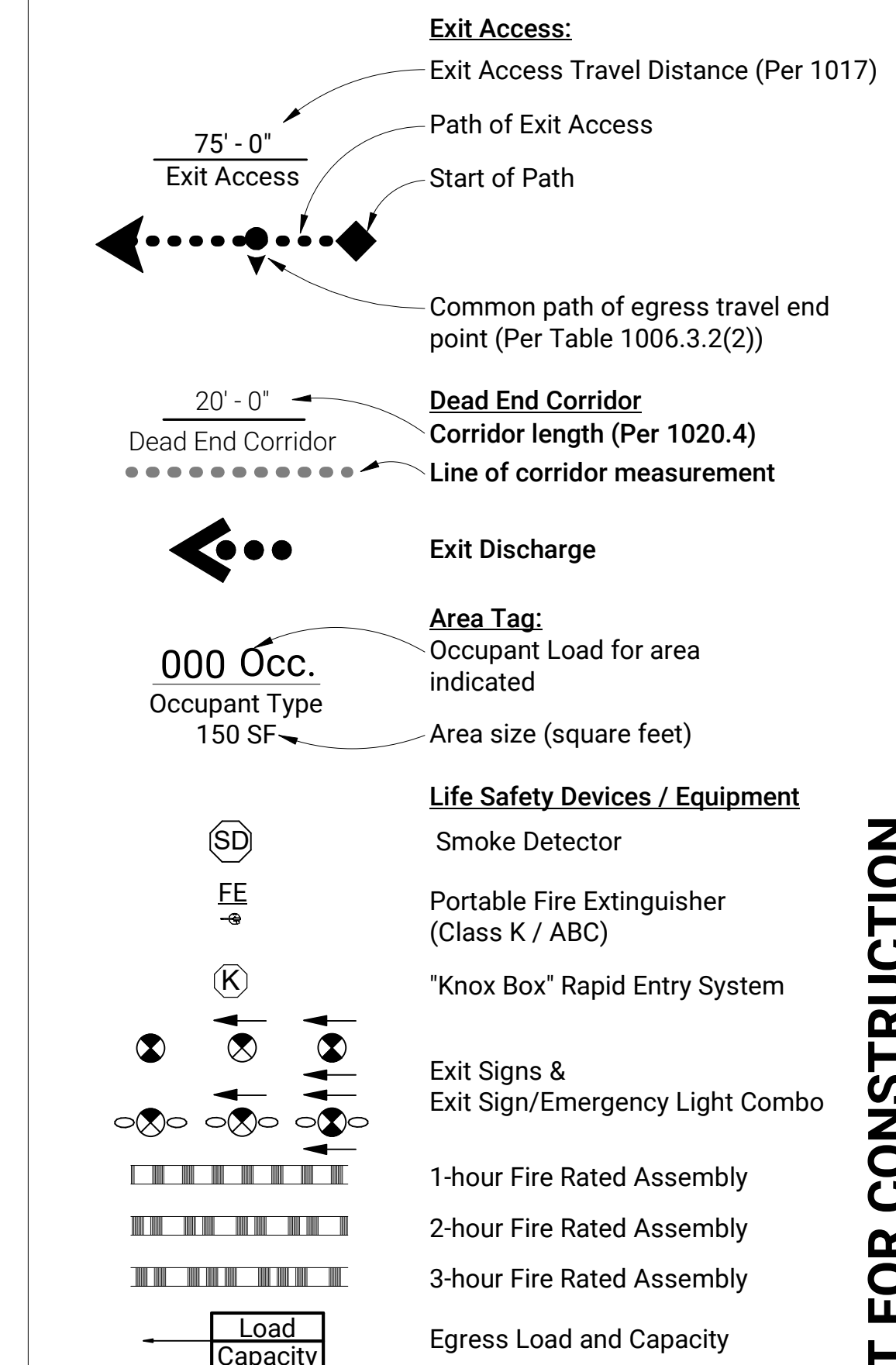
**Building Code:** 2015 Michigan Rehabilitation Code Alteration Level II  
**Mechanical Code:** 2015 Michigan Mechanical Code  
**Electrical Code:** 2017 National Electrical Code (NEC)  
**Plumbing Code:** 2018 Michigan Plumbing Code  
**Energy Code:** 2015 Michigan Uniform Energy Code  
**Use Group:** A-2 Assembly  
**Construction Type:** IIB  
**Height, Building:** 2-Story, 27'-6"  
**Area, Building:** 3,078SF  
**Work Area:** 1,617SF  
**Fire Suppression:** None  
**Fire Alarm:** Alarmed

**Plumbing Fixtures Count Table**

**78** Total Male and Female Occupants (per Occupant Load Table)

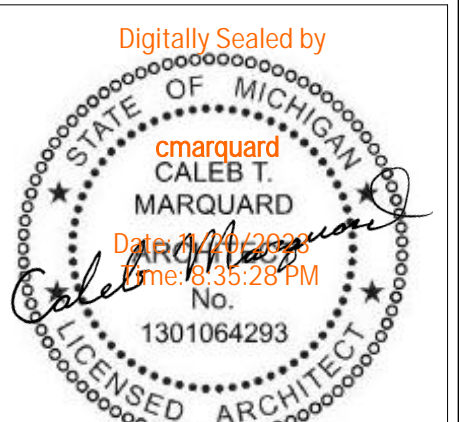
Totals			
		# Required	# Provided
<b>Female (39)</b>			
Lavatories	MPC 403.1	1	1*
Water Closets	MPC 403.1	2	1*
<b>Male (39)</b>			
Lavatories	MPC 403.1	1	1*
Water Closets	MPC 403.1	2	1*
Urinals	= 0.67 of Req'd WC Max (MPC 419.2)		0
Drinking Fountains per MPC 410.4		# Required	# Provided
Water Dispenser per MPC 410.4		0	0*
Service Sinks per MPC 403.1 (per level)		1	1

**Code Analysis Plan & Fire Safety Legend**



**NOT FOR CONSTRUCTION**

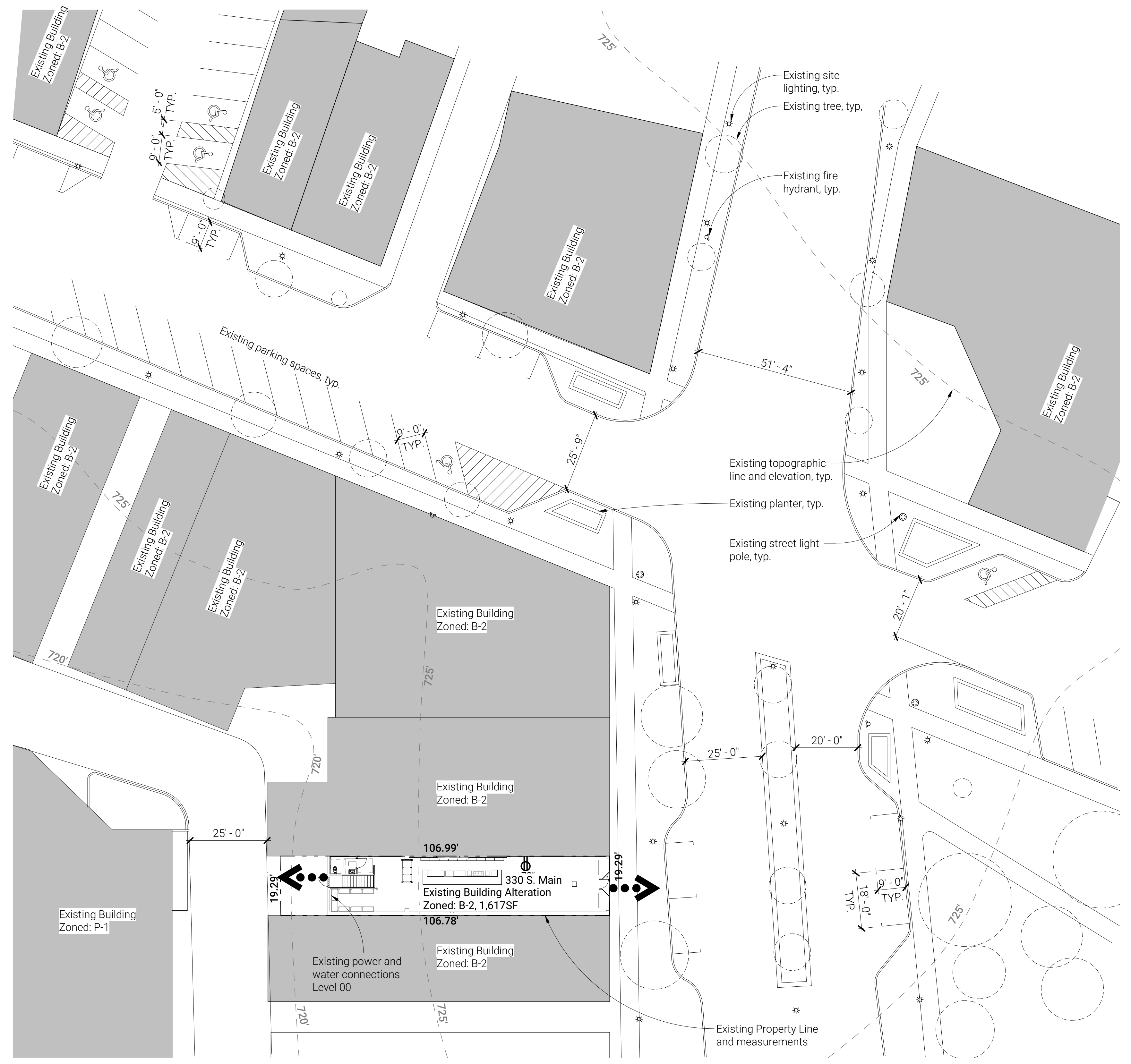
**Highline Spirits Renovation**  
 Code Analysis Plan & Schedules  
 Historic Review



23117\_HLP22\_HistoricReview\_seal.pdf

Date:	09/14/2022
Permit:	09/26/2022
Historic Review:	11/17/2023
Description:	2 - Permit
	3 - Permit Revision-01
	5 - Historic Review
No.:	
Project Manager: C. Marquard	
Designer: C. Marquard	
Drawn By:	
QA/QC:	
HLP22	
LS101	

Scales listed are for 22x34 sheet size



**1 Overall Site Plan**  
 C-101  
 1" = 20'-0"  
 10' 20' 40'

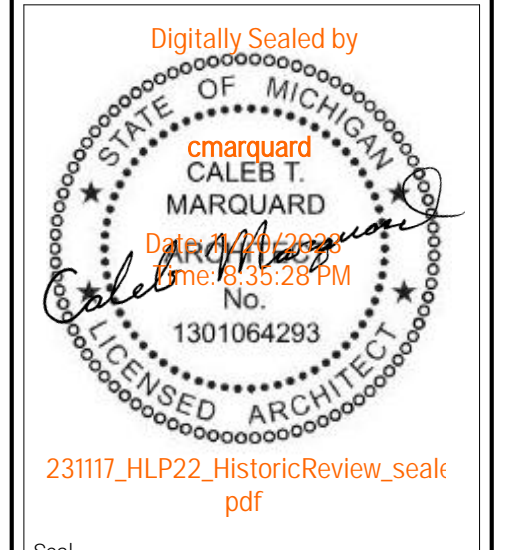
- Site Plan General Notes:**
- A. Site plan provided for reference only. Refer to civil engineering drawings for specifics of site design, building locations, property line, setbacks, parking and utility information.
  - B. All curb ramps shall have a maximum slope of 1:12 in direction of travel with a maximum cross-slope of 1:50. Maximum rise of all curb ramps shall be 6".
  - C. All paving on accessible route shall have a maximum slope of 1:20 in direction of travel with a maximum cross-slope of 1:50.
  - D. Maximum slope of all accessible parking spaces and access aisles shall be 1:50 in any direction.
  - E. All accessible route and parking elements shall be designed and constructed in accordance with 2010 ADA Standards for Accessible Design and Chapter 11 of the Michigan Building Code (ICC/ANSI A117.1 2009).
  - F. All parking space layouts to conform to minimum sizing standards per local Zoning Ordinance.
  - G. All dimensions shown for parking layout are measured to face of curb or centerline of striping.
  - H. Contractor to review site conditions, including slopes and elevations, prior to construction. Coordinate any discrepancies with Architect.
  - I. All slopes indicated show arrow pointing in the down slope direction.
  - J. Any loading or unloading will utilize back alley entrance space
  - K. Tenant Operating Hours: 10:00AM-2:00AM
- Parking Ratio:** A-2 1,617SF/500=6.46  
 Total Parking Space Ratio= 6 spaces

330 S. Main, Plymouth, MI 48170

**Highline Spirits Renovation**

Site Plan  
 Site Plan Review

Job Title:  
 Sheet Title:  
 Released For:



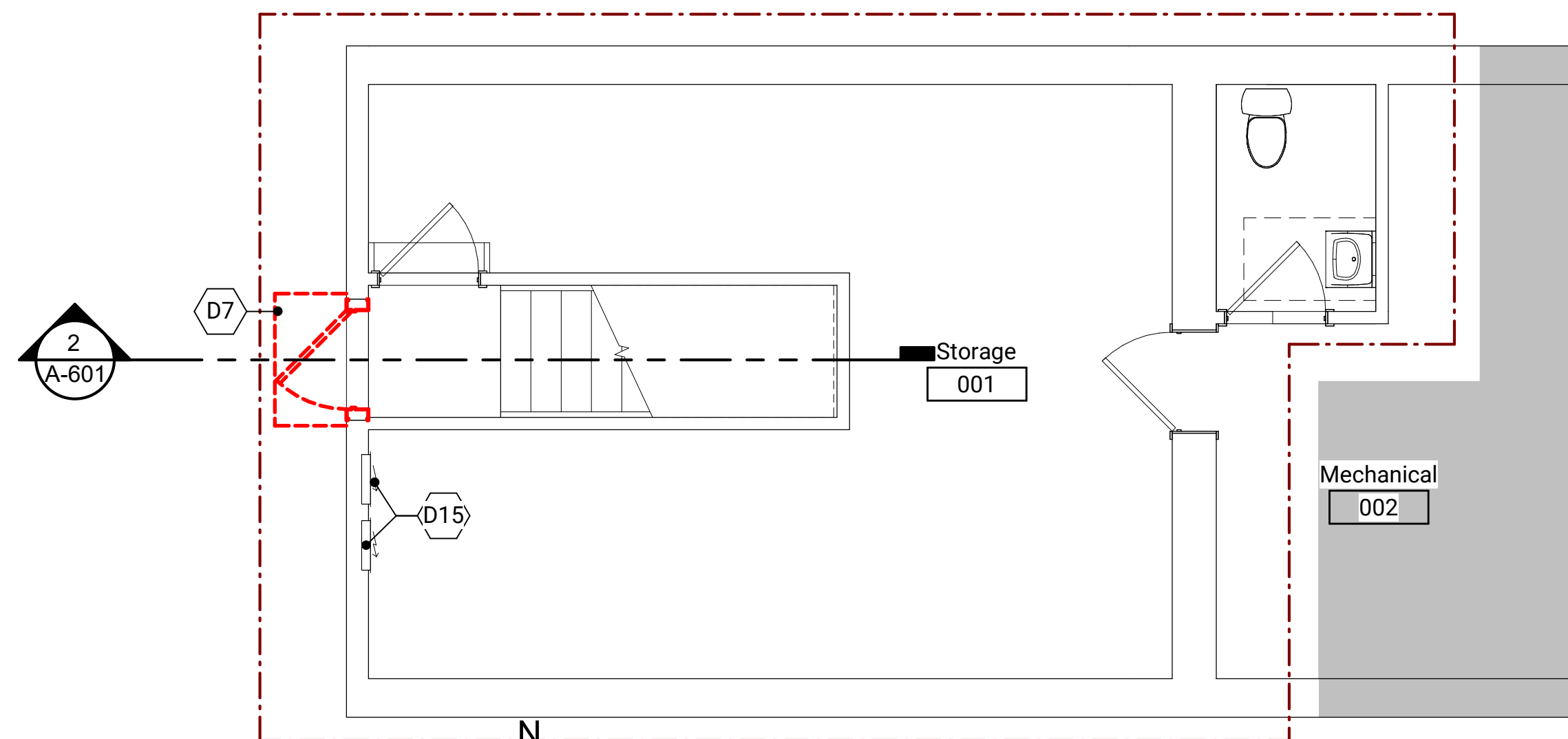
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No.:	4
Project Manager:	
Designer:	C. Marquard
Drawn By:	
QA/QC:	
<b>HLP22</b>	
<b>C-101</b>	

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**1 Overall Level 01 Demolition Floor Plan**  
D-101 1/4" = 1'-0"



**2 Patial Level 00 Demolition Floor Plan**  
D-101 1/4" = 1'-0"

**General Demolition Notes:**

- A. All dimensions to be verified in field prior to construction. Contractor shall notify Architect of any conflicts between existing construction and construction documents prior to starting work.
- B. Refer to structural and MEP drawings for other discipline demolition scope of work.
- C. Contractor shall maintain all required exits unobstructed, illuminated and protected from construction activities.
- D. All existing materials to remain which are damaged or otherwise disturbed by the contractor's operations shall be patched and repaired to match existing adjacent materials.
- E. Promptly dispose of demolished materials. Do not allow demolished materials to accumulate on-site. Transport demolished materials and legally dispose of them.
- F. Contractor to clean areas adjacent to demolition area of dust, dirt and debris caused by demolition operations.

**# Sheet Keynotes**

- A8 Existing Pharmacy floor tile to remain, protect during construction.
- D6 Demolish existing metal lathe covers from existing in-wall duct recesses.
- D7 Demolish existing canopy, above.
- D10 Demolish existing wood furring and false bulkhead above, throughout.
- D11 Demolish existing casework/millwork.
- D15 Existing electrical panels to remain.

**Demolition Floor Plan Legend**

- Area Not in Scope
- Area to remain as is
- Scope of work boundary
- Existing construction to remain
- Existing construction to be demolished

**NOT FOR CONSTRUCTION**



23117\_HLP22\_HistoricReview\_seal.pdf

Date:	09/14/2022
Date:	11/17/2023
Description:	Permit - Historic Review
No.:	2
No.:	5
Project Manager:	C. Marquard
Designer:	C. Marquard
Drawn By:	
QA/QC:	
HLP22	
D-101	

Consultant

**Highline Spirits Renovation**

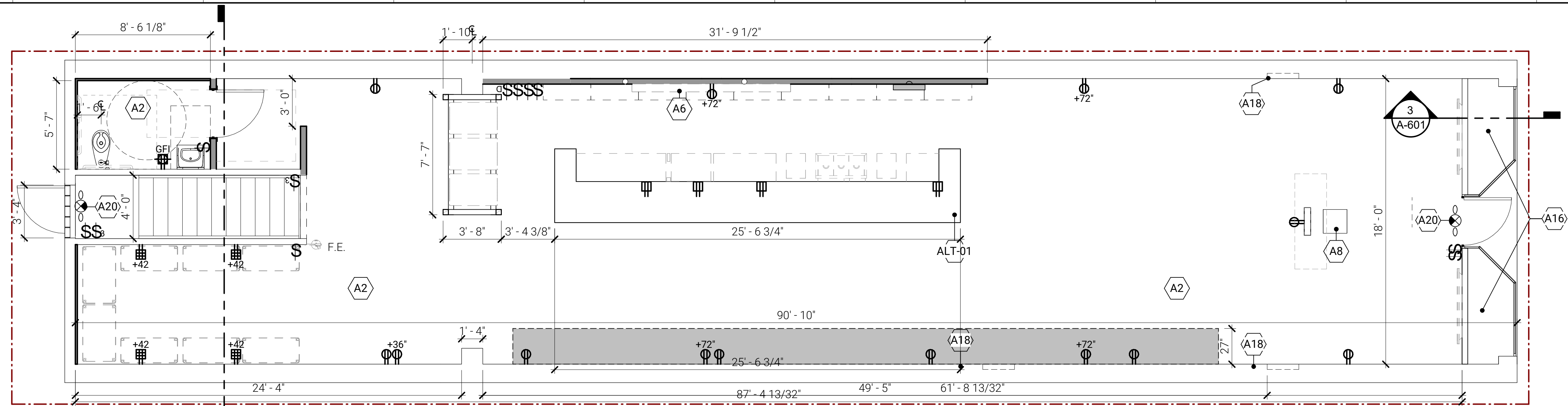
330 S. Main, Plymouth, MI 48170

**Overall Demolition Floor Plan**

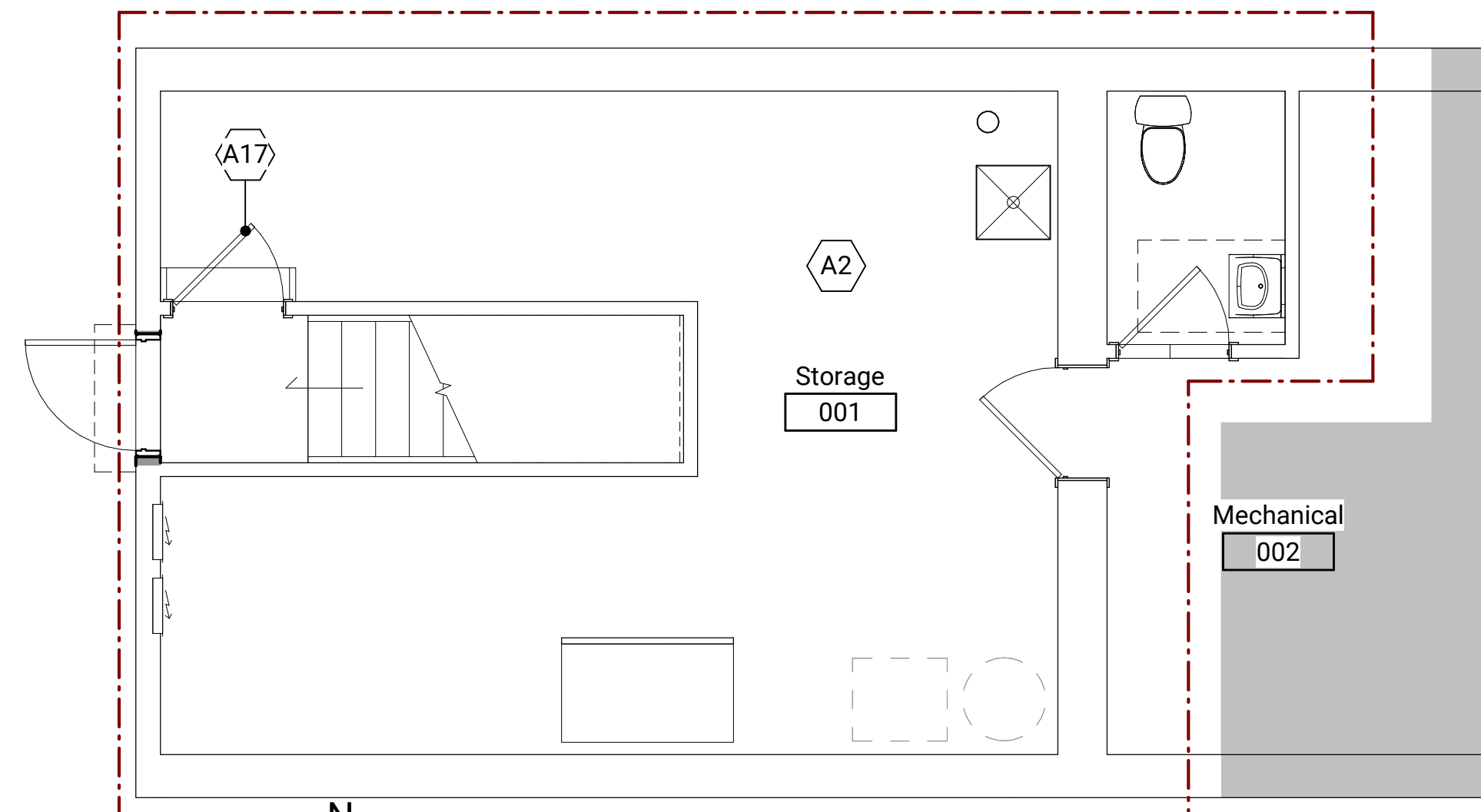
**Historic Review**

Job Title:  
Sheet Title:  
Released For:

Scales listed are for 22x34 sheet size



**2 Overall Level 01 New Work Floor Plan**  
 Scale: 1/4" = 1'-0"  
 Grids: A-101 to A-601



**1 Partial Level 00 New Work Floor Plan**  
 Scale: 1/4" = 1'-0"  
 Grids: A-101 to A-601

**General Sheet Notes:**

- A. All dimensions to be verified in field prior construction. Notify architect of all discrepancies prior to starting work.
- B. All dimensions on plans are to face of finish face or column centerlines, U.N.O.
- C. Masonry dimensions are nominal, U.N.O.
- D. All interior partitions to be type SAQ ac unless noted otherwise. Refer to sheet A-801 for partition details.
- E. All interior door frames shall be located a distance of six inches from the throat return to the closest adjacent perpendicular partition, U.N.O.
- F. Provide solid blocking/backing in-wall cavities at all wall mounted equipment as indicated by project equipment list and per manufacturers detailed instructions.
- G. Refer to sheet A-701 for Door Schedule.
- H. Refer to sheet A-701 for Plumbing Fixture Schedule.
- I. Refer to sheet Q-101 for Equipment Schedule.
- J. Provide air-balancing of existing HVAC system

**Sheet Keynotes**

- A2 Provide new ceiling mounted occupant notification devices throughout as required by code, typ.
- A6 Reinstall existing 'Prescription' sign in this location, provided by tenant.
- A8 Existing Pharmacy floor tile to remain, protect during construction.
- A16 Replace areas of damaged wood panel above with new American Beadboard Class 1/A or approved alternate.
- A17 Replace existing door hardware with new level-handle cylindrical passage set.
- A18 Provide missing mineral wool blocking at in-wall duct space as required per code.
- A20 Provide new exit sign with battery backup and associated power.
- ALT-01 Demolish existing CMU block at (2) existing window in-fills. Provide new flashing and counterflashing, prepare opening for new window. Provide new window and privacy film.

**Architectural Floor Plan Legend**

- Area Not in Scope
- Area to remain as is
- Scope of work boundary
- Existing construction to remain
- New construction
- Align symbol
- By others, dashed furniture shown for representation
- Relocated/salvaged door. Refer to door schedule.

