



City of Plymouth Planning Commission

Regular Meeting Agenda

Wednesday, July 12, 2023 – 7:00 p.m.
City Hall & Online Zoom Webinar

City of Plymouth
201 S. Main
Plymouth, Michigan 48170
Fax 734-455-1892

www.plymouthmi.gov
Phone 734-453-1234

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/84041777474>

Webinar ID: 840 4177 7474

Passcode: 814726

1. **CALL TO ORDER**
 - a) Roll Call

2. **CITIZENS COMMENTS**

3. **APPROVAL OF THE MINUTES**
 - a) Approval of the June 14, 2023, meeting minutes

4. **APPROVAL OF THE AGENDA**

5. **COMMISSION COMMENTS**

6. **PUBLIC HEARINGS**
 - a) SP23-04: 885 Starkweather, Special Land Use and Site Plan Review
 - b) SP23-05: 525 W. Ann Arbor Trail, Special Land Use and Site Plan Review
 - c) SP23-06: 545 W. Ann Arbor Trail, Special Land Use and Site Plan Review
 - d) SP23-07: 565 W. Ann Arbor Trail, Special Land Use and Site Plan Review

7. **OLD BUSINESS**
 - a) Master Plan discussion

8. **NEW BUSINESS**

9. **REPORTS AND CORRESPONDENCE**

10. **ADJOURNMENT**

Citizen Comments - This section of the agenda allows up to 3 minutes to present information or raise issues regarding items not on the agenda. Upon arising to address the Commission, speakers should first identify themselves by clearly stating their name and address. Comments must be limited to the subject of the item.

Persons with disabilities needing assistance with this should contact the City Clerk's office at 734-453-1234 x 234 Monday through Friday from 8:00 a.m. -4:30 p.m., at least 24 hours prior to the meeting. An attempt will be made to make reasonable accommodations.

City of Plymouth Strategic Plan 2022-2026

GOAL AREA ONE – SUSTAINABLE INFRASTRUCTURE

OBJECTIVES

1. Identify and establish sustainable financial model(s) for major capital projects, Old Village business district, 35th District Court, recreation department, and public safety
2. Incorporate eco-friendly, sustainable practices into city assets, services, and policies; including more environmentally friendly surfaces, reduced impervious surfaces, expanded recycling and composting services, prioritizing native and pollinator-friendly plants, encouraging rain gardens, and growing a mature tree canopy
3. Partner with or become members of additional environmentally aware organizations
4. Increase technology infrastructure into city assets, services, and policies
5. Continue sustainable infrastructure improvement for utilities, facilities, and fleet
6. Address changing vehicular habits, including paid parking system /parking deck replacement plan, electric vehicle (EV) charging stations, and one-way street options

GOAL AREA TWO – STAFF DEVELOPMENT, TRAINING, AND SUCCESSION

OBJECTIVES

1. Create policies and programs that support staff recruitment/retention, including a coordinated recruitment program, flexible scheduling, and an internship program
2. Increase staff levels to appropriately support city services and departments
3. Provide staff/board/volunteer trainings and programming with a focus on improving understanding on issues of diversity, equity, and inclusion and emphasizing working with and serving diverse communities

GOAL AREA THREE – COMMUNITY CONNECTIVITY

OBJECTIVES

1. Engage in partnerships with public, private, and non-profit entities
2. Increase residential/business education programs for active citizen engagement
3. Robust diversity, equity, and inclusion programs
4. Actively participate with multi-governmental lobbies (Michigan Municipal League, Conference of Western Wayne, etc.)

GOAL AREA FOUR – ATTRACTIVE, LIVABLE COMMUNITY

OBJECTIVES

1. Create vibrant commercial districts by seeking appropriate mixed-use development, marketing transitional properties, and implementing Redevelopment Ready Communities (RRC) practices
2. Improve existing and pursue additional recreational and public green space opportunities and facilities for all ages
3. Develop multi-modal transportation plan which prioritizes pedestrian and biker safety
4. Improve link between Hines Park, Old Village, Downtown Plymouth, Plymouth Township, and other regional destinations
5. Maintain safe, well-lit neighborhoods with diverse housing stock that maximizes resident livability and satisfaction
6. Modernize and update zoning ordinance to reflect community vision
7. Implement Kellogg Park master plan

Planning Commission 2023 Goals

1. Review, amend, and revise the master plan as necessary
2. Obtain and review a form based codes test case
3. Create an ordinance to support generators

City of Plymouth
Planning Commission Public Hearing Notice
Wednesday, July 12, 2023 – 7:00 p.m.
City Hall & Online Zoom Webinar
201 S. Main Street Plymouth, Michigan 48170
Website: www.plymouthmi.gov Phone: (734) 453-1234 ext. 232

A regular meeting of the Planning Commission will be held on Wednesday, July 12, 2023, at 7:00 P.M. located at City Hall & online Zoom Webinar to consider the following:

SP23-04: 885 Starkweather
Special Land Use and Site Plan Review
Zoned: B-1, Local Business District
Applicant: Don Soenen

SP23-05: 525 W. Ann Arbor Trail
Special Land Use and Site Plan Review
Zoned: B-1, Local Business District
Applicant: Joseph Philips, Architect

SP23-06: 545 W. Ann Arbor Trail
Special Land Use and Site Plan Review
Zoned: B-1, Local Business District
Applicant: Joseph Philips, Architect

SP23-07: 565 W. Ann Arbor Trail
Special Land Use and Site Plan Review
Zoned: B-1, Local Business District
Applicant: Joseph Philips, Architect

All interested persons are invited to attend.

In compliance with the Americans with Disabilities Act, the City of Plymouth will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audiotapes of printed materials being considered at the meeting/hearing, to individuals with disabilities. Requests for auxiliary aids or services may be made by writing or calling the following:

Maureen Brodie, ADA Coordinator
201 S. Main Street
Plymouth, MI 48170, (734) 453-1234, Ext. 234

Publish: Tuesday, June 27, 2023



Plymouth Planning Commission
Regular Meeting Minutes
Wednesday, June 14, 2023 - 7:00 p.m.
Plymouth City Hall 201 S. Main

City of Plymouth
201 S. Main
Plymouth, Michigan 48170-1637

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

1. CALL TO ORDER

Chair Karen Sisolak called the meeting to order at 7:00 p.m.

Present: Chair Sisolak, Commissioners Shannon Adams, Zachary Funk, Joe Hawthorne, Tim Joy, Kyle Medaugh, Hollie Saraswat (arrived at 7:04 p.m.), Eric Stalter

Excused: Vice Chair Scott Silvers

Also present: Community Development and Planning Director Greta Bolhuis, Planning Consultant Sally Elmiger

2. CITIZENS COMMENTS

Cynthia Baily, 471 W. Ann Arbor Trail, asked about the pergolas being built downtown.

Tom Doran, 1191 Sheridan, expressed concern about traffic and parking should the PUD at the Christian Science Church be granted.

3. APPROVAL OF MEETING MINUTES

Joy offered a motion, seconded by Hawthorne, to approve the minutes for the May 10, 2023, meeting.

There was a voice vote.
Funk abstained.
MOTION PASSED

4. APPROVAL OF THE AGENDA

Joy offered a motion, seconded by Hawthorne, to approve the agenda for June 14, 2023.

There was a voice vote.
MOTION PASSED

5. COMMISSION COMMENTS

Hawthorne said he was pleased with the appearance of the new Scooters Coffee location.
Funk thanked the City Commission for appointing him to the Planning Commission and said he looked forward to serving his community.

6. PUBLIC HEARINGS

- a. SP 23-03: 445 W. Ann Arbor Trail, Special Land Use and Site Plan Review
Builder Walt Menard described the request to build a home at the site of a former commercial building on a parcel that is zoned B-1.

Elmiger reviewed her report and said the plan meets R-1 zoning requirements for everything except the front yard setback but noted that she did not perform calculations for the new impervious surface ordinance.

Sisolak opened the public hearing at 7:17 p.m.

Hearing no comments, she closed the public hearing at 7:18 p.m.

Joy offered a motion, seconded by Hawthorne, to approve SP23:03 at 445 W. Ann Arbor Trail for special land use and site plan with the condition that building officials confirm R1 standards are met, including impervious surfaces and the setback requirements.

There was a voice vote.

MOTION PASSED

7. OLD BUSINESS

a. Master Plan Discussion

Bolhuis said the Planning Commission needed to formulate up to 12 questions for a survey being conducted as part of the recreation master plan review. The group had numerous suggestions, including residents' opinions on multi-family dwellings, dwellings in accessory buildings, overnight street parking restrictions, the size of homes built on properties whose owners tear down an existing building, restricting the hours of lawn service operations, the tree ordinance, parking, and non-motorized transportation. It was agreed that Bolhuis would develop a list and email it to planning commissioners for their feedback.

Sisolak asked the group about having a working session for a master plan review using the zoning audit suggestions. It was agreed that for now, individual commissioners would continue working on the sections they were assigned several months ago.

8. NEW BUSINESS

There was no new business.

9. REPORTS AND CORRESPONDENCE

City Commission Liaison Kelly O'Donnell said they recently approved the retaining wall on Penniman but decided against removing bump-outs that are being used for outdoor dining. She said the City Commission also approved a purchase agreement for the land adjacent to the Saxton's lot and heard a presentation on paid parking.

10. ADJOURNMENT

Hawthorne offered a motion, seconded by Joy, to adjourn the meeting at 8:26 p.m.

There was a voice vote.

MOTION PASSED



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: July 5, 2023

**Special Land Use and
Site Plan Review
For
Plymouth, Michigan**

| | |
|------------------------------|---|
| Applicant: | Starkweather 885, LLC 650 Church St. Plymouth, MI 48170 |
| Project Name: | 885 Starkweather Restaurant/Site Renovation |
| Plan Date: | Engineered Site Plan: June 7, 2023 Architecture/Landscape Plans: June 21, 2023 |
| Location: | 885 Starkweather (West Side of Starkweather at railroad tracks, just north of Division St.) |
| Zoning: | B-1 – Local Business District |
| Action Requested: | Special Land Use and Site Plan approval |
| Required Information: | Any deficiencies are noted in the report. |

PROJECT AND SITE DESCRIPTION

The property owner of 885 Starkweather St. would like to renovate the existing building and site to accommodate a new restaurant with a bar, performance platform, and larger event space. The restaurant/bar will re-occupy the existing building, and the new use will expand this building with four additions:

1. Dining room addition at the front of the building (502 s.f.)
2. Event space addition at the rear of the building (745 s.f.)
3. Storage room addition and new walk-in cooler at the north side of the building (storage=118 s.f.; cooler=70 s.f.)
4. Walk-in cooler addition at north side of building (210 s.f.).

The site is zoned B-1, Local Business District. Restaurants serving alcohol are a Special Land Use in this district. Special Land Use review requires the Planning Commission to hold a Public Hearing.

An aerial of the subject site is shown in **Figure 1** below.

Figure 1. Subject Site



As mentioned above, this building and site are being renovated for a new restaurant use. Because the project is renovating an already developed site (vs. developing a site from scratch), Sec. 78-351, *Non-Conforming Lots and Sites*, applies. The intent of this ordinance section is to recognize that certain developed sites do not comply with the current paving, lighting, landscaping and other non-safety related site development requirements, and the standards in this section are intended to allow for reasonable re-use and improvements to these sites that will gradually improve compliance with requirements. This section has requirements for driveways, sidewalks, parking areas, screening, landscaping and lighting. We have addressed these topics in the relevant sections of this review.

The Planning Commission discussed the concepts presented by this project with the developer at their May 10, 2023 meeting, and provided comments for consideration. The applicant has now submitted the project for formal review of the Special Land Use and Site Plan.

SPECIAL LAND USE REVIEW

Because the restaurant is proposing to serve alcohol, the proposed use must meet the special land use standards in Section 78-281.

These standards are as follows. Our comments regarding each are provided below:

- (1) Will be harmonious and in accordance with the general objectives or any specific objectives of the City of Plymouth Master Plan.**

CWA Comments: This site is discussed in two sections of the Master Plan: 1) The Future Land Use Map and designation; and 2) The Old Village Sub Area Plan.

The **Future Land Use Map** in the Master Plan identifies this site as “Mixed Use: Low Density.” The Plan describes this future land use designation as follows:

“The Mixed Use Low Density designation is specific to land uses where it is appropriate to have a low-impact commercial use adjacent to single-family or multi-family residential areas. This land use allows for single and multi-family uses to continue and be established, while encouraging lower-intensity commercial and office uses that can serve the residential areas. The Mixed Use Low Density land use designation is generally detached buildings with the character of single-family residences that are no more than two stories. Parking in this land use should be located at the rear of the property.”

The proposal is re-occupying an existing building that had been used as a restaurant with alcohol sales for quite some time. The current restaurant has out-door seating areas at the front and rear of the building. The most recent submission expands the building into the outdoor seating area at the front, but also offers a folding door system that allows this wall of the restaurant to open during nice weather. The new restaurant also expands the outdoor patio at the rear of the building, next to the event space room.

During discussion of the conceptual plans, we requested that the applicant provide the hours of operation for the new restaurant, the bar, the performance area, and the event area. The revised plans include proposed hours of operation. We were also able to find some information about the previous restaurant’s hours on-line (Stella’s Trackside). We’ve provided both in the table below:

| | Existing Restaurant | | | Proposed Restaurant | | | | | |
|--|---------------------|-------------------|-----------|---------------------|-------------------|----------|-------------------------|-------------------|------------|
| | Mon. – Thurs. | Friday - Saturday | Sunday | Initial Hours | | | Possible Extended Hours | | |
| | | | | Tues. – Thurs. | Friday - Saturday | Sunday | Tues. – Thurs. | Friday - Saturday | Sunday |
| Restaurant / Indoor Performance Space | 11am – 10pm | 11am – 11pm | 9am – 9pm | 5 – 11pm | 5 – 12:30pm | Not Open | 11am – 3pm | 11am – 3pm | 11am – 3pm |
| Bar | | | | | | | 5-11pm | 5-11pm | |
| Outdoor Patio | | | | | | | | | |
| Event Room | | | | | | | 9am – 10pm | | |

The plans state that the new restaurant will serve dinner until 9pm, and offer a small plate menu from 9pm till closing. Indoor live entertainment will be offered “as appropriate” for a fine dining facility. What the phrase “as appropriate” means should be described further. Extended hours are planned, depending on business circumstances, to offer business lunch and Sunday brunch. The event room use will depend on bookings.

The new restaurant will not be open on Mondays, or initially open for lunch, as was the previous restaurant. However, the new restaurant will be open later on the week-end evenings (by 1.5 hours). This includes the use of the rear outdoor patio, as well the “outdoor” experience at the front of the building. We don’t consider the proposed hours of use to be all that different than the previous restaurant; however, the live music until 12:30 during the summer months, when the front folding door is open, may be an issue.

The rear patio is surrounded with Arborvitae (large evergreen shrubs), which we think will help to block music/sounds coming from the rear patio, and event space (if the rear patio will be available for those renting the event room). We have the following potential options regarding sounds coming from the performance space through the open folding door system at the front of the building:

- 1. The applicant should confirm that the folding door system could be partially closed to help block music coming from the performance space to the homes to the south.*
- 2. Another option is to shift the large landscape bed in the parking lot (across from the front door) to the east, and provide a more significant shrub screen between the restaurant and the house to the south.*
- 3. The Planning Commission could also consider conditioning approval of this special land use on limiting the hours when the folding door system can be open. We consider closing the event room (and potential music spilling out onto the rear patio) at 10pm to be reasonable.*

The project is also proposing to add a driveway entrance/exit onto Davis St. This will increase traffic on this street into the adjoining neighborhood. The existing conditions create a “dead-end” condition for Davis St. In our opinion, this driveway will improve vehicular circulation for this site, but it will also increase traffic into the neighborhood to the south. We provided an analysis of this proposal on Page 10 of this review. Based on this analysis:

- The existing businesses along Davis and Liberty streets operate during the day. The restaurant use will generate traffic in the evenings.*
- Traffic estimates predict that the peak hour of the proposed restaurant use will most likely generate about 48 new trips to/from the Davis St. driveway from/into the neighborhood to the south.*
- It is also likely that these trips will be spread out along Davis and Liberty streets to reach the more heavily travelled Starkweather and Farmer streets.*
- If the Planning Commission thinks that the traffic into the neighborhood to the south won't cause unreasonable disturbances, it may be possible to direct the traffic coming from the Davis St. driveway onto specific roadways. For example, given the “mixed use” nature of Liberty St. to the west of Davis St., and Liberty south of Davis St., it may be possible to direct traffic along Liberty St. by the use of some type of traffic control signs (such as “No Through Traffic” or “Do Not Enter after 9pm”) installed on Davis St. at the intersection with Liberty St.*
- If the Planning Commission thinks this traffic would be unreasonably disturbing to the neighborhood, then another option would be to install the Davis St. driveway with a gate and Knox box. This way, the driveway would be available for emergencies, but would eliminate the traffic from this use into the neighborhood.*
- The Planning Commission may also want to request additional input from the City Engineer, Fire Chief, and/or Police Chief.*

*The **Old Village Sub Area** includes the following goals that are applicable to this proposal:*

- The Old Village area should be a compatible mix of residential, office, commercial and light industrial uses.*
- The land uses should be arranged in a manner which complements the historic character of the Old Village.*
- Intensive commercial uses which have a negative impact on nearby residential areas should not be allowed.*
- The Old Village shall serve as an attractive, well-designed gateway.*
- Streetscape improvements including lighting, sidewalk enhancements and landscaping should be implemented.*

- *Variable setbacks ranging from zero to 15-feet shall be established on an average block basis in order to maintain block integrity.*
- *The City should promote public and private plazas, and attractive green space for gatherings.*

See our comments above regarding traffic/noise impacts to nearby residential areas.

The Old Village Sub Area plan also explains that responses to the Master Plan survey named characteristics that are desirable for the buildings in the Old Village Area. “A large majority want buildings that are historic to be preserved. Other desirable characteristics include buildings that are variable in style, have mixed use across floors, and buildings that are set back from the street similarly.”

The architectural plans have been revised in response to Planning Commission input. While the building is being expanded into the front outdoor seating area, the building design now offers a folding door system that can open during nice weather, creating a similar “outdoor experience” for diners. The outdoor seating capacity in the front has been reduced, but capacity in the rear patio has been increased. The new project will offer eight (8) fewer “outdoor” seats.

The building design has been revised to eliminate the drive-under canopy at the front door, removal of the “eyebrow” feature at the front and rear of the building, changing the large roof over the rear patio with a smaller trellis structure, increased brick detailing, and the folding glass door system at the front. In our view, this design is more “transitional” that offers a contemporary take on traditional building features. And, as requested, the applicant has provided a “streetscape” view showing the existing buildings to the south of the site, and the proposal in context of these existing buildings. In our opinion, we consider the revised proposal to be complementary to the street, and offering “variety” in architecture.

In general, we think the proposed use of this site is consistent with the Master Plan goals, but recommend that the potential impacts to the neighborhood of noise and traffic be addressed further.

- (2) Will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and will not change the essential character of the area.**

CWA Comments: This site contributes to the “mixed use” character of the area. Starkweather St. is the main north/south route through Old Village, and as such, is occupied by residences and businesses (retail, restaurant, office) that serve the local vicinity. The revised architectural design will, in our opinion, complement the street with more contemporary application of traditional building features. The existing site design is more “suburban-esque” vs. “small traditional downtown;” however, the increased amount of landscaping around the building, along Starkweather, and in the parking lot, will help to moderate the expanse of pavement. We think the proposed redevelopment of the site will benefit the look and commercial opportunities in the general vicinity.

- (3) Will not be hazardous or disturbing to existing or future nearby uses.**

CWA Comments: The site abuts active railroad tracks to the north, residential uses to the south along Starkweather, and commercial uses to the south along Davis St. If additional measures are implemented to mitigate the potential for music/sounds from the neighbors to the south, and traffic

in the Davis St. neighborhood to the south, we wouldn't expect this new restaurant to be disturbing to existing or future nearby uses.

- (4) Will be compatible with adjacent uses of land and will promote the use of land in a socially and economically desirable manner.**

CWA Comment: Again, if additional measures are taken to mitigate potential impacts of noise and traffic, we think the new restaurant could promote redevelopment of this site in a socially and economically desirable manner.

- (5) Will be served adequately by essential public services and facilities or that the persons responsible for the establishment of the proposed use will provide adequately any such service or facility.**

CWA Comment: The City's existing utilities will serve the proposed use.

- (6) Will not create excessive additional public costs and will not significantly decrease property values of surrounding properties.**

CWA Comment: We don't expect the proposal to create excessive additional public costs.

- (7) Will meet all the requirements and standards of this chapter and any other applicable laws, standards, ordinances, and or/regulations.**

CWA Comment: The submitted plans are reviewed later in this report for conformance with the Zoning Ordinance.

In addition to the criteria for Special Land Use, Sec. 78-102 includes the following restrictions for bars/lounges, and restaurants serving alcohol:

- 1. No more than ten seats shall be allowed at the bar.** *CWA Comment: Sheet A101 shows a floor plan, and indicates the bar will have 8 seats.*
- 2. Alcohol shall be served only to seated patrons or persons standing in the designated standing area as outlined in subsection 78-102(2)(c).** *CWA Comment: Given the close proximity of seated tables near the bar, there is no "designated" standing area for patrons using the bar.*
- 3. The standing area adjacent to the bar shall not exceed 150 square feet.** *CWA Comment: Again, the arrangement of the seated tables near the bar does not offer any standing area.*
- 4. No dance floor or dancing area allowed.** *CWA Comment: No dance floor or dancing area is shown on the plans in the vicinity of the performance area. The applicant should discuss how dancing is accommodated for events in the events room.*
- 5. The bar, lounge, or restaurant serving alcohol shall be restricted to a specific size and square footage. Any increase in square footage or expansion of restaurant operations which serve alcoholic beverages shall be subject to a new or amended special use permit.** *CWA Comment: This is a new use in this building, and there is no current Special Land Use permit.*

- 6. The community development director shall request a report from the city’s director of public safety regarding the possible impacts of the establishment serving alcoholic beverages. The planning commission shall consider this report in their evaluation of the request for special land use approval. *CWA Comment: To be provided.***

In summary, the proposal meets a number of the Special Land Use criteria, as well as the criteria for establishments serving alcohol. However, the applicant should provide, in writing, information to address the following issues:

Items to be Addressed: Applicant to provide in writing:

- a. *In “Hours of Operation” description on Cover Sheet, provide further description of what is meant by the phrase “...live entertainment appropriate for fine dining.”*
- b. *Regarding buffering residents to the south from music/sounds from performance area through folding door system:*
 1. *The applicant should confirm that the folding door system could be partially closed to help block music coming from the performance space to the homes to the south.*
 2. *The Planning Commission could consider shifting the large landscape bed in the parking lot (across from the front door) to the east, and provide a more significant shrub screen between the restaurant and the house to the south.*
 3. *The Planning Commission could also consider conditioning approval of this special land use on limiting the hours when the folding door system can be open. We consider closing the event room (and potential music spilling out onto the rear patio) at 10pm to be reasonable.*
- c. *Regarding restaurant traffic using the proposed driveway onto Davis St.:*
 1. *If the Planning Commission considers this traffic would not be unreasonably disturbing to the neighborhood, consider directing traffic along Liberty St. by the use of some type of traffic control signs (such as “No Through Traffic” or “Do Not Enter after 9pm”) installed on Davis St. at the intersection with Liberty St.*
 2. *If the Planning Commission thinks this traffic would be unreasonably disturbing to the neighborhood, then another option the Planning Commission could consider is installing the Davis St. driveway with a gate and Knox box.*
 3. *The Planning Commission may also want to request additional input from the City Engineer, Fire Chief, and/or Police Chief.*
- d. *Applicant to discuss how dancing will be accommodated in the event room.*

REQUIRED INFORMATION FOR SITE PLANS

Section 78-247 lists the information required to be on a site plan. Any outstanding informational requirements are noted throughout the review.