**NOT FOR CONSTRUCTION**

330 S. Main, Plymouth, MI 48170

**Highline Spirits Renovation**

Overall New Work Floor Plan

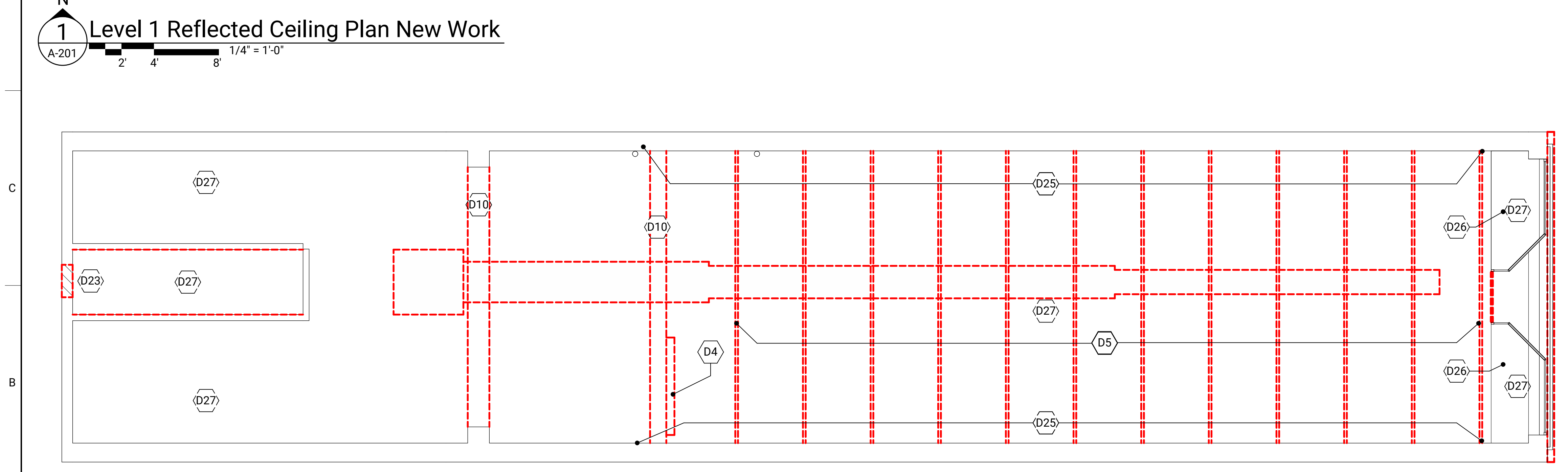
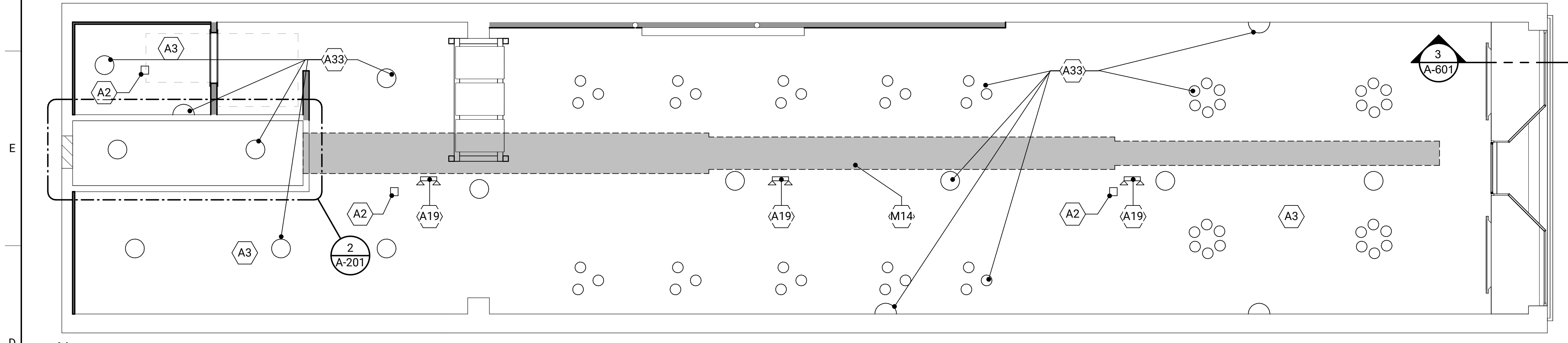
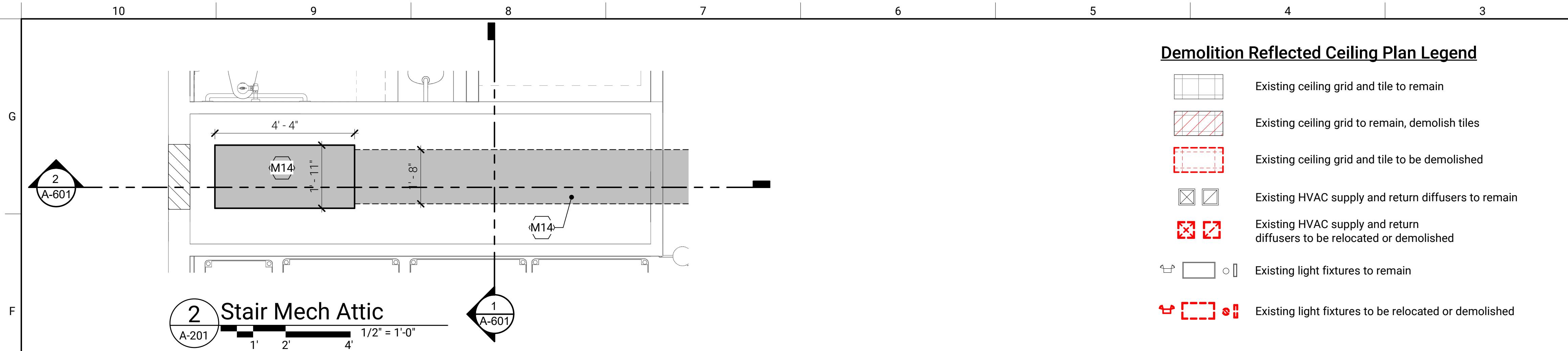
Historic Review

Digitally Sealed by  
 Caleb T. Marquard  
 State of Michigan  
 Licensed Architect  
 No. 1301064293  
 Date: 11/17/2023  
 Time: 6:55:28 PM

23117\_HLP22\_HistoricReview\_seal.pdf

Date:	09/14/2022
Description:	Permit
No.:	2
	3
	5
Project Manager:	C. Marquard
Designer:	
Drawn By:	
QA/QC:	
<b>HLP22</b>	
<b>A-101</b>	

Scales listed are for 22x34 sheet size



**Demolition Reflected Ceiling Plan Legend**

- Existing ceiling grid and tile to remain
- Existing ceiling grid to remain, demolish tiles
- Existing ceiling grid and tile to be demolished
- Existing HVAC supply and return diffusers to remain
- Existing HVAC supply and return diffusers to be relocated or demolished
- Existing light fixtures to remain
- Existing light fixtures to be relocated or demolished

**General Sheet Notes:**

- A. All ceilings shall be 8' - 0" above finished floor, unless noted otherwise.
- B. In the case of minor discrepancies between MEP and architectural documents in the location of ceiling mounted components, the architectural reflected ceiling plan shall govern. In the case of major discrepancy is discovered prior to proceeding with the work.
- C. Refer to electrical drawings for detailed lighting information, including fixture types and circuiting.
- D. Refer to Mechanical drawings for diffuser and duct locations.
- E. Access door locations in gypsum board ceilings are indicated on RCP's only where architecturally significant.
- F. Lights, diffusers, exit signs, smoke detectors, speakers, strobes and miscellaneous devices shall be centered in the ceiling pad in which they occur, unless noted otherwise.
- G. Refer to sheet A-201 for ceiling details.

**Sheet Keynotes**

- A2 Provide new ceiling mounted occupant notification devices throughout as required by code, typ.
- A3 Provide new 2-hr rated assembly consisting of: (2) layers of new Type C gypsum board on existing ceiling system, throughout.
- A19 Provide new ceiling mounted emergency light with battery backup.
- A33 Provide lighting where shown, typ.
- D4 Remove existing 'Prescription' sign. Return to tenant for framing and reinstallation.
- D5 Existing faux beams to be removed.
- D10 Demolish existing wood furring and false bulkhead above, throughout.
- D23 Demolish portion of existing exterior block wall to allow new exhaust louver vents.
- D25 Demolish existing soffit wood blocking, ceiling furring, and damaged ceiling. Existing plaster wall to be protected during construction.
- D26 Demolish portions of existing wooden storefront recesses and associated electrical.
- D27 Demolish existing lighting this area.
- M14 Provide new HVAC unit, and spiral duct with side mount diffusers to meet code required CFM at proposed occupant load.

**Reflected Ceiling Plan Legend**

- Existing gypsum board ceiling system
- Existing ceiling tile in existing grid to remain
- New ceiling tile in existing grid
- New gypsum board ceiling system
- New ceiling tile in new ceiling grid
- HVAC supply/return/exhaust diffusers
- Light fixtures
- Access Panel
- Combination ceiling fan/light
- Illuminated exit sign with arrow (ceiling-mounted)
- Emergency wall light
- Ceiling-mounted duplex/quad duplex
- New Light switch: Single Pole, 3-way, Dimmer, Contact Switch, Occupancy Sensor
- Thermostat
- Combination light/exhaust fan (flush ceiling-mounted)
- Wall-mounted exterior light fixture
- Vanity wall sconce fixture
- Wet pipe sprinkler head, coord. with Fire Protection Engineer

330 S. Main, Plymouth, MI 48170

**Highline Spirits Renovation**

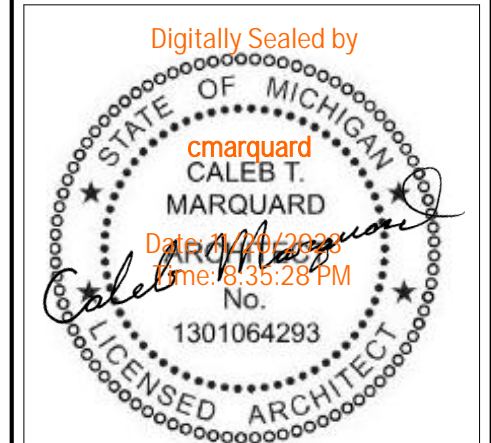
Overall Reflected Ceiling Plan

Historic Review

Job Title: \_\_\_\_\_

Sheet Title: \_\_\_\_\_

Released For: \_\_\_\_\_



231117\_HLP22\_HistoricReview\_seal.pdf

Date:	11/17/2023
Description:	Historic Review
No.:	5
Project Manager:	C. Marquard
Designer:	C. Marquard
Drawn By:	
QA/QC:	
<b>HLP22</b>	
<b>A-201</b>	

**NOT FOR CONSTRUCTION**

Plot/Date/Time: 11/20/2023 8:27:42 PM File Path: Autodeskk Docs://HLS/HLP22.rvt

10 9 8 7 6 5 4 3 2 1

10 9 8 7 6 5 4 3 2 1

2 1



### Proposed East Facade Signage

Sign Material: Flat golden powder coated aluminum letters with overhead downlit gooseneck fixtures  
 Font: Custom Sans Serif, approx 18" tall



### Historic Images of Site

Pharmacy ownership passed into the hands of Dale and Andrea Knab in 1980 until their retirement in 2022, after 42 years

Formerly Blick's Drugs prior to becoming Wiltse's Pharmacy in 1914.

Original building built in 1893 after the "great fire" earlier in the same year.

### General Sheet Notes:

- A. Refer to sheet A-901 for exterior materials legend.
- B. Refer to sheet A-701 for typical control joint details.
- C. Refer to sheet A-701 for door, window and louver schedules.
- D. Provide flashing & counter-flashing at all new exterior openings.

### Sheet Keynotes

- A10 Repair area of exterior soffit overhang. Prepare, prime, and paint with acrylic latex PT-01. Provide new exterior-grade paintable latex sealant at all joint transitions as necessary.
- A11 Dashed line indicates signage by Tenant, maximum 25SF. Provide flush mount junction backbox for sign lighting.
- A13 Prepare, prime, and paint existing window mullions PT-04.
- A14 Repair existing damaged/missing exterior flashing joint sealants. Paint existing metal flashing PT-2.
- A15 Prepare areas of existing deteriorated exterior paint. Paint main facade with exterior grade PT-01.
- A26 Provide new metal floor-mount bollard with polymer cap [Bea-10BOLLARDBLKWOK or approved equal], with narrow ADA door operator button, and associated low-voltage connections wor wi-fi transmitter. Tie-in to new automatic door operator [].
- D3 Demolish existing storefront door, maintain existing frame and transom, prepare for new aluminum storefront door.
- D9 Demolish existing signage icons, letters, and corrugated metal siding. Coordinate with Tenant contact for optional salvage of the same. Protect existing brick and flashing during construction.