Items to be Addressed: As noted throughout review.

AREA, WIDTH, HEIGHT, SETBACKS

The site must meet the minimum standards for the B-1 District, as stated in Section 78-190 and summarized in **Table 1** below:

Table 1. B-1 Schedule of Regulations Summary

| | Required | Provided |
|------------------------|-----------------------|--|
| Lot Area | NA | Parcel 1 (North): 45,745 s.f. Parcel 2 (South): 16,882 s.f. |
| Lot Width | NA | 112 ft. (Starkweather St.) 110 ft. (Davis St.) |
| Lot Coverage | NA | 14.7% |
| Setbacks | | |
| Front | 10 ft. | ?? (Starkweather St.) ¹ N.A. (Davis St.) |
| Side: | | |
| Minimum | N/A or 10 ft. | 0 - 51 ft. ¹ |
| Total of Two | N/A or 20 ft. | 0 – 51 ft. ¹ |
| Rear | 75 ft. | 310 ft. ¹ |
| Building Height | 25 ft. / 2 stories | 19.83 feet / 2 stories |

¹The plans do not show setback dimensions between the proposed building and the property lines. This needs to be added to the plans. We have scaled the plans and included the results in the table above, but these dimensions are approximations.

The applicant received a variance for the front building setback along Starkweather St. of 9.25-feet. Therefore, the building can be located 0.75-feet from the property line.

It appears that the project meets the requirements, but this will be confirmed once the setback dimensions between the building and the property lines have been added to the plans.

Items to be Addressed: 1. Show building setback dimensions on site plan.

PARKING, LOADING

Section 78-271 lists parking requirements for private clubs or lodges. **Table 2** below summarizes the required and provided number of parking spaces for this site:

Table 2. Parking Requirements

| | REQUIRED | PROVIDED |
|---|--|---|
| Establishment for sale and consumption on the premises of beverages, food and refreshments | One (1) space / 75 s.f. of usable floor area, or 1 space/ 3 persons allowed within maximum occupancy load, whichever is greater 5,898 s.f. usable floor area / 75 = 79 spaces 328 persons max. occ. / 3 = 110 spaces | 104 spaces , including 4 barrier-free spaces |
| Excess Spaces: | | 25 spaces (See Below) |

Number of Parking Spaces. This project is re-using an existing building. The site design is not in conformance with the Zoning Ordinance regarding parking lot setbacks, and parking lot islands/landscaping. However, the proposal is offering to increase the number of islands/landscaping in the parking lot. In our opinion, if the required number of parking spaces were based on maximum occupancy (requiring 110 spaces), this would make the parking lot more non-conforming because there would be less space for landscaping. Therefore, these two requirements are in conflict. Typically, when two ordinance provisions conflict, the stricter of the two is used. However, we are comparing two different requirements, so it’s not possible to discern which is “stricter.” Therefore, we would recommend that the Planning Commission consider the proposed number of parking spaces (104) on this site plan to meet the parking requirement. The proposal is substantially (33%) higher than the number of spaces required if calculated by “usable floor area,” and is only six (6) spaces less than if calculated by “maximum occupancy.”

In 2016, the Cross Fit Forgiven gym just to the south of the south parking lot (on Davis St.) received permission to use the south parking lot for overflow parking. The applicant stated at the May, 2023 Planning Commission meeting that they have no record of any such agreement. Also, the gym has moved out of this building.

The plans show four (4) barrier-free parking spaces, where five (5) are required. However, we think the one space located just east of the 4 barrier-free spaces was intended to be a barrier-free space, as it is only 8-feet wide. It just wasn’t identified as barrier-free. The plans should be updated to show five (5) barrier-free spaces.

Dimensions. The dimensions of the drive aisles, regular parking spaces, and barrier-free spaces meet ordinance requirements.

Loading/Unloading. A loading zone should be identified on the plans.

Items to be Addressed: 1. Recommend Planning Commission consider the proposed number of parking spaces so that islands/landscaping can be installed to make this site less non-conforming. 2. Show five (5) barrier-free spaces on site plan. 3. Show loading zone on site plan.

SITE ACCESS AND CIRCULATION

Site Access: The site is currently accessed from one entrance/exit from Starkweather St. Sec. 78-351, *Non-Conforming Lots and Sites*, requires that current driveways that are being used by the redevelopment, and that do not conform to current safety design standards shall be removed or redesigned to the greatest extent possible. The driveway in this area will be narrowed slightly, with new driveway tapers and a curb along the building. We defer evaluation of the driveway design to the City Engineer.

The project is proposing to add a driveway from the southern parking lot to Davis Street. This will increase traffic on this street into the adjoining neighborhood. The existing conditions create a “dead-end” condition for Davis St. In our opinion, this driveway will improve vehicular circulation for this site, but it will also increase traffic into the neighborhood to the south.

To help discern the impact of traffic on Davis St., we referenced the Institute of Transportation Engineer’s Trip Generation Manual (11th Edition), to estimate the number of trips that this use could generate. The estimated number of trips at peak hour on a Saturday is provided in the table below:

| Use | Vehicle Trip Generation: Number of trips per 1,000 s.f. gross floor area at peak hour of generator on a Saturday | Proposed Project |
|------------------------|--|---|
| Fine Dining Restaurant | 10.68 trips | $(8,975 \text{ s.f.} / 1,000) \times 10.68 \text{ trips} = 96 \text{ trips at peak hour}$ (total in-bound/out-bound) |

Sec. 78-389, *Traffic Impact Study*, of the Zoning Ordinance requires a Traffic Impact Study when the project is expected to generate 100 directional vehicle trips (i.e., 100 in-bound and 100-out-bound) during the peak hour of the traffic generator. This project is proposed to generate about half that number of vehicle trips. Therefore, a Traffic Impact Study is not required by the ordinance.

Using the trip generation estimate in the table above, it is logical to assume that approximately half of the restaurant’s patrons (during the peak hour) will use the Starkweather St. driveway, and half will use the Davis St. driveway. Therefore, at the peak hour on a Saturday, it is estimated that approximately 48 vehicles will use Davis St. to access/leave the site.

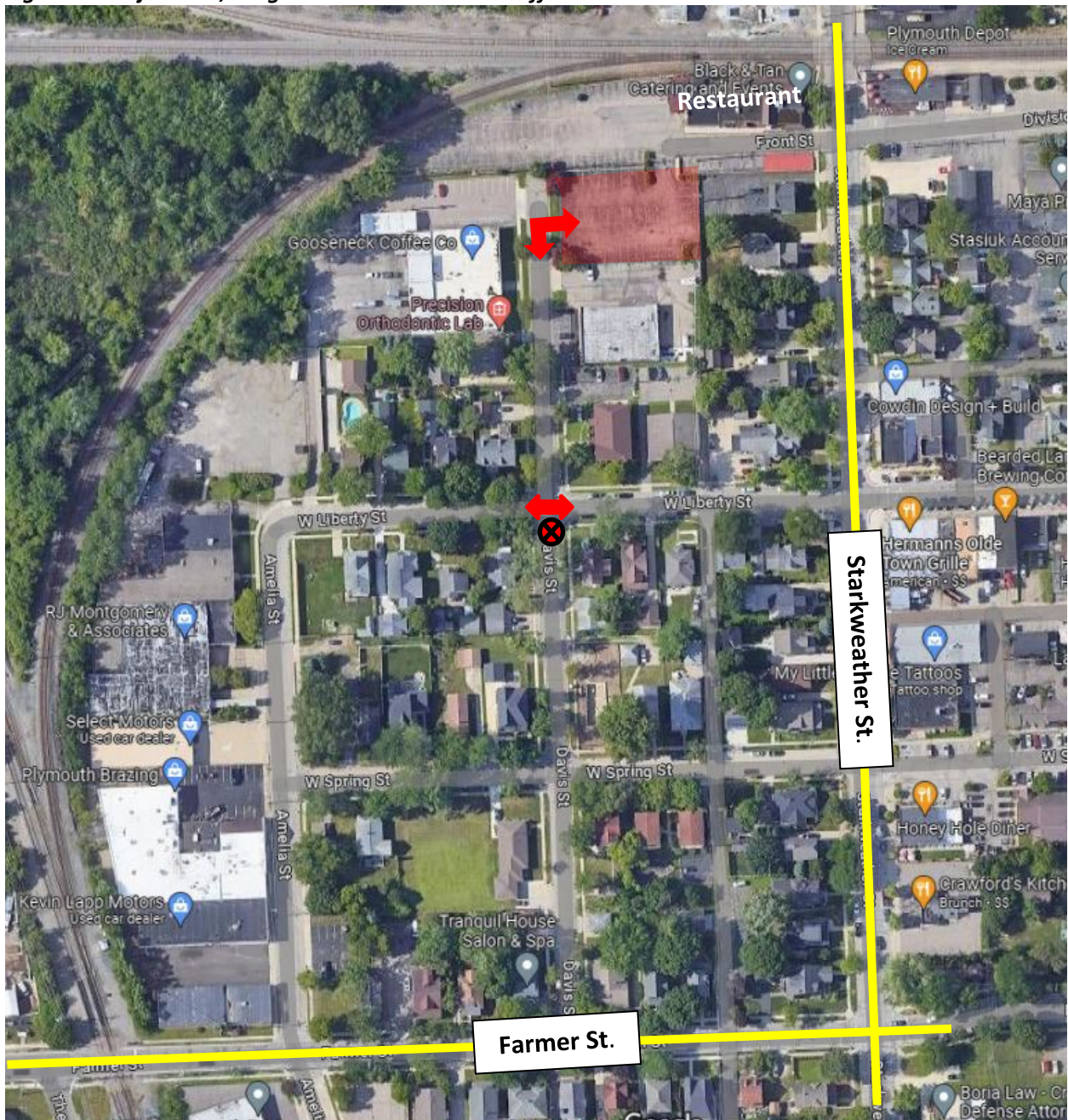
How does this number of vehicle trips compare with the current number of vehicle trips using Starkweather and Davis streets? SEMCOG Traffic Count Data is available for Starkweather St., which is considered a “major collector” road. Major collectors funnel traffic from residential areas to arterial roads, with some providing direct access to residences. SEMCOG’s Traffic Count Data indicates an annual average daily traffic (AADT) count of 3,200 vehicle trips on Starkweather. Davis St. is considered a “local road,” which are neighborhood streets that provide access to residences. No traffic count data is available for Davis St. However, it is a “dead end” road, and provides access to a single-family residence, a multi-family building, and five businesses in this block. The building on the west side of Davis St. is occupied by four (4) of the businesses, and this building has a second driveway off of the adjacent W. Liberty St.

The increase in traffic along Starkweather St. during the peak Saturday hour is small (or about 1.5% of the total daily traffic count). The increase in traffic along Davis St. can’t be quantified. However, the businesses along Davis St. operate during the day. Therefore, Davis St. (and possibly W. Liberty St.), will experience higher traffic during the evening hours once the restaurant is operational. It is most likely

that the vehicle trips using the Davis St. driveway will spread out into the neighborhood to access the collector roads (Starkweather St., and Farmer St.).

If the Planning Commission thinks that the traffic into the neighborhood to the south won't cause unreasonable disturbances, it may be possible to direct the traffic coming from the Davis St. driveway onto specific roadways. For example, given the "mixed use" nature of Liberty St. to the west of Davis St., and Liberty south of Davis St., it may be possible to direct traffic along Liberty St. by the use of some type of traffic control sign (such as "No Through Traffic" or "Do Not Enter after 9pm") installed on Davis St. at the intersection with Liberty St.

Figure 2. Subject Site, Neighborhood Context & Traffic Control



If the Planning Commission thinks this traffic would be unreasonably disturbing to the neighborhood, then another option would be to install the Davis St. driveway with a gate and Knox box. This way, the driveway would be available for emergencies, but would eliminate the traffic from this use into the neighborhood.

The Planning Commission may also want to request additional input from the City Engineer, Fire Chief, and/or Police Chief.

All of these suggestions are listed under the “Special Land Use” criteria.

On-Site Circulation. The building location is not changing, and the small building additions are not creating any issues with the existing vehicular circulation on the main site.

Pedestrians accessing the front door from the public sidewalk will use the vehicle driveway, as is currently done. The proposal is adding a curb along a new landscape bed up against the building, which will soften the effects of the pavement in this location, but will leave no space for a sidewalk connecting the front door with the public sidewalk along Starkweather St. In our opinion, most patrons who walk to the restaurant will use the driveway, even if a connecting sidewalk were offered.

A sidewalk is proposed along the building between the front door and the patio area at the rear. This will meet the requirement in Sec. 78-351 of adding sidewalks within the interior of the site to provide a safe passageway for pedestrians.

The frontage abutting Davis St. does not have a sidewalk. Sec. 78-351 requires a sidewalk to be installed along the site frontage to provide safe passageway for pedestrians. There are paved areas for pedestrians to walk along the east side of Davis St., up to the boundary of the south parcel. If the Planning Commission were to require a sidewalk along Davis St. to create a pedestrian connection with the project and the public walk along Davis St., the segment would be approximately 18-feet long.

Has the applicant considered adding a bicycle rack to the site plan?

Items to be Addressed: 1. *Defer evaluation of re-designed Starkweather St. driveway to City Engineer.* 2. *Planning Commission to determine if sidewalk segment along Davis St. frontage is required.* 3. *Applicant to consider adding bicycle rack.*

LANDSCAPING, LIGHTING, DUMPSTER

As mentioned above, this building and site are being renovated for a new restaurant use. As such, Sec. 78-351, *Non-Conforming Lots and Sites*, applies.

Landscaping. Sec. 78-351 calls for landscape buffer strips between the right-of-way and a parking lot, as well as parking lot landscaping. Sheet L-1, *Landscape Plan*, of the proposal shows the following:

1. Two (2) street trees along Starkweather St., and four (4) existing Japanese maple street trees along Davis St. The ordinance requires two additional trees along Starkweather St. (or 1 tree/30 lineal feet of frontage). This frontage has overhead powerlines that will conflict with a large shade tree; however, two more ornamental trees could be used to provide a small amount of shade and buffering along this frontage.

The ordinance also requires five (5) shrubs for every 30 lineal feet of frontage. The Starkweather frontage shows the required number of shrubs; however, no shrubs are shown along the Davis St. frontage. Eighteen (18) shrubs need to be added along this frontage.

2. 2,881 s.f. of interior parking lot landscaping is proposed. The plans do not provide an area calculation for “existing parking lot pavement,” so we can’t confirm that the interior landscaping meets this requirement (or 1 s.f. of landscaping for every 15 s.f. of parking lot). The area of the parking lots needs to be provided. The size of the proposed islands meets the minimum area requirement, and they are appropriately arranged to break up the expanse of pavement and direct vehicles. The number of parking lot trees meets ordinance requirements (or 1 tree/300 s.f. of interior parking lot landscaping).
3. This parking lot is directly next to a residential use (to the south). The ordinance requires that the lot be buffered from a residential use with a 15-foot wide landscape strip, planted to create 60-80% opacity. Approximately 40% of this boundary has the required buffer strip, and the remainder is occupied by parking spaces and a retaining wall. We suggested that one way to buffer the residence to the south from activity at the front of the building is to shift the landscape island (across from the front door) to the east, and plant it heavily with shrubs. This heavy planting could create the 60-80% opacity called for in the ordinance.

The plans call for painting this wall, but only on the “project side.” It doesn’t appear like the south side of this wall has ever been painted, and looks rather rough. Since this wall is located completely on the subject site, and because the buffering is not complete along this boundary, we recommend that the entire wall be painted (all sides) as a compromise to not providing the required buffer strip.

4. Sheet C-1, Note #14 calls for removing pavement in areas that will be landscaped. It also calls for removing 1-3” of existing soil or road base in these areas. This shallow excavation is insufficient to create a planting bed that would support any plant material, including perennials, shrubs and trees. The landscaped areas need to be excavated to a minimum of one (1) foot, and filled with appropriate planting medium to ensure the plants can live in these environments.
5. Sheet L-1 states that the turf areas and landscape beds will be provided with an irrigation system. What about the parking lot islands? These areas also need a consistent water supply.

Lighting

The plans show a symbol for site lighting. However, no other information has been provided. Lighting information that allows an evaluation to confirm compliance with the ordinance needs to be provided.

Dumpster Screen

Sec. 78-351 states that whenever modifications are proposed to a building or site, then required screening walls for waste receptacles shall be provided. A dumpster location is shown on the plans on the west end of the site. A detail of the screen is provided on Sheet AS101, which shows the screen is made of concrete masonry units (CMU), with a wood gate.

Items to be Addressed: 1. Add two (2) ornamental trees along Starkweather St. frontage. 2. Add 18 shrubs along Davis St. frontage to screen parking lot from road. 3. Provide an area calculation of the parking lot pavement on the plans. 4. Shift parking lot island to east, and plant entire area with shrubs to create 60-80% opacity, and screen neighbor to the south. 5. Paint entire retaining wall (all sides). 6. Modify Note 14 on Sheet C-1 to excavate new planting beds that had been paved to a minimum of 1-foot deep, and refill with appropriate planting medium. 7. Confirm parking lot islands will be irrigated. 8. Lighting.

SIGNS

The location of a proposed sign is shown adjacent to Starkweather St. No signage information has been provided. Any sign(s) must receive a sign permit from the Building Official. At that time, the Building Official will confirm that they meet the zoning requirements.

Items to be Addressed: None.

FLOOR PLAN AND ELEVATIONS

Revised building elevations have been provided, and a narrative submitted with the plans describes the changes made to respond to the Planning Commission's comments.

In addition, street views, with the project inserted, have also been provided. They show an illustration of what the scale and details of the project will look like in relation to the buildings to the south.

Items to be Addressed: None.

RECOMMENDATIONS

The proposal, in our view, meets many of the Special Land Use criteria. The main issues involve screening the residence to the south from music/sounds of the restaurant, and potential traffic impacts from the new driveway along Davis St. To address these items, our review provides possible options the Planning Commission can consider. We recommend that these items be resolved before granting Special Land Use Approval.

Regarding the site plan, the Planning Commission will need to evaluate the proposed number of parking spaces, a sidewalk segment along Davis St., as well as the other comments in this review. We recommend giving the applicant more time to address these issues. One possibility is making a determination of the Special Land Use at the July meeting, and the applicant returning with finalized plans that illustrate changes discussed at this meeting.

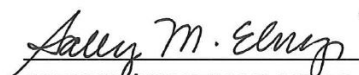
Special Land Use: Applicant to provide in writing:

- a. In "Hours of Operation" description on Cover Sheet, provide further description of what is meant by the phrase "...live entertainment appropriate for fine dining."
- b. Regarding buffering residents to the south from music/sounds from performance area through folding door system:
 1. The applicant should confirm that the folding door system could be partially closed to help block music coming from the performance space to the homes to the south.
 2. The Planning Commission could consider shifting the large landscape bed in the parking lot (across from the front door) to the east, and provide a more significant shrub screen between the restaurant and the house to the south.
 3. The Planning Commission could also consider conditioning approval of this special land use on limiting the hours when the folding door system can be open. We consider closing the event room (and potential music spilling out onto the rear patio) at 10pm to be reasonable.

- c. Regarding restaurant traffic using the proposed driveway onto Davis St.:
 1. If the Planning Commission considers this traffic would not be unreasonably disturbing to the neighborhood, consider directing traffic along Liberty St. by the use of some type of traffic control signs (such as “No Through Traffic” or “Do Not Enter after 9pm”) installed on Davis St. at the intersection with Liberty St.
 2. If the Planning Commission thinks this traffic would be unreasonably disturbing to the neighborhood, then another option the Planning Commission could consider is installing the Davis St. driveway with a gate and Knox box.
 3. The Planning Commission may also want to request additional input from the City Engineer, Fire Chief, and/or Police Chief.
- d. Applicant to discuss how dancing will be accommodated in the event room.

Site Plan: Site Plan to be revised to address the following:

- A. Show building setback dimensions on site plan.
- B. **Parking and Loading:**
 1. Recommend Planning Commission consider the proposed number of parking spaces so that islands/landscaping can be installed to make this site less non-conforming.
 2. Show five (5) barrier-free spaces on site plan.
 3. Show loading zone on site plan.
- C. **Site Access and Circulation:**
 1. Davis St. driveway issues described in the Special Land Use section of this review.
 2. Defer evaluation of re-designed Starkweather St. driveway to City Engineer.
 3. Planning Commission to determine if sidewalk segment along Davis St. frontage is required.
 4. Applicant to consider adding bicycle rack.
- D. **Landscaping, Lighting, Dumpster:**
 1. Add two (2) ornamental trees along Starkweather St. frontage.
 2. Add 18 shrubs along Davis St. frontage to screen parking lot from road.
 3. Provide an area calculation of the parking lot pavement on the plans.
 4. Shift parking lot island to east, and plant entire area with shrubs to create 60-80% opacity, and screen neighbor to the south.
 5. Paint entire retaining wall (all sides).
 6. Modify Note 14 on Sheet C-1 to excavate new planting beds that had been paved to a minimum of 1-foot deep, and refill with appropriate planting medium.
 7. Confirm parking lot islands will be irrigated.
 8. Provide information about proposed lighting that allows for evaluation against ordinance requirements.