Consultant

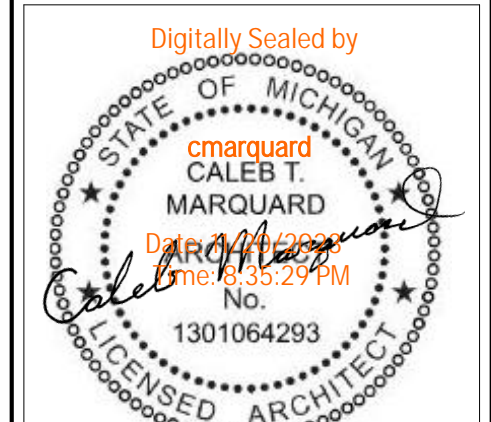
330 S. Main, Plymouth, MI 48170

## Highline Spirits Renovation

Exterior Elevations

Historic Review

Job Title: Sheet Title: Released For:

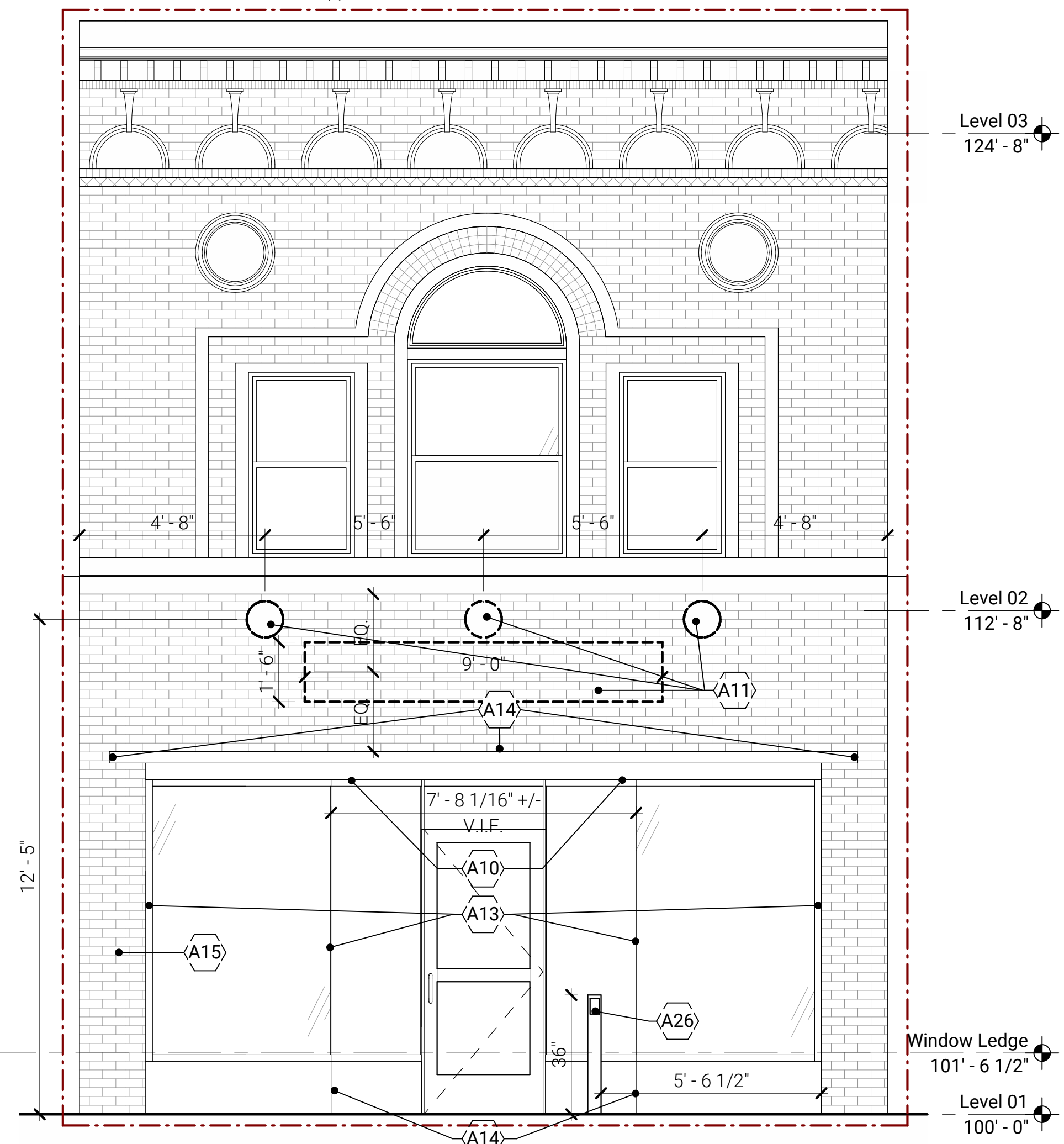


231117\_HLP22\_HistoricReview\_seal.pdf

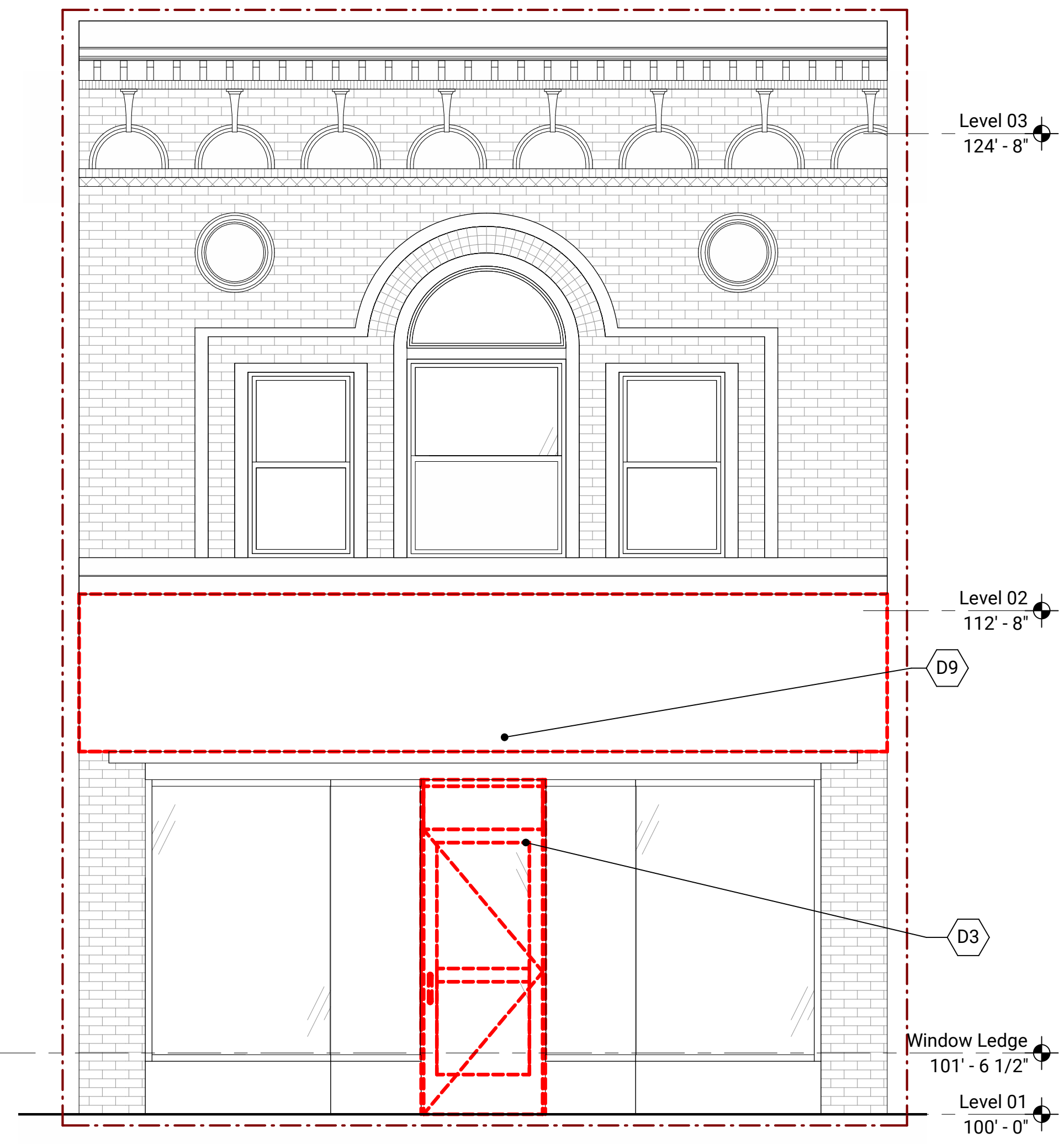
No.	Description	Date
2	Permit	09/14/2022
3	Permit Revision-01	09/26/2022
5	Historic Review	11/17/2023

Project Manager: C. Marquard  
 Designer:  
 Drawn By:  
 QA/QC:  
**HLP22**  
**A-301**

NOT FOR CONSTRUCTION



**2 East Elevation - New Work**  
 A-301 1'-4" 2'-8" 5'-4" 3/8" = 1'-0"



**1 East Elevation - Demolition**  
 A-301 1'-4" 2'-8" 5'-4" 3/8" = 1'-0"

Scales listed are for 22x34 sheet size

Plot Date/Time: 11/20/2023 8:27:44 PM File Path: Autodesk Docs://HLS/HLP22.rvt



**Proposed West Facade Signage**

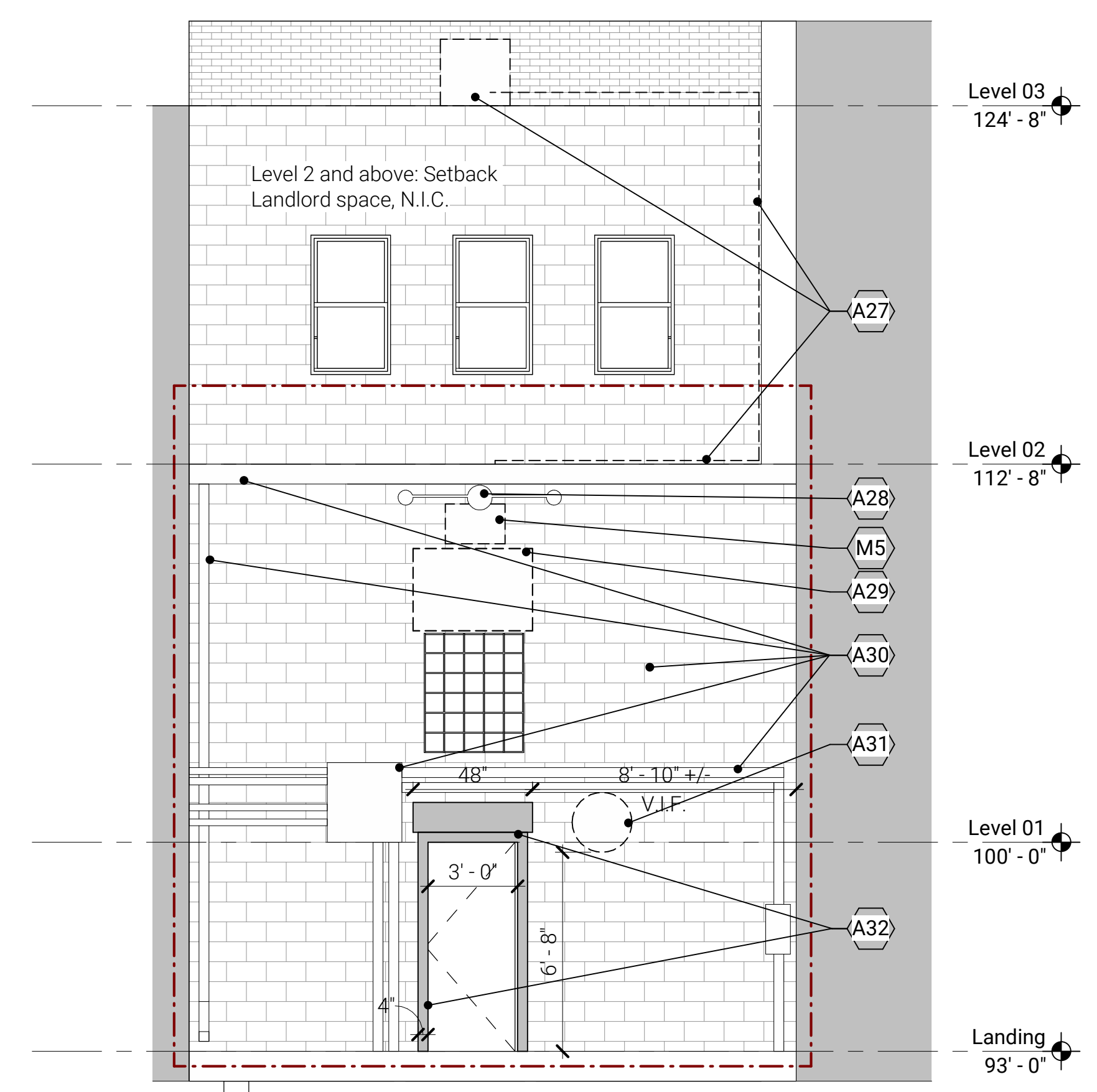
Sign Material: Black powder coated aluminum with flat golden pigmented image and text  
 Font: Sans Serif, approx 3" tall

**General Sheet Notes:**

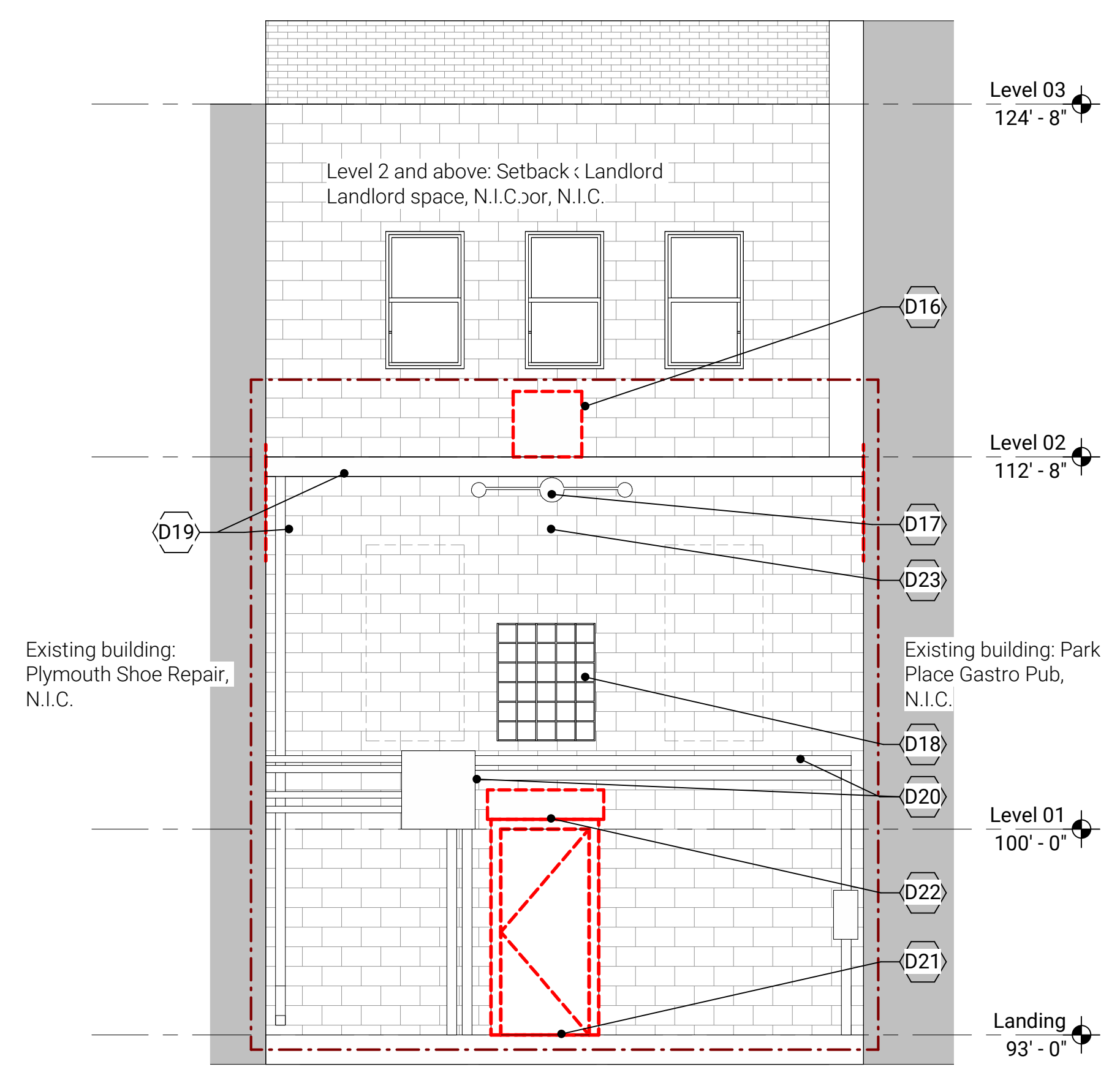
- A. Refer to sheet A-901 for exterior materials legend.
- B. Refer to sheet A-701 for door, window and louver schedules.
- C. Provide flashing & counter-flashing at all exterior openings.

**# Sheet Keynotes**

- A27 Location of new Landlord provided condenser unit and associated piping.
- A28 Existing exterior down-light to remain, paint conduit P-5.
- A29 New 33"x48" metal panel wall-mount Tenant signage, approx 11SF.
- A30 Paint existing facade, surface mounted electrical conduit, downspout and trim; P-5 exterior grade.
- A31 Provide new conduit, j-box, and 24" dia decorative exterior pendant light fixture this location.
- A32 Provide new 12"Hx3"Dx48"W upper EIFS frame molding and associated metal flashing tie-ins. Provide new 4" thick door frame EIFS built-up trim, color to match PT-5 (existing facade color).
- D16 Existing Landlord condenser to be demolished. Maintain rooftop passthru and flashing for future piping.
- D17 Existing exterior down-light and power conduit, protect during construction.
- D18 Existing glass block window.
- D19 Existing gutter and downspout, protect during construction.
- D20 Existing electrical boxes, piping and conduit to remain, protect during construction.
- D21 Demolish existing door and threshold, prepare opening for new door, threshold, and frame. Provide leveling compound as necessary to meet accessible landing.
- D22 Demolish existing damaged metal awning and door frame, tuck point existing block wall to prepare for new metal counterflashing.
- D23 Demolish portion of existing exterior block wall to allow new thru-wall Louver for new HVAC equipment.
- M5 Provide new thru-wall Louver for new HVAC equipment, provide trim and flashing as required, paint PT-5 to match existing exterior wall.



**2 West Elevation - New Work**  
 A-302 1/4" = 1'-0"



**1 West Elevation - Demolition**  
 A-302 1/4" = 1'-0"

**Demolition Floor Plan Legend**

- Area Not in Scope
- Area to remain as is
- Scope of work boundary
- Existing construction to remain
- Existing construction to be demolished

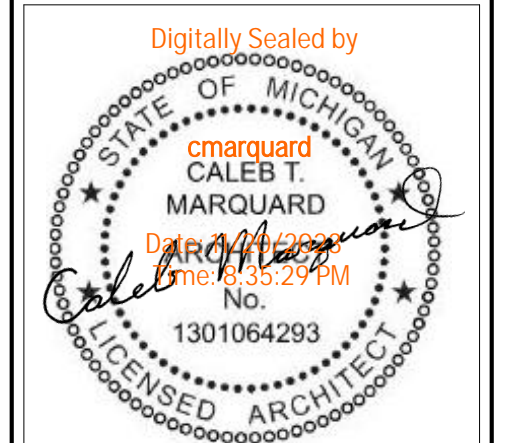
330 S. Main, Plymouth, MI 48170

**Highline Spirits Renovation**

Job Title: Exterior Elevations

Sheet Title: Historic Review

Released For:



23117\_HLP22\_HistoricReview\_seal.pdf

Date:	11/17/2023
Description:	Historic Review
No.:	5
Project Manager:	C. Marquard
Designer:	C. Marquard
Drawn By:	
QA/QC:	

**NOT FOR CONSTRUCTION**

HLP22  
**A-302**

Plot Date/Time: 11/20/2023 8:27:46 PM File Path: AutodesK Docs://HLS/HLP22.rvt

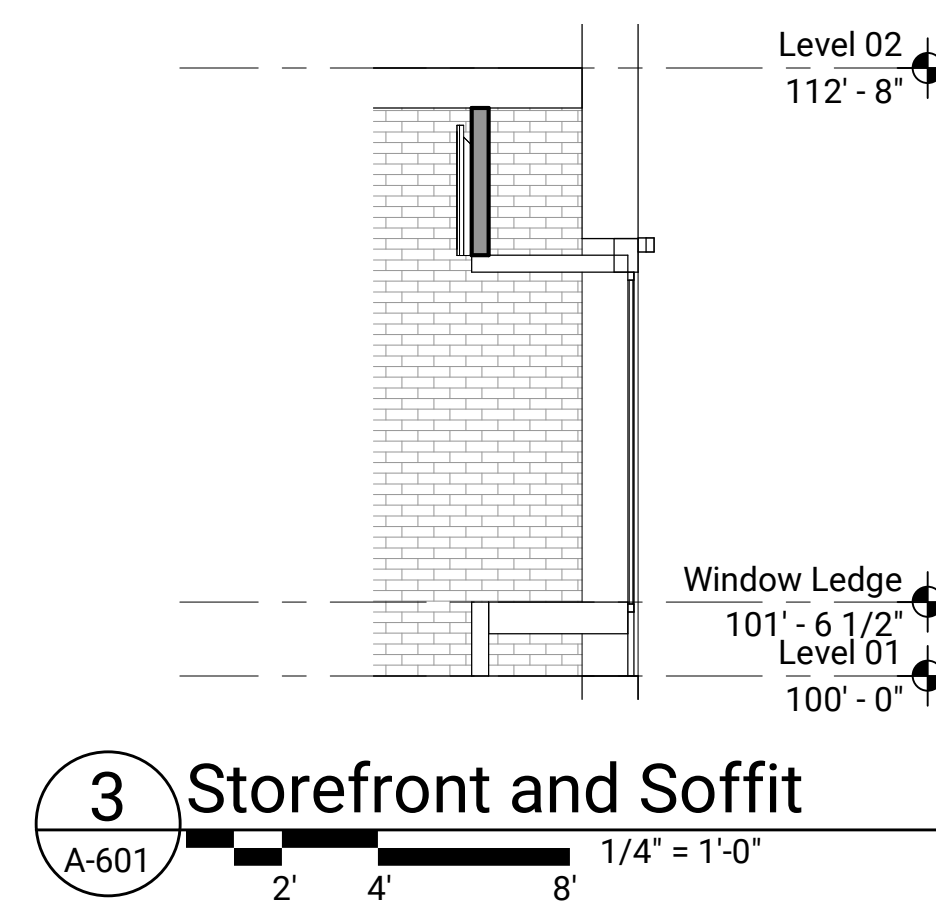
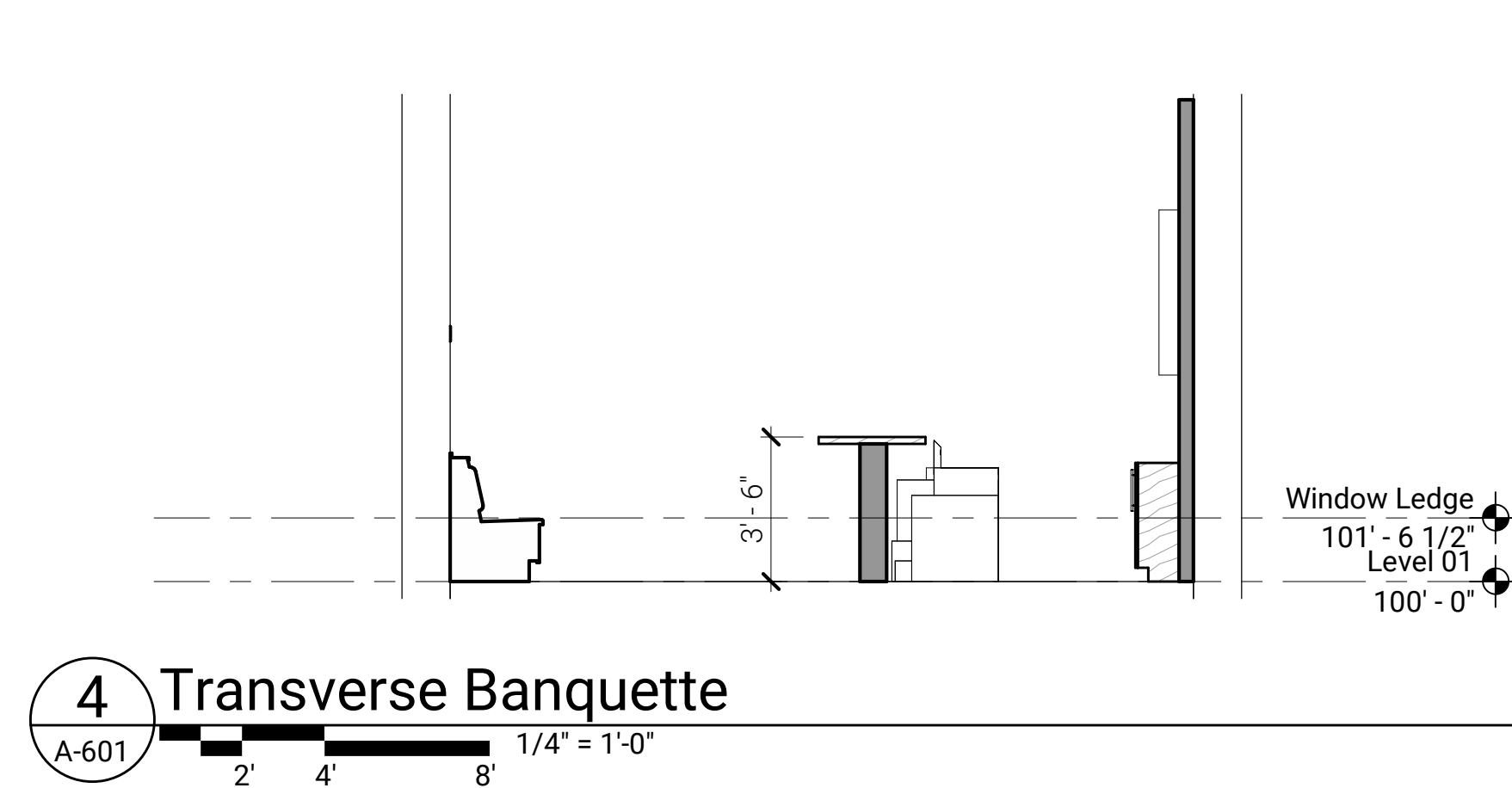
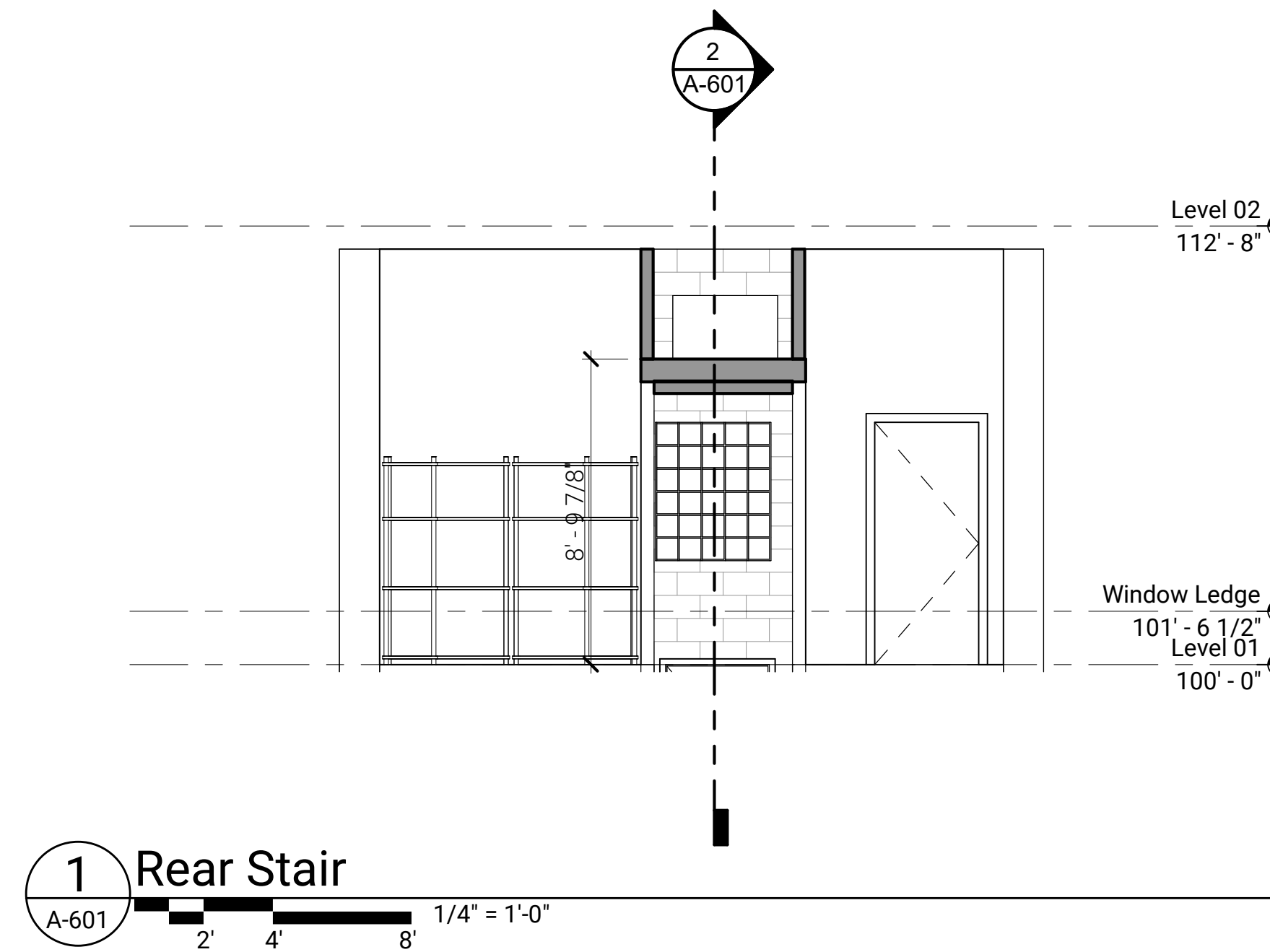
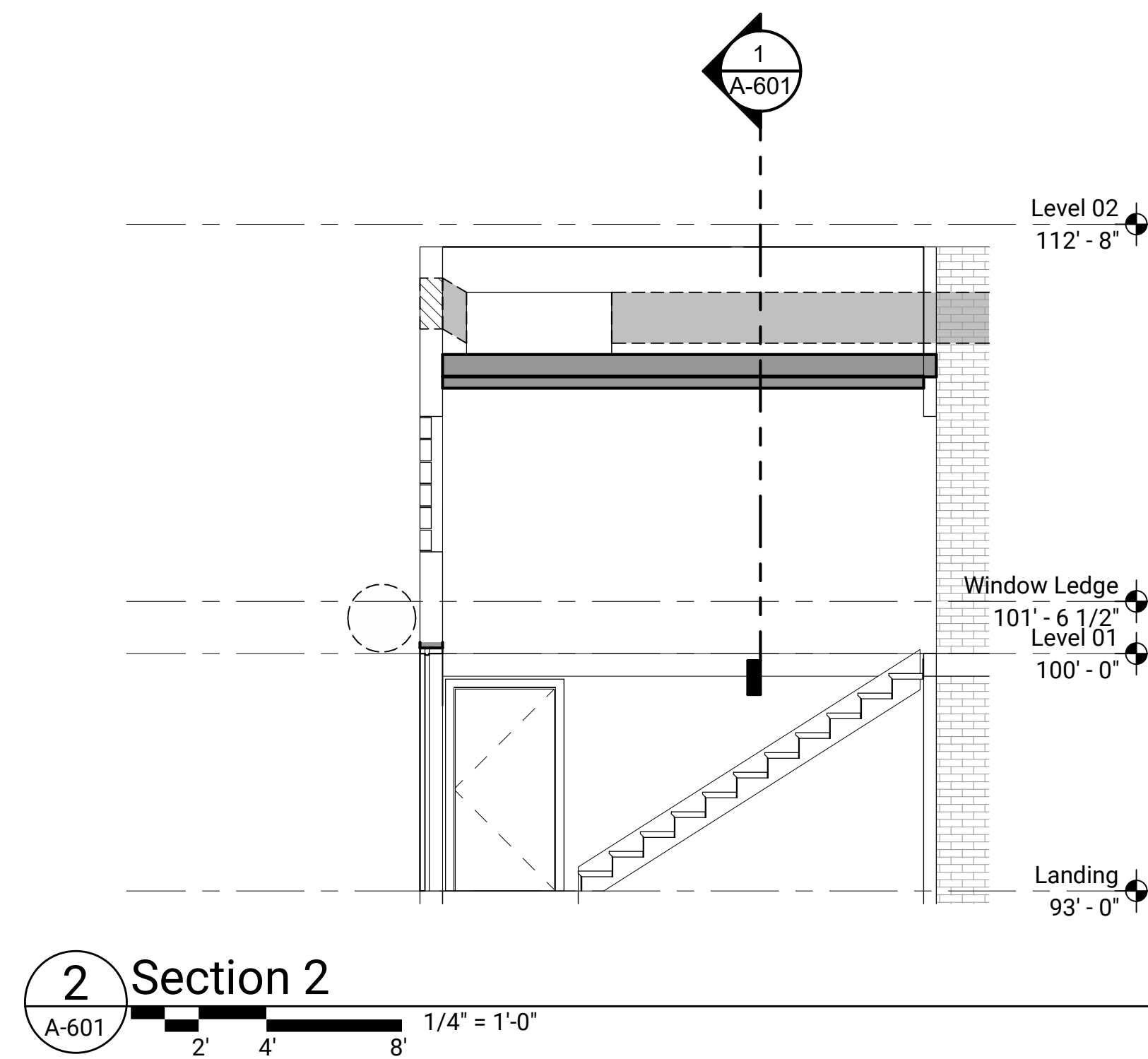
10 9 8 7 6 5 4 3 2 1