CARLISLE/WORTMAN ASSOC., INC.
Sally M. Elmiger, AICP, LEED AP
Principal

cc: Greta Bolhuis
John Buzuvis
Robert Miller, M Architects (robert@marchitects.com)



City of Plymouth

Department of Municipal Services

DMS Review

City of Plymouth
201 S. Main
Plymouth, Michigan 48170

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

Applicant: Trakside Plymouth
Location: 885 Starkweather
Zoning: B-1 – Local Business District
Action Requested: DMS Review
Review Date: July 10, 2023

1. Sanitary sewer system:
 - Existing 6" sanitary lead
 1. Provide additional detail: Will existing lead be abandoned? If abandoned bulkhead at structure and cap at right of way required. If existing lead is to remain in use additional information is needed. Provide sewer TV records to verify condition and serviceability for re-use.
 - Proposed new 6" sanitary lead
 1. Appears to meet code requirements and City of Plymouth engineering standards.
 - Proposed new 6" tap to Sanitary on Starkweather
 1. Review connection location on Starkweather versus connection to Sanitary on Davis. Connection to Davis may result in a shorter run, fewer changes in direction and greater vertical separation at utility crossings.
 2. Tap permit required for all new taps.
 - Proposed new 200 Gal. oil grit/grease separator (grease trap)
 1. Provide proposed maintenance schedule. Provide proposed access agreement for compliance inspection.
2. Water system:
 - Existing 2" water service
 1. Provide additional detail: Will existing water service be abandoned? If existing water service is to remain in use additional information is needed.
 2. Proposed building addition likely to conflict with existing water shut off/curb stop location. Provide details on a proposed new/relocated water service.
 - Provide details on fire suppression/fire main requirements.
 - Review water service connection location, connection to Davis Street water main may be preferred.
3. Storm drain system:
 - Existing 12" Storm Sewer
 1. Provide sewer TV records to verify condition and serviceability for re-use.
 - Consider integrating green infrastructure into proposed landscaping and parking lot to retain, filter and infiltrate storm water
4. Sidewalks, roads and parking:
 - Per the City sidewalk ordinance, sidewalk extensions are to be installed in conjunction with development or re-development. An extension of the City sidewalk on Davis Street (along the frontage of Parcel 1) is required.
 - The private parking lot light pole on Davis near the dead end is an encroachment in the public right of way, remove or relocate the light pole.
 - The proposed handicap parking spaces have a conflict with the existing overhead utility lines and the utility poles. Provide details on how the conflict will be resolved.
5. Trees and Landscaping:
 - Existing street trees

1. Two city Sycamore/London Planetrees (8" & 10" DBH) in the tree lawn on Starkweather are proposed to be removed. City ordinance does not permit discretionary removal of healthy public trees. Trees removed for private utility improvements are to be replaced at a rate determined on a case by case basis. The proposed landscape plan indicates two 2.5" Tree Lilac to be planted, this is not equivalent to the 18"+ of trees removed. Provide details on public tree replacement or tree fund contribution.
2. Private Maple trees on Davis frontage will be in violation of the clear vision area for driveways with the proposed connection to Davis. Provide details on how to achieve compliance with ordinance requirements.
3. Submit and comply with tree permits for all tree removals, plantings and protection.
4. Propose alternative species for trees, Maples (Acer) are no longer a permitted tree species.

RECEIVED

JUN 23 2023

CITY OF PLYMOUTH
SITE PLAN REVIEW APPLICATION

Community Development Department
201 S. Main Street Plymouth, MI 48170
Ph. 734-453-1234 ext. 232
www.plymouthmi.gov

CITY OF PLYMOUTH
COMMUNITY DEVELOPMENT

I. Site/Project Information

Site Address: 885 Starkweather; Current Zoning Classification: B1; Date of Application: 6/23/23

Name of Property Owner: Starkweather 885, LLC; Phone Number: 734-516-4053; Mailing Address: 650 Church St.; Email Address: dsoenen@sensors-inc.com; City: PLYMOUTH; State: MI; Zip Code: 48170

II. Applicant and Contact Information

Indicate Who the Applicant Is. If Property Owner, Skip to Section III. x Architect; Applicant/Company Name: M Architects; Phone Number: 248-349-2708; Applicant/Company Address: 114 E Main Street; City: Northville; State: MI; Zip Code: 48167; Email Address: robert@marchitects.com

III. Site Plan Designer and Contact Information

Site Plan Designer Company Name: M Architects; Phone Number: 248-349-2708; Company Address: 114 E Main Street; City: Northville; State: MI; Zip Code: 48167; Email Address: robert@marchitects.com

IV. Type of Project (Please Select All that Apply)

Commercial, Multi-Family, New, Remodel, Change of Use, Special Land Use, Addition, Interior Finish, Mixed Use, Industrial

V. Historic District

Is this project located in the Historic District? Yes No


VI. Description of Work

Renovations and additions to formers Stellas Trackside, formerly 885 Starkweather.

VII. Applicant Signature

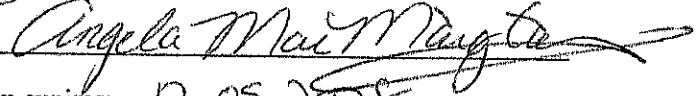
| | |
|---|-----------------|
| Signature of Applicant  | Date 6/23/23 |
|---|-----------------|

VIII. Property Owner Signature

| | |
|--|-----------------|
| Signature of Property Owner  | Date 6/23/23 |
|--|-----------------|

Subscribed and sworn before me this 23rd day of June, 2023.

ANGELA MAE MARGILAJ
 NOTARY PUBLIC - STATE OF MICHIGAN
 COUNTY OF WAYNE
 My Commission Expires 12/5/2028
 Acting in the County of Lapeer

Notary Public: 
 My Commission expires: 12.05.2028

For Office Use Only

| | YES/DATE | NO | N/A |
|--|----------|----|-----|
| 1. Pre-Application Meeting | | | |
| 2. Digital Copy of Application Package | | | |
| 3. Public Hearing Notice | | | |
| 4. CWA Review | | | |
| 5. Municipal Services Review | | | |
| 6. Fire Department Review | | | |
| 7. Engineering Review | | | |

IX. Site Plan Review Checklist

| Please include the following applicable information on the site plan. | | YES | NO | N/A |
|---|---|-------------------------------------|--------------------------|-------------------------------------|
| 1. | Correct scale | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. | Name of person preparing plan* | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. | Date, north point | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. | Property line dimension | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 5. | Street right-of-way widths | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 6. | Existing utilities (sewer, water, gas, etc.) and easements | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 7. | Show adjacent property and buildings, including zoning | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 8. | Existing topography, trees and other features | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 9. | Off-site ground, parking lot, roadway, driveway and/or structure elevations for minimum distance of 50 feet | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 10. | On-site grid of maximum 100 feet intervals each way (closer where rolling terrain warrants) and minimum 2.0 feet contours | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 11. | Location of new structures including side and front yard setbacks and building length and width (show a general floor plan) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 12. | Number of dwelling units per building | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 13. | Height of structure | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 14. | Percent one room apartments (efficiencies) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 15. | Total number of rooms if multiple-family | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 16. | Parking requirements met (See Section 78-720) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 17. | Number of units and bedrooms each building | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 18. | Parking lot layout (showing paved area) including ingress and egress and service area | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 19. | Parking lot space dimensions | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 20. | Loading and unloading space | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 21. | Site grading and drainage plan (on-site elevations for pavements, drives, parking lots, curbs, sidewalks and finish grade at bldg.) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 22. | Utility connections (sanitary sewer, water, storm sewers) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 23. | On-site storm water retention | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. | Fire hydrants within 300 feet (on- and off-site) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 25. | Sidewalks and elevations | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 26. | Sedimentation and erosion control plan | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 27. | Landscape plan showing plant materials to be used | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 28. | Sign requirements met | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 29. | Require walls and fences or greenbelts | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 30. | Corner clearance | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 31. | Service drive needed | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 32. | Acceleration lanes and traffic pattern | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 33. | Trash receptacle locations including screening type and height | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 34. | Mail box locations | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

| Please include the following applicable information on the site plan. | | YES | NO | N/A |
|---|---|-------------------------------------|--------------------------|-------------------------------------|
| 35. | Air conditioner unit locations | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 36. | Special site features (play areas, pools, etc.) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 37. | Handicapped facilities | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 38. | Building elevation drawings | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

*Where property line surveys, topography, sewer, water or storm drains are shown, the name of the registered engineer or land surveyor preparing such elements of the plan shall be indicated on the plan.

June 21, 2023

**Planning Commission
City of Plymouth, Michigan
Commission Members**

Re: Chicane
885 Starkweather
Planning Commission Review

Dear Commission Members:

We are very excited to be presenting to you at your next Planning Commission meeting our updated site plan and building design for the additions and renovations to the former Stellas Restaurant. We have incorporated several of the comments made at the last meeting as well as comments from the City's planning consultant Sally Elmiger of Carlisle Wortman Associates in her letter dated April 21, 2023. A few of the items from that letter have been addressed as follows:

1. Hours of operation for the proposed business have been provided.
2. The parking calculations have been updated to include both means of calculating.
3. Number of patrons previously accommodated at the former restaurant have been provided.
4. Exterior elevations have been provided demonstrating the existing and proposed building heights, which do not exceed the allowable maximum height.
5. Exterior elevations showing the existing structures to the south in relation to the building have been provided.

Additionally since our conceptual review meeting with the commission, we have made several revisions to the site plan for compliance with the landscape requirements, and several revisions to the building's exterior design. Some of these design revisions include:

1. Removal of the drive-under canopy.
2. Removal of the 'eyebrow' elements at the front and rear of the building.
3. Removal of the large roof covering over the rear outdoor seating area, and utilized a smaller, more subdued trellis structure.
4. Increased the brick detailing throughout the façade, based on the precedence of buildings found in Old Village. These include stacked soldier coursing, recessed banding, projected banding, projected rowlock parapets, and other details providing character and shadowing.
5. The addition of a folding door system on the front (east) addition to open approximately one-half of the seating to the outdoors creating a covered outdoor seating area instead of an enclosed space. This allows the former outdoor seating area to act as a year-round space providing an open environment during favorable weather days, and protection from weather on other days while giving floor to ceiling glass that allows transparency into and out of the space. This promotes a pleasant dining experience especially at the north end, towards the railroad tracks, where the noise of trains and cars waiting, along with dust and debris, are avoided but the visualization of the indoor/outdoor experience is still maintained.

As part of this site plan review we are also requesting a Special Land Use approval as recommended by Ms. Elmiger. The criteria for this approval are below along with our response to each item.

1. *Will be harmonious and in accordance with the general objectives or any specific objectives of the City of Plymouth Master Plan.*

The master plan provides general objectives within the Old Village Sub Area Plan, but lacks specific objectives as to harmonious considerations. However this project is in keeping with the general objectives of the Old Village Sub Area Plan as the use of the building is not changing but being maintained, keeping the diversity of uses within the area, promoting walkability, and will continue act as a strong gateway element toward the north end of Starkweather.

2. *Will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing and intended character of the general vicinity and will not change the essential character of the area.*

The revised design maintains the existing low, horizontal character of the existing design while emphasizing the gable structures that are the original building. The existing mansard / Bavarian-esque design has been removed, which is not emblematic of the surrounding commercial buildings, and is being replaced with a brick façade more familiar with the buildings in Old Village, thus embracing that character. It should be noted that the existing building is not historic, by age nor by design nor by recognition, and the multitude of additions that have been added within the past 30 years are not old enough to be considered for historic status. The proposed design gives a harmonious and appropriate appearance that befits the area and acts as a strong gateway building. The contractor on the project is a life-long Plymouth resident and will provide the highest quality and level of construction for this project, and the owner team will ensure the building is maintained with the highest standards of care.