G F E D C B A

**General Sheet Notes:**

A. None.

# **Sheet Keynotes**



**NOT FOR CONSTRUCTION**

Scales listed are for 22x34 sheet size

Consultant

330 S. Main, Plymouth, MI 48170

**Highline Spirits Renovation**

Wall Sections

Historic Review

Job Title:

Sheet Title:

Released For:

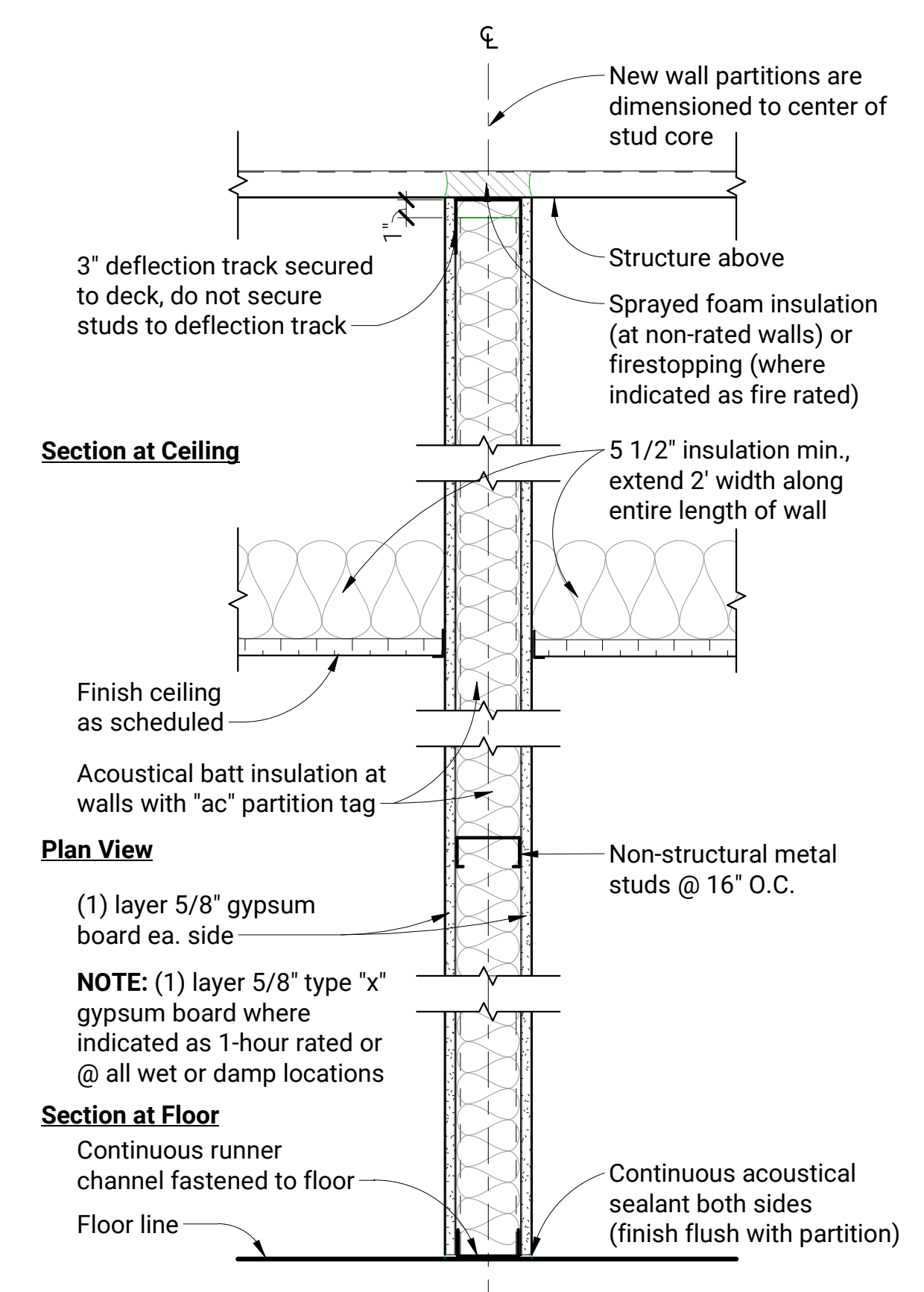


Seal

Date:	11/17/2023
Description:	Historic Review
No.:	5
Project Manager:	C. Marquard
Designer:	
Drawn By:	
QA/QC:	

HLP22

**A-601**



SA0ac / SA1

**General Sheet Notes:**

- A. All interior partitions to be type **S A 0 ac** unless noted otherwise.
- B. New wall partitions are dimensioned to center of stud core, see wall partitions sheet for wall types and centerline locations.

# **Sheet Keynotes**

**Partition Type Key:**

- S6 A 0 ac**
  - Provide acoustical batt insulation in wall and at head condition per details. See plan for locations.
  - Fire rating (in hours). See wall types for UL listing number, if applicable.
  - Head condition per partition detail.
  - Support material and nominal size per Partition Support Material Key on this sheet (assume default if none listed).

**Partition Support Material Key:**

- S : Light gauge metal stud, 20 GA. UON
  - Size: "S" = 3 5/8" (default)
  - "S1" = 7/8" Furring
  - "S3" = 2 1/2"
  - "S6" = 6"
- CH : "C-H" metal stud for shaftwall construction.
  - Size: "CH" = 4" (default)
  - "CH6" = 6"
- F : Hat channel furring
  - Size: "F" = 7/8" (default)
  - "F2" = 1 1/2"
- M : Concrete masonry unit (CMU), grout solid
  - Size: "M" = 7 5/8" (default)
  - "M4" = 3 5/8"
  - "M12" = 11 5/8"

**Partition Head Condition Definitions:**

- "A" = Support material and finish layer(s) extend up to underside of structure above.
- "B" = Support material extends up to underside of structure above. Finish layer(s) extend up to 6" above finish ceiling.
- "C" = Support material and finish layer(s) extend up to 6" above finish ceiling.
- "D" = Support material and finish layer(s) extend up to underside of finish ceiling.
- "E" = Support material and finish layer(s) do not attach to or penetrate the ceiling, but extend up to the height designated by plan.