3. *Will not be hazardous or disturbing to existing or future nearby uses.*

As mentioned this is not a change in use as the existing restaurant use will be maintained. In discussions with surrounding business owners the reopening of the restaurant is dearly sought as it is expected to increase their business as well.

4. *Will be compatible with adjacent uses of land and will promote the use of land in a socially and economically desirable manner.*

With reference to item #3 above the land is already compatible with the adjacent uses and is in keeping with the intent of the Old Village Sub Area Plan.

5. *Will be served adequately by essential public services and facilities or that the person responsible for the establishment of the proposed use will provide adequately any such service or facility.*

As an existing restaurant all public services and facilities are planned to be maintained.

6. *Will not create excessive additional public costs and will not significantly decrease property values of surrounding properties.*

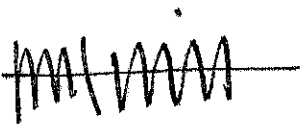
No public costs are foreseen and the financial injection this property will receive for the proposed renovations, and the clientele expected to dine and walk Old Village, would be expected to increase the value of adjacent properties.

7. *Will meet all the requirements and standards of this chapter and any other applicable laws, standards, ordinances, and/or regulations.*

The project will meet all items listed.

We hope this information, along with the submitted drawings, helps better your understanding of the project. We will prepare a full presentation for the meeting and truly look forward to our discussion and to the potential this project has for the City of Plymouth and Old Village!

Sincerely,



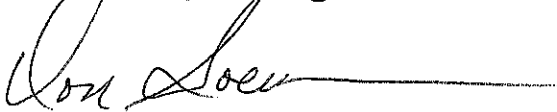
Robert E Miller, aia
Principal
M Architects

June 22, 2023

To the Planning Commission,

Recently, several Old Village business owners/operators expressed their enthusiasm for the renovation of the old Station 885 restaurant. Several asked how they might help. I discussed the need for this project to be approved by the Planning Commission. They offered their support as noted on the attached.

Don Soenen, Manager

A handwritten signature in black ink that reads "Don Soenen". The signature is written in a cursive style and is followed by a horizontal line that extends to the right.

Trackside Plymouth, LLC

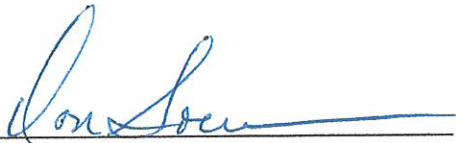
TRACKSIDE PLYMOUTH, LLC.

RENOVATION OF 885 Starkweather

Dear Esteemed Old Village of Plymouth Business Leader,

The property at 885 Starkweather, previously known as Station 885, and more recently as Stella's Trackside, is undergoing a significant renovation. It had been operating as a favorite area restaurant for approximately 70 years, serving the Plymouth community and inviting guests from everywhere to enjoy our city. This important tradition will now begin anew as an upgraded experience known as Chicane, featuring a fine dining restaurant that showcases the best of traditional American cuisine, top live entertainment, and a special event center for celebrations and presentations. Patron capacity will remain approximately the same as the previous facility, with modest reductions in parking to provide for substantial increases in landscaping and green space. Each aspect of the property is being revitalized with great care and concern. Our team, as it has when creating other critical projects for Plymouth, is utilizing the finest resources and materials to reflect and build upon the excellence of our award-winning town. Our goal in regenerating and operating this property is to regain the location as a great asset to our city and its culture.

The accompanying project illustrations and information will be submitted to the City of Plymouth Planning Commission for approval on July 12, 2023. As an area business leader, we invite you to please review the attached renderings of the proposed center. We are committed to upgrading this Old Village icon into yet another beautiful and exciting experience of Plymouth—one that will be a positive addition to our community in many ways. Chicane shares your goals of driving traffic to Old Village, benefiting all businesses and increasing property values. Upon review of the plans, if you believe Chicane will enhance the success of Old Village by blending in harmoniously with our special Plymouth business community in both style and purpose, we respectfully request your signature on the attached letter of support. Thank you.



Don Soenen, Manager



Mia Odeh, Member

Business

OWNER/MGR

Signature

Mission Coffee

Harold Wessel

[Signature]

Practice Real Estate

Matt Talbot

[Signature]

JZ AKChairs

Stacy Selsbery

[Signature]

Barkers Pet Salon

Bonnie Butler

[Signature]

Plymouth Depot

Kristi Holmes

[Signature]

R3 Refinology

MATT & Kristi Holmes

[Signature]

[Signature]

Nytittle Needle

Latricia Horstman

[Signature]

Resident Jan Waller

Jan Waller

[Signature]

RESIDENT

MACK WALLER

[Signature]

Q Hair Studio

Kim Meyers

[Signature]

Crawford's Kitchen

Jeff Crawford

[Signature]

Karen Krentel Hand Design

Karen Krentel

[Signature]

Nails on Mill

Cherie Scarvelis

[Signature]

Salon Intentional

Christina Richards

[Signature]

Henson Leaf, LLC

David Dennison

[Signature]

PLYMOUTH JEWELRY

Kevin Felts

[Signature]



PROPOSED EXTERIOR DESIGN



RENOVATIONS AND ADDITIONS TO 885 Starkweather (Chicane)

885 Starkweather
Plymouth, Michigan

Owner |
885 Starkweather, LLC
Contact: Don Soenen

Civil Engineer |
Zeimet Wozniak
55800 Grand River Ave, Suite 100
New Hudson, MI 48165
Contact: Julian Wargo
248.437.5099

Landscape Architect |
Grissom Metz Andreise
15000 Edward N. Hines Dr, Suite A
Plymouth, MI 48170
Contact: Andrew Parin
248.347.7010

Architect and Interior Designer |
M Architects, Inc.
114 E Main Street
3rd Floor
Northville, Michigan 48167
Contact: Robert E Miller
248.349.2708

| | | | | | |
|---------------------|--|--|-------------|--------------|------------|
| DRAWING SHEET INDEX | COVER SHEET | C1.0 | SHEET TITLE | SHEET NUMBER | ISSUE DATE |
| | SURVEY SITE PREPARATION PLAN SITE IMPROVEMENTS PLAN SITE UTILITY DETAIL SITE EROSION CONTROL PLAN CONSTRUCTION NOTES AND DETAILS CONSTRUCTION NOTES AND DETAILS SIDEWALK RAMP DETAILS STORMWATER MANAGEMENT PLAN STANDARD SANITARY SEWER DETAILS STANDARD SANITARY SEWER DETAILS STANDARD STORM SEWER DETAILS STANDARD STORM SEWER DETAILS STANDARD SOIL EROSION AND SEDIMENTATION CONTROL DETAILS LANDSCAPE PLAN LANDSCAPE DETAILS EXISTING PHOTOGRAPHS ARCHITECTURAL SITE PLAN EXISTING AND PROPOSED FLOOR PLANS EXISTING EXTERIOR ELEVATIONS PROPOSED EXTERIOR ELEVATIONS ARCHITECTURAL RENDERINGS ARCHITECTURAL RENDERINGS | 1 OF 1 C1 C2 C3 C4 C5 C6 C7 SS-1 SS-2 ST-1 ST-2 SE-1 L-1 L-2 A100 A101 A101 A301 A302 A303 A304 | | | |

Hours of Operation

"Chicane", a Trackside Plymouth, LLC operation at 885 Starkweather, will operate a full-service upscale restaurant with traditional American cuisine. The restaurant will feature high end food with steaks, chicken, seafood, pasta, vegetarian and salad dinners. In addition, small plate and appetizer items will be available during off-peak hours. Live entertainment will be available during dinner hours and into the evening. The banquet room will be available for special events such as weddings, engagement parties, funerals, etc.

The primary focus will be on the 5:00 pm to 9:00 pm dinner crowd with a small plate menu from 9:00 to midnight. The restaurant, bar, outdoor patio and performance space will be open during operating hours on Tuesday -- Saturday. Indoor live entertainment will be offered as appropriate for a fine dining facility.

Depending on business circumstances, there's the potential for a Sunday Brunch and business lunch on Tuesday through Saturday.

The following are the planned hours of operation:

- Restaurant, bar, patio, indoor performance space.
 - o Tuesday - Thursday 5:00 - 11:00 pm
 - o Friday - Saturday 5:00 - 12:30 pm
- Event Room
 - o Monday - Sunday 9:00 am- 10:00 pm
 - Depends on booking of special events.

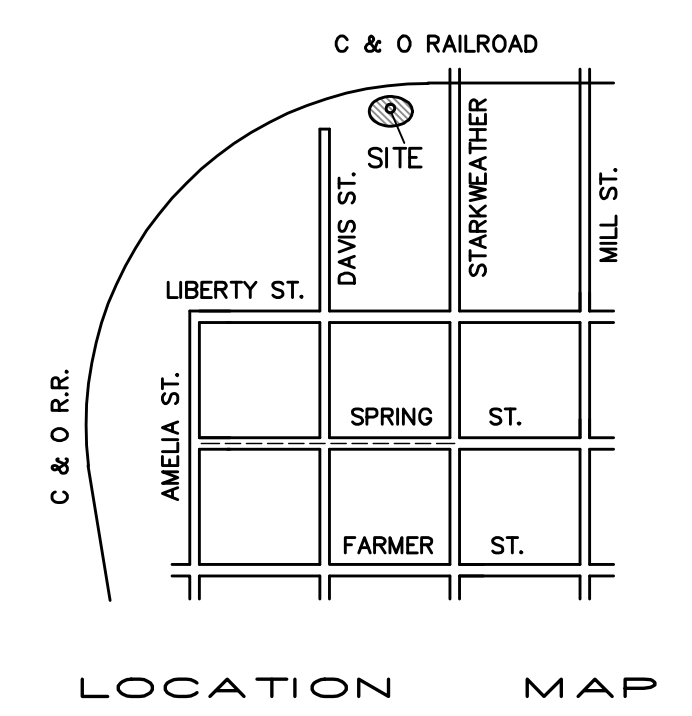
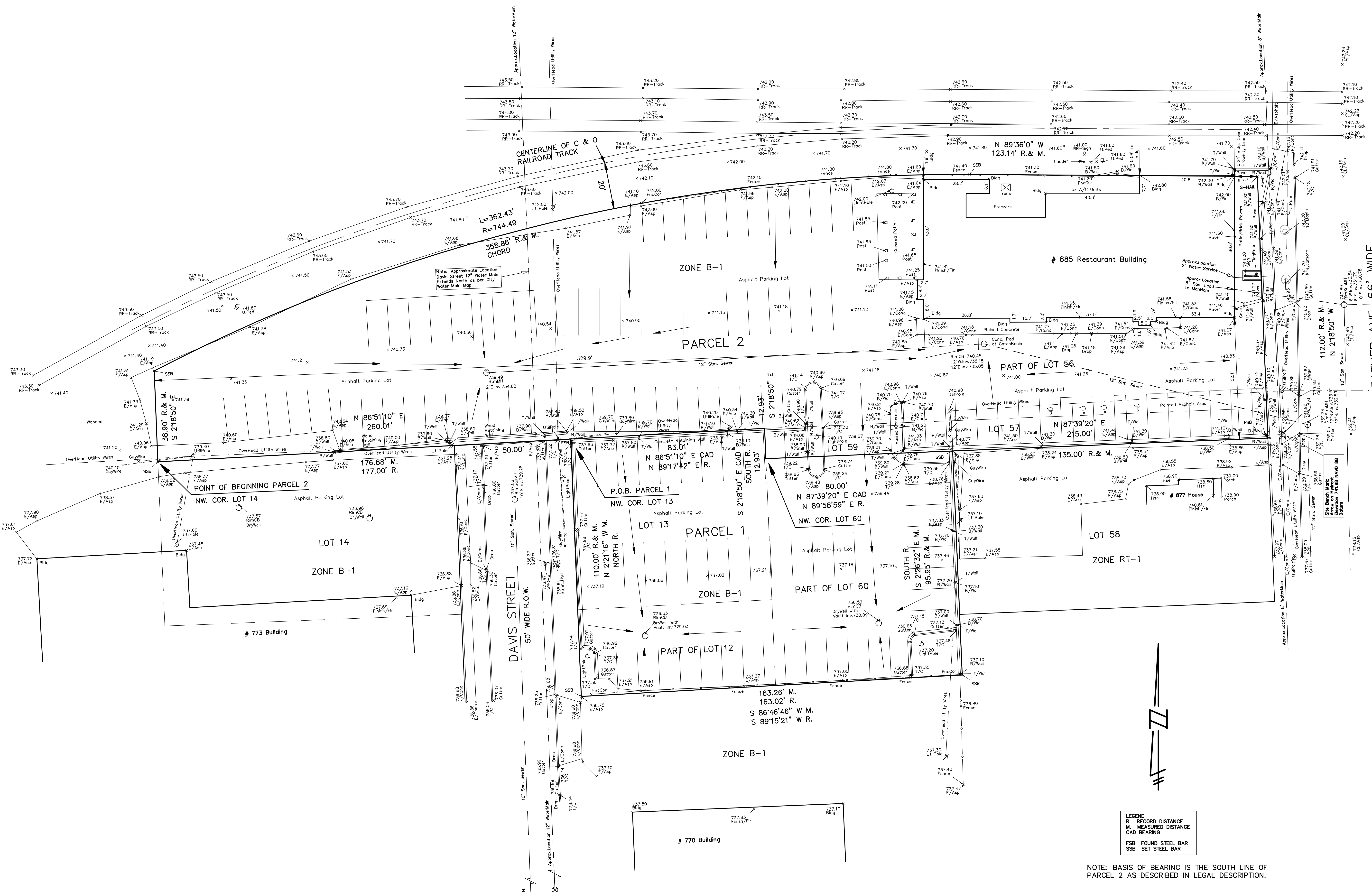
Depending on demand and availability of staff, the restaurant may eventually extend hours to offer a Sunday Brunch and weekday business lunch:

- Restaurant, bar, and patio.
 - o Tuesday - Saturday 11:00 am -- 3:00 pm
 - o Sunday 11:00 am -- 3:00 pm

| PROJECT INFORMATION - EXISTING | | | | | | | | | | | |
|--------------------------------|-------------------|---|--|---|--|------------------------------|----------------------------------|------------------|-----------------------|---------------------------|----------------------------|
| ZONING | EXISTING LAND USE | EXISTING LOT SIZE | EXISTING LANDSCAPE AREA | EXISTING BUILDING SIZE | EXISTING BUILDING USE | | | | EXISTING BUILDING USE | | |
| B-1 | COMMERCIAL | PARCEL 1: 45,745 sqft (1.05 ACRES) PARCEL 2: 16,882 sqft (0.39 ACRES) PROJECT TOTAL: 62,627 sqft (1.44 ACRES) | PARCEL 1: 1,377 sq. ft. PARCEL 2: 583 sq. ft. | PARCEL 1: 7,273 sqft PARCEL 2: N/A | FIRST FLOOR 820 sqft SECOND FLOOR 370 sqft WALK-IN COOLER N/A | BUILDING TOTAL 8,463 sqft | BUILDING FOOTPRINT 7,643 sqft | PARCEL 1: N/A | PARCEL 2: N/A | FIRST FLOOR RESTAURANT | SECOND FLOOR RESTAURANT |
| PROJECT INFORMATION - PROPOSED | | | | | | | | | | | |
| ZONING | PROPOSED LAND USE | LOT SIZE | PROPOSED LANDSCAPE AREA | PROPOSED BUILDING SIZE | PROPOSED BUILDING USE | | | | PROPOSED BUILDING USE | | |
| B-1 | COMMERCIAL | PARCEL 1: 45,745 sqft (1.05 ACRES) PARCEL 2: 16,882 sqft (0.39 ACRES) PROJECT TOTAL: 62,627 sqft (1.44 ACRES) | PARCEL 1: 6,361 sq. ft. PARCEL 2: 583 sq. ft. THIS IS A 4.6 TIMES INCREASE FOR PARCEL 1. | PARCEL 1: 8,975 sqft PARCEL 2: N/A | FIRST FLOOR 606 sqft SECOND FLOOR 282 sqft WALK-IN COOLER N/A | BUILDING TOTAL 9,863 sqft | BUILDING FOOTPRINT 9,257 sqft | PARCEL 1: N/A | PARCEL 2: N/A | FIRST FLOOR RESTAURANT | SECOND FLOOR RESTAURANT |
| ZONING REGULATIONS | MIN. LOT SIZE | MAX. BUILDING HEIGHT | MINIMUM YARD SETBACK | | | | PROPOSED FOOTNOTES | | | | |
| REQUIRED | AREA N/A | WIDTH N/A | STORIES 2 | FEET 25' | FRONT 0' | LEAST SIDE 10' | TOTAL 10' | REAR 35' | (A) xxx | | |
| PROPOSED | N/A | N/A | 2 | 19'-10" | 0' | 10' | 10' | 0' (B) | (B) xxx | | |

| PARKING CALCULATIONS - PROPOSED | | | | |
|---------------------------------|--|--|--|-------------------------|
| USE | PARKING REQUIREMENTS | USE AREA | CALCULATION | PARKING SPACES PROPOSED |
| RESTAURANT: CALC. A | 1 space / 75 sqft OF USEABLE FLOOR AREA | 5,898 sqft 6,484 sqft (with outdoor seating) | 5,898 / 75 = 78 SPACES 6,484 / 75 = 86 SPACES | 104 SPACES |
| RESTAURANT: CALC. B | 1 space / 3 occupant (BUILDING CODE OCCUPANT LOAD CALCULATION) | CALCULATED OCCUPANT LOAD = 328 328 / 3 = 109 SPACES | | 104 SPACES |

| OUTDOOR SEATING CAPACITY (BASED ON BUILDING CODE OCCUPANT LOAD CALCULATIONS) | | | |
|--|----|----------|---|
| EXISTING | | PROPOSED | |
| FRONT: | 36 | FRONT: | 14 (OPENING DOORS ARE OPEN, SOUTHWEST CORNER OF FRONT ADDITION) |
| REAR: | 20 | REAR: | 34 |
| TOTAL: | 56 | TOTAL: | 48 |



LEGEND
 R. RECORD DISTANCE
 M. MEASURED DISTANCE
 CAD BEARING
 FSB FOUND STEEL BAR
 SSB SET STEEL BAR

NOTE: BASIS OF BEARING IS THE SOUTH LINE OF PARCEL 2 AS DESCRIBED IN LEGAL DESCRIPTION.

LEGAL DESCRIPTION RIDER
 Situated in the City of Plymouth, County of Wayne, State of Michigan

Parcel 1
 Lot 13 and Part of Lot 12, of Amelia Starkweather Addition to Plymouth Village being a part of the Northwest 1/4 of Section 26, Town 1 South, Range 8 East, City of Plymouth, Wayne County, Michigan, as recorded in Liber 39 of Plots, Page 85, Wayne County Records and part of Lot 60 of Assessor's Plymouth Plot No. 4 as recorded in Liber 63 of Plots, Page 90, Wayne County Records, being more particularly described as beginning at the Northwest corner of said Lot 13, thence North 89 degrees 17 minutes 42 seconds East 83.01 feet along the North line of said Lot 13; thence North 89 degrees 17 minutes 42 seconds East 83.01 feet along the North line of said Lot 13; thence South 12.93 feet to the Northwest corner of said Lot 60; thence North 89 degrees 58 minutes 59 seconds East 80.00 feet along the North line of said Lot 60; thence South 95.95 feet; thence South 89 degrees 15 minutes 21 seconds West 163.02 feet to the East right of way of Davis Street (50 feet wide); and thence North 110.00 feet along said East Right of way to the point of beginning.

Parcel 2
 Part of Lot 56, all of Lot 57 and 59, Assessor's Plymouth Plot No. 4, as recorded in Liber 63 of Plots, page 90, Wayne County Records, and part of the Northwest 1/4 of Section 26, Town 1 South, Range 8 East, described as Beginning at the Northwest corner of Lot 14 of Amelia Starkweather Addition to Plymouth Village Subdivision, as recorded in Liber 39, page 85, Wayne County Records; thence along the Northernly line of said subdivision North 89 degrees 01 minutes 10 seconds East 260.01 feet to the Northwest corner of Lot 59 of Assessor's Plymouth Plot No. 4 as recorded in Liber 63, page 90, Wayne County Records; thence along the Southernly line of said subdivision North 89 degrees 01 minutes 10 seconds East 215.00 feet; thence along the Southernly line of Lots 59 and 57, North 87 degrees 39 minutes 20 seconds East 215.00 feet to the Easternly line of Lot 56; thence along said line extended North 02 degrees 18 minutes 50 seconds West 112.00 feet; thence North 89 degrees 36 minutes 00 seconds West 123.14 feet; thence along a curve to the left which is 20.00 feet Southerly of the centerline of existing C & O Railroad track to Toledo and Detroit, radius 744.49 feet, central angle 27 degrees 53 minutes 33 seconds, chord bears South 76 degrees 27 minutes 14 seconds West 358.86 feet, an arc distance of 552.43 feet; thence South 02 degrees 18 minutes 50 seconds East 38.90 feet to the point of beginning.

FOR REVIEW 2-16-23

CLIENT: DON SOENEN
 885 STARKWEATHER
 PLYMOUTH, MI. 48170

UTILITY WARNING
 UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLAN, WERE OBTAINED FROM UTILITY OWNER AND NOT FIELD LOCATED.

811 Know what's below.
 Call before you dig.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND/OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.

SITE AREA = 1.44 ± ACRES

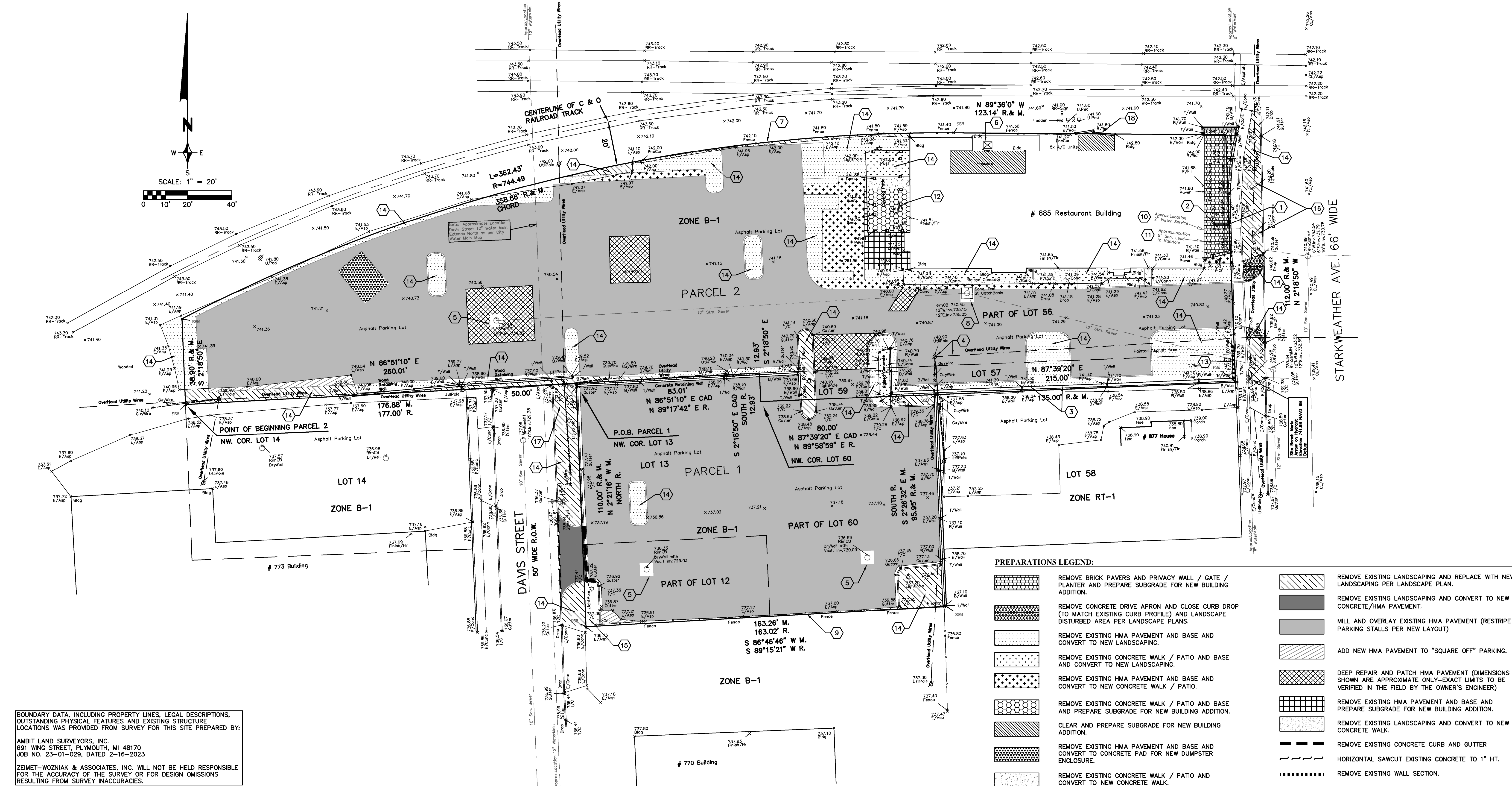
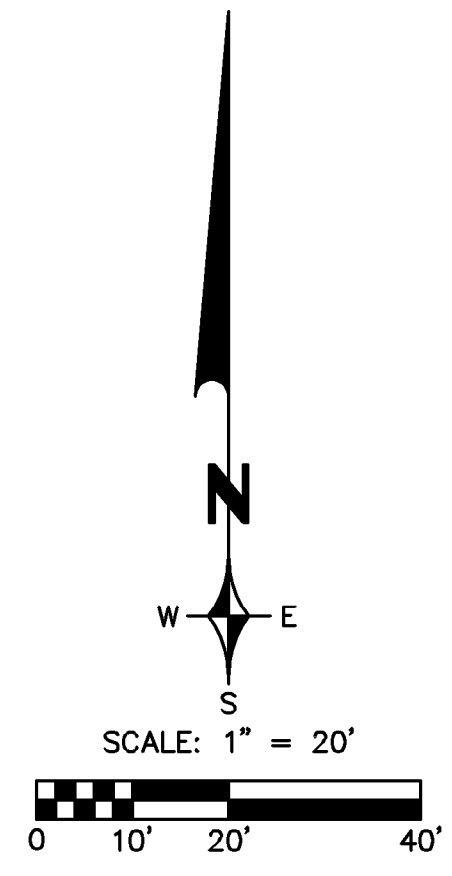
LEGEND
 0.00 = EXISTING ELEVATION
 — = DRAINAGE
 E/Asp = Edge of Asphalt
 E/Conc = Edge of Concrete
 E/Conc = Edge of Concrete
 T/C = Top of Curb
 T/Wall = Top of Wall
 B/Wall = Bottom of Wall

ARCHITECTURAL SURVEY
 PART OF THE NORTHWEST 1/4 OF SECTION 26
 TOWN 1 SOUTH, RANGE 8 EAST,
 CITY OF PLYMOUTH, WAYNE COUNTY, MI.

DATE: 2-16-23
 JOB NO: 23-01-029
 SCALE: 1"=20'

ambit
 land surveyors, inc.
 691 WING STREET
 PLYMOUTH, MI. 48170
 ph. 800.221.5263
 ph. 734.455.5501
 fax 877.837.5267
 www.ambitsurveyors.com

DRAWN BY: GW
 CHECKED: PPP
 SHEET: 1 OF 1



BOUNDARY DATA, INCLUDING PROPERTY LINES, LEGAL DESCRIPTIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED FROM SURVEY FOR THIS SITE PREPARED BY:

AMBIT LAND SURVEYORS, INC.
691 WING STREET, PLYMOUTH, MI 48170
JOB NO. 23-01-029, DATED 2-16-2023

ZEIMET-WOZNAK & ASSOCIATES, INC. WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN OMISSIONS RESULTING FROM SURVEY INACCURACIES.

- CAUTIONARY NOTES:**
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENT OF ALL STRUCTURES, KNOWN OR UNKNOWN, SHOWN OR UNSHOWN, LOCATED WITHIN THE LIMITS OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE IF ANY SUCH STRUCTURES ARE IDENTIFIED. ALL COSTS ASSOCIATED WITH LOCATING AND ADJUSTING THESE STRUCTURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - DESIGN PROFESSIONAL AND CLIENT WARRANT THAT IN TRANSMITTING INSTRUMENTS OF SERVICE OR ANY OTHER INFORMATION, THE TRANSMITTING PARTY IS THE COPYRIGHT OWNER OF SUCH INFORMATION OR HAS PERMISSION FROM THE COPYRIGHT OWNER TO TRANSMIT SUCH INFORMATION FOR ITS USE OF THE PROJECT. IF THE CLIENT AND DESIGN PROFESSIONAL INTEND TO TRANSMIT INSTRUMENTS OF SERVICE OR ANY OTHER INFORMATION OR DOCUMENTATION IN DIGITAL FORM, THEY SHALL ENDEAVOR TO ESTABLISH NECESSARY PROTOCOLS GOVERNING SUCH TRANSMISSIONS.

PREPARATIONS NOTES:

- | | | |
|--|---|---|
| 1 REMOVE FLAGPOLE AND BASE. | 7 REMOVE WOOD PICKET FENCE AND POSTS. | 15 REMOVE EXISTING TREE OF HEAVEN AND GRIND STUMP TO A DEPTH OF 18". DISPOSE OF ALL VEGETATION, GRINDINGS AND ROOT SYSTEM LEGALLY OFF SITE. |
| 2 REMOVE RESTAURANT SIGN AND BASE. | 8 REMOVE AND REPLACE CONCRETE BOXOUT AROUND CATCH BASIN (REPAIR C.B. CONE AND INSTALL UNDERDRAIN AROUND STRUCTURE). | 16 REMOVE EXISTING MAPLE AND SYCAMORE TREES AND GRIND STUMPS TO A DEPTH OF 1'-6". DISPOSE OF ALL VEGETATION, GRINDINGS AND ROOT SYSTEM LEGALLY OFF SITE. |
| 3 REMOVE BARRIER FREE PARKING SIGN FROM WALL. | 9 PROTECT EXISTING CHAINLINK FENCE DURING CONSTRUCTION. | 17 EXISTING JAPANESE MAPLE TREES (4 TOTAL ON DAVIS STREET) TO REMAIN AND BE PROTECTED WITH TREE PROTECTION FENCING THROUGHOUT CONSTRUCTION. REFER TO TYPICAL TREE PROTECTION FENCE DETAIL, SHEET L-2. |
| 4 REMOVE AND RELOCATE OVERHEAD UTILITY WIRES AND POLE FROM PARKING LOT, SEE LANDSCAPE PLANS FOR NEW LOCATION (CONTRACTOR TO COORDINATE WITH DTE SERVICE PLANNER). REFER TO SHEETS C-2 AND L-1 FOR PROPOSED LOCATION OF NEW POLE. | 10 LOCATE, UNCOVER, AND PROTECT EXISTING DWS SHUT-OFF. | 18 WOOD LANDSCAPE WALL AND LANDSCAPE TO BE REMOVED FOR NEW BUILDING ADDITION. |
| 5 SAWCUT AND ADD CONCRETE BOXOUT AROUND CATCH BASIN (REPAIR C.B. CONE AND INSTALL UNDERDRAIN AROUND STRUCTURE). | 11 LOCATE, UNCOVER, AND PROTECT EXISTING SANITARY CLEANOUT. | |
| 6 REMOVE AND REPLACE TRANSFORMER AND PAD IN NEW LOCATION (COORDINATE WITH UTILITY PROVIDER'S SERVICE PLANNER). | 12 REMOVE OVERHEAD CANOPY AND POSTS AND FOUNDATIONS. | |
| 7 REMOVE WOOD PICKET FENCE AND POSTS AND FOUNDATIONS. | 13 REMOVE WALL SECTION. | |
| | 14 ALL AREAS OF THE SITE TO BECOME LANDSCAPE PER THE NEW LANDSCAPE PLANS SHALL HAVE 1"-3" OF EXISTING SOIL OR ROAD BASE REMOVED TO ACCOMMODATE INSTALLATION OF THE NEW PLANTING BACKFILL AND MULCH BY THE LANDSCAPE CONTRACTOR. | |

PREPARATIONS LEGEND:

- | | | | |
|--|--|--|---|
| | REMOVE BRICK PAVERS AND PRIVACY WALL / GATE / PLANTER AND PREPARE SUBGRADE FOR NEW BUILDING ADDITION. | | REMOVE EXISTING LANDSCAPING AND REPLACE WITH NEW LANDSCAPING PER LANDSCAPE PLAN. |
| | REMOVE CONCRETE DRIVE APRON AND CLOSE CURB DROP (TO MATCH EXISTING CURB PROFILE) AND LANDSCAPE DISTURBED AREA PER LANDSCAPE PLANS. | | REMOVE EXISTING LANDSCAPING AND CONVERT TO NEW CONCRETE/HMA PAVEMENT. |
| | REMOVE EXISTING HMA PAVEMENT AND BASE AND CONVERT TO NEW LANDSCAPING. | | MILL AND OVERLAY EXISTING HMA PAVEMENT (RESTRIPED PARKING STALLS PER NEW LAYOUT) |
| | REMOVE EXISTING CONCRETE WALK / PATIO AND BASE AND CONVERT TO NEW LANDSCAPING. | | ADD NEW HMA PAVEMENT TO "SQUARE OFF" PARKING. |
| | REMOVE EXISTING HMA PAVEMENT AND BASE AND CONVERT TO NEW CONCRETE WALK / PATIO. | | DEEP REPAIR AND PATCH HMA PAVEMENT (DIMENSIONS SHOWN ARE APPROXIMATE ONLY-EXACT LIMITS TO BE VERIFIED IN THE FIELD BY THE OWNER'S ENGINEER) |
| | REMOVE EXISTING CONCRETE WALK / PATIO AND BASE AND PREPARE SUBGRADE FOR