**NOT FOR CONSTRUCTION**

Scales listed are for 22x34 sheet size

Consultant

330 S. Main, Plymouth, MI 48170

**Highline Spirits Renovation**

Partition Types

Historic Review

Job Title: \_\_\_\_\_

Sheet Title: \_\_\_\_\_

Released For: \_\_\_\_\_

Digitally Sealed by

STATE OF MICHIGAN

CALEB T. MARQUARD

Professional Seal

231117\_HLP22\_HistoricReview\_seal.pdf

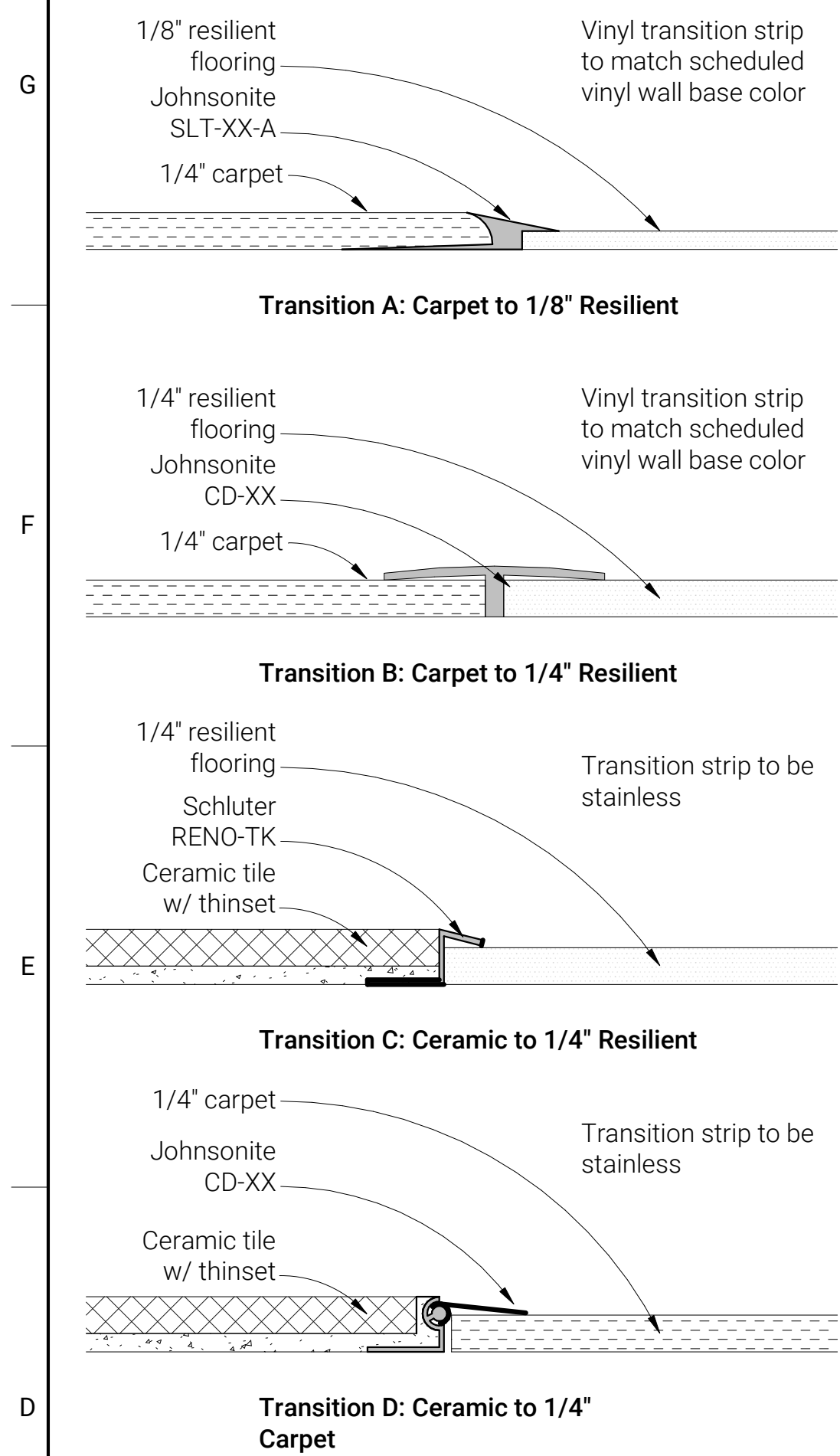
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Date:	11/17/2023
Description:	Historic Review
No.:	5
Project Manager:	
Designer:	C. Marquard
Drawn By:	
QA/QC:	

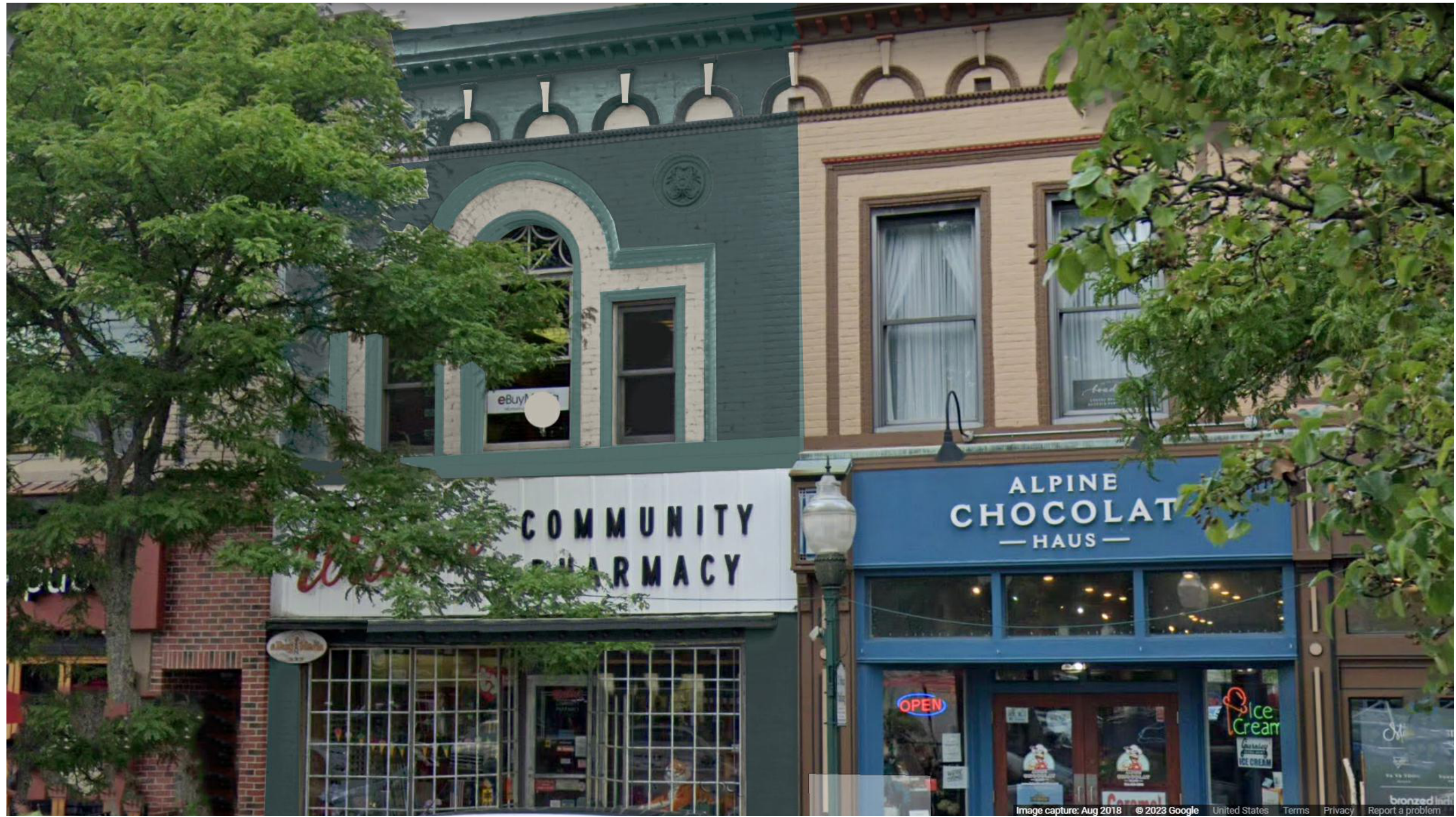
HLP22

**A-801**

**Standard Flooring Transition Details**

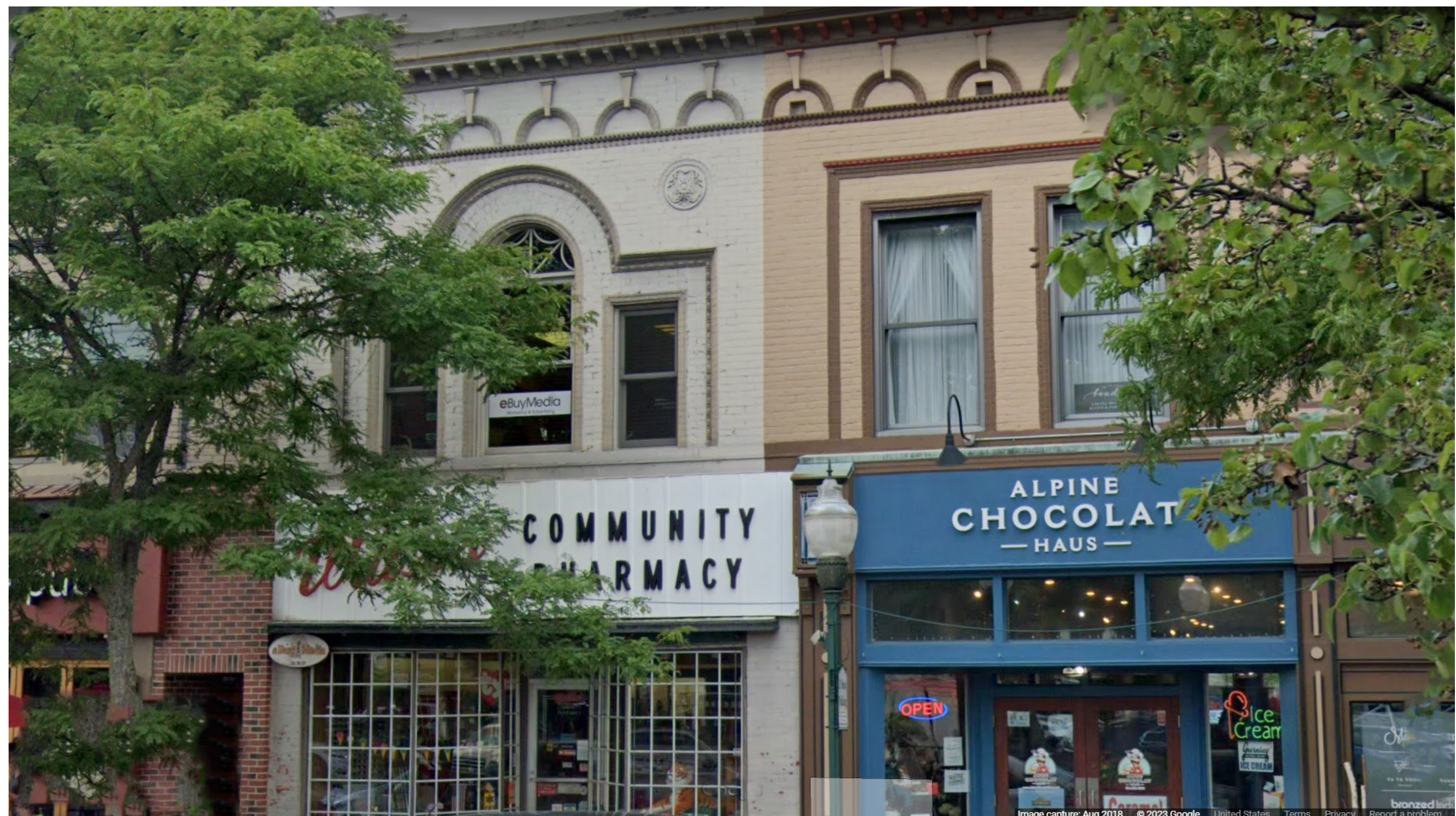


Finish Schedule				
ID	Description	Manufacturer	Model	Comments
PT-01	Accent, warm gray	Sherwin Williams	SW 7016 - Mindful Gray	
PT-02	Accent, light green trim	Sherwin Williams	SW 2810 - Rookwood Sash Green	
PT-03	Accent, dark green trim	Sherwin Williams	SW 7623 - Cascades	
PT-04	Trim mullions bronze	Sherwin Williams	SW 6990 - Caviar	
PT-05	Existing Facade paint	Sherwin Williams	SW 7015 - Repose Gray, VIF	



**Proposed East Facade Finishes**

NOTE: Refer to Exterior Elevations for images of proposed signage



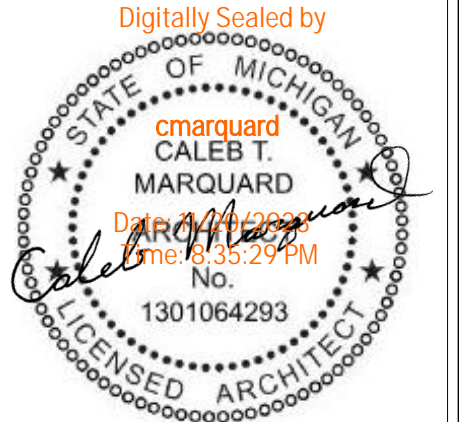
**Existing East Facade Finishes**

Consultant

330 S. Main, Plymouth, MI 48170  
**Highline Spirits Renovation**

Job Title:  
**Finish Schedule**

Sheet Title:  
**Historic Review**



23117\_HLP22\_HistoricReview\_seal.pdf

Date:	11/17/2023
Description:	Historic Review
No.:	5
Project Manager:	
Designer:	C. Marquard
Drawn By:	
QA/QC:	

HLP22

A-900

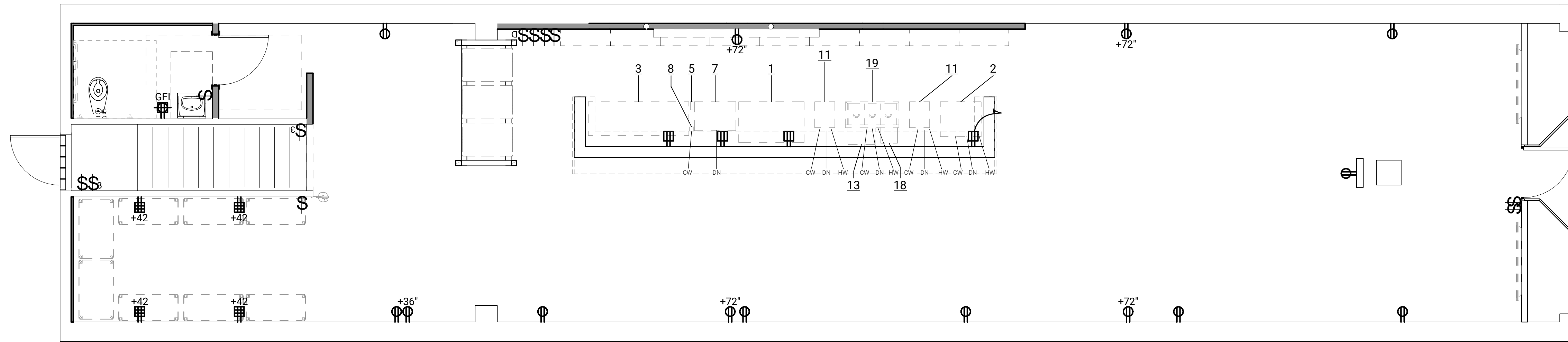
**NOT FOR CONSTRUCTION**

Scales listed are for 22x34 sheet size

Plot/Date/Time: 11/20/2023 8:27:46 PM File Path: Autodesk Docs://HLS/HLP22.rvt

Specialty Equipment Schedule

Type	Count	Description	Manufacturer	Model	Contractor Supplied	Owner Supplied	Contractor Installed	Owner Installed	Provide Backing	Plumb	Hard Wire	Comments
	1	Undercounter Freezer	Avantco	SS-UC-48F-HC		●	●					NEMA 5-15P Plug
	1	Undercounter Glass Wash	Noble	495NOWFCGX-CG		●	●			●	●	Hardwired, Dedicated
	1	Undercounter Refrigerator	Avantco	UBB-72-GT		●	●					NEMA 5-15P Plug, Dedicated
	1	14-Button Soda Gun	Wunder-Bar	M4-14660KSM3		●		●		●		Syrup/CO2/Water PEX connections
	1	Ice Machine	Avantco	UCF280A		●	●			●		NEMA 5-15P Plug, air gap drain
	1	Underbar Ice Bin with 10 Circuit Post-Mix Cold Plate and Bottle Holders	Regency	600IB2130C0		●		●		●		
	1	Water Filtration System	C Pure	7900LOKITM		●	●			●		For SodaGun & IceMachine water
	1	Reach-in Refrigerator, 2 door	Berg	EDRR-49-B			●	●				Dedicated
	2	Stainless Steel Underbar Handsink	Regency	600B11014		●		●		●		Air gap drain
	1	75gal Water Heater	Rheem	XG75T06ST76UO		●	●			●		
	1	Grease Interceptor 20lb 10gpm	Zurn	GT2700		●	●			●		In-line before air gap
	1	Floor Sink with grate	Zurn	FD2375-NH3-H		●	●			●		
	1	3 compartment sink	Steelton	522BS3T38		●	●			●		Air Break, Air Gap, FatOilGrease Interceptor



1 Overall Level 01 New Work Floor Plan



General Sheet Notes:

- A. Provide solid blocking/backing in-wall cavities at all wall mounted equipment as indicated by project equipment list and per manufacturers detailed instructions.

# Sheet Keynotes

NOT FOR CONSTRUCTION

Consultant

330 S. Main, Plymouth, MI 48170

Highline Spirits Renovation

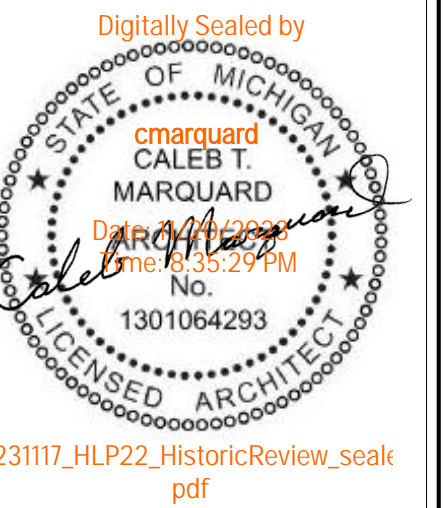
Equipment Plan

Historic Review

Job Title:

Sheet Title:

Released For:



Seal

Date:	11/17/2023
Description:	Historic Review
No.:	5
Project Manager:	
Designer:	C. Marquard
Drawn By:	
QA/QC:	

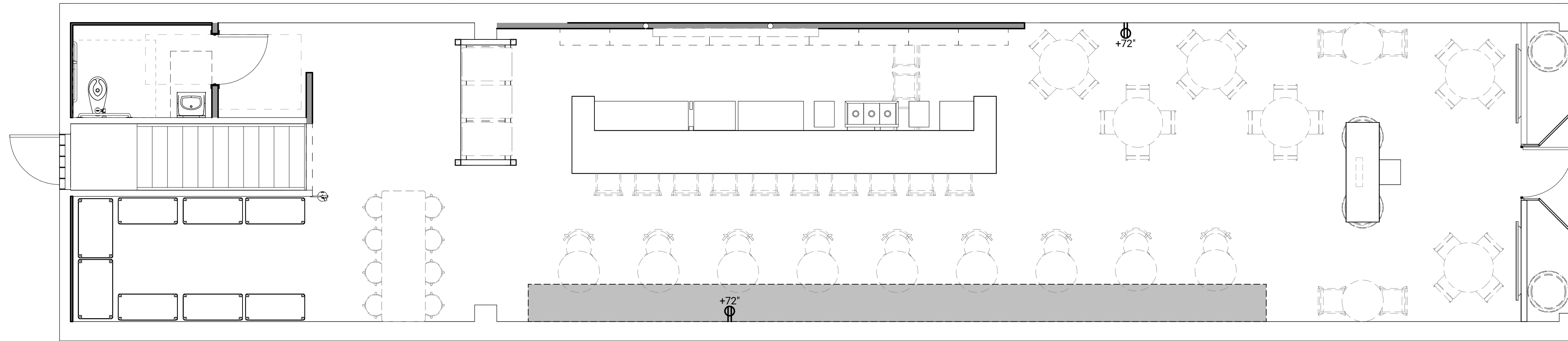
HLP22

Q-101

Plot Date/Time: 11/20/2023 8:27:51 PM File Path: AutodesK Docs://HLS/HLP22.rvt

10 9 8 7 6 5 4 3 2 1

G  
F  
E  
D  
C  
B  
A



**1 Overall Level 01 Seating Plan**  
 F-101 1/4" = 1'-0"  
 2' 4' 8'

# Sheet Keynotes

**NOT FOR CONSTRUCTION**

Scales listed are for 22x34 sheet size

Consultant

330 S. Main, Plymouth, MI 48170

**Highline Spirits Renovation**

Seating Plan

Historic Review

Job Title:

Sheet Title:

Released For:



Seal

Date:	09/14/2022																			
Date:	11/17/2023																			
Description:	Concept																			
Description:	Historic Review																			
No.:	1																			
No.:	5																			
Project Manager:																				
Designer: C. Marquard																				
Drawn By:																				
QA/QC:																				

HLP22

**F-101**



Completed	Task Name	Duration	Start	Finish	Predecessors	Assigned To	Oct					Nov				Dec				Jan		
							Oct 1	Oct 8	Oct 15	Oct 22	Oct 29	Nov 5	Nov 12	Nov 19	Nov 26	Dec 3	Dec 10	Dec 17	Dec 24	Dec 31	Jan 7	Jan 14
48	<input type="checkbox"/>																					
49	<input type="checkbox"/> CONSTRUCTION	75d	12/19/23	04/01/24																		
50	<input type="checkbox"/> Contractor Onboarding, financials	3d	12/19/23	12/21/23	44, 35	CM																
51	<input type="checkbox"/> Construction Kick-off Meeting	1d	12/22/23	12/22/23	50	Team																
52	<input type="checkbox"/> Purchase Long-leadtime Materials/Equipment	40d	12/22/23	02/15/24	44, 46, 50	CM																
53	<input type="checkbox"/> Purchase Standard Materials	20d	12/22/23	01/18/24	50, 46	CM																
54	<input type="checkbox"/> Demolition & Abatement	10d	12/25/23	01/05/24	51	CM																
55	<input type="checkbox"/> Renovation	56d	01/04/24	03/21/24	54FS -2d	CM																
56	<input type="checkbox"/> Equipment Install	5d	03/15/24	03/21/24	55FS -5d	CM																
57	<input type="checkbox"/> Punchlist Walkthru & Comments	1d	03/22/24	03/22/24	56	Team																
58	<input type="checkbox"/> Punchlist Comment Incorporation	4d	03/25/24	03/28/24	57	Arch																
59	<input type="checkbox"/> Final Clean	2d	03/29/24	04/01/24	58	CM																
60	<input type="checkbox"/> Close-out: Contracts & Lien-wavers	2d	03/29/24	04/01/24	58	CM																



# Administrative Recommendation

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City of Plymouth  
201 S. Main  
Plymouth, Michigan 48170-1637

www.plymouthmi.gov  
Phone 734-453-1234  
Fax 734-455-1892

To: City of Plymouth Historic District Commission  
From: John Buzuvis, Economic Development Director  
CC: S:\Community Development\HISTORIC DISTRICT COMMISSION\HDC Design Guidelines  
Date: November 29, 2023  
RE: Historic District Commission Design Guidelines/Administrative Approvals

---

## Background:

As the commission may recall conversations have been had over the past couple of years related to developing design guidelines and the board delegating certain reviews/approvals for minor work in the HDC to the administration.

The commission discussed this matter again in June and formed a sub-committee of the board (John Townsend and Jeremy Borys) to work with the administration on a draft of these items for the board to consider. Staff have met with Commissioner Borys and Townsend and reviewed a draft of a document/resolution delegating review/approvals for minor work items to the administration.

The enclosed draft is based on feedback from the sub-committee and resolutions adopted by other communities in the state shared by Kristine Kidorf, who provided the HDC annual training this year. Generally, the document memorializes things we already allow without review by the HDC board such as roof replacement with matching shingles. While this document will not function as "design guidelines" per se it may be a step forward in the long-standing conversation to get to design guidelines.

The subject of regulating paint colors comes up often and was discussed with the sub-committee. A few communities delegate paint color approval to staff and many other communities do not regulate paint color. The sub-committee discussed this topic at length and the commission may want to have further discussion.

**Recommendation:**

The administration recommends the commission review, discuss the enclosed resolution of delegation, and provide the sub-committee and/or administration with direction on next steps. The commission could review and approve the document as is, review, make changes and approve, or suggest changes and request the document be brought back for further review.

**Kellogg Park Historic District Commission**  
**SUGGESTION for Resolution Delegating**  
**Minor Classes of Work for Staff Approval**

**BY COMMISSIONER \_\_\_\_\_.**

**WHEREAS**, Michigan’s Local Historic District Act, being MCL 399.205(10), authorizes the \_\_\_\_\_ Historic District Commission to “delegate the issuance of certificates of appropriateness for specified minor classes of work to its staff,” and “the commission shall provide to the delegated authority specific written standards for issuing certificates of appropriateness”; and

**WHEREAS**, the City \_\_\_\_\_ Ordinance \_\_\_\_\_ authorizes the \_\_\_\_\_ Historic District Commission to “delegate the issuance of certificates of appropriateness for specified minor classes of work to its staff,” and “the commission shall provide to the delegated authority specific written standards for issuing certificates of appropriateness”;

**NOW THEREFORE BE IT RESOLVED** that, the \_\_\_\_\_ Historic District Commission defines the following activities as “minor classes of work” which may be approved by the Economic Development Director or their designee:

1. **Replacement of signage** provided that the new sign fits within an existing frame or replaces a sign in the exact location and size of the existing sign. (to include downlighting with goosenecks, halo lighting, etc.)
2. **Installation of Pedestrian Oriented signage (perpendicular to the sidewalk installed at 7’ or higher)**
3. **Replacement of the fabric of existing canvas awnings** of any color with or without signage (provided it meets the sign ordinance) provided that the new canvas is not plastic or vinyl coated or does not appear to be so.
4. **Repainting of Exterior of Structure: Provided the Color is from a Historic Paint Pallet of Sherwin Williams, Behr, etc. (many communities DO NOT regulate paint color as it is deemed temporary in nature and does not permanently impact the character defining features of the structure-in most cases)**
5. **Replacement or installation of fencing** provided that: 1) the fence is in the same location; 2) the fence is the same height; and 3) it is a chain link, wrought iron, or flat board fence.
6. **Reconstruction of existing porches or decks** provided that: 1) the design, size, and materials match the design and materials of the existing porch.
7. **Removal of dead, diseased, or damaged trees** provided that: a written statement by a professional arborist is provided documenting the condition and that the trees are not savable, or it is an emergency situation as determined by the building official.
8. **Replacement of a sidewalk or driveway** provided that: the size, materials, and location match the existing.
9. **Replacement of Non-Original Doors and/or Windows on non-contributing buildings with new windows or doors that are located in the same opening and have light or dark sashes**
10. **Replacement of Non-Or**
11. **Replacement of gutters and downspouts** provided that: the size, materials, configuration, and placement match the existing.
12. **Replacement of roofs** provided that: the materials (architectural shingles for architectural shingles and roofline match the existing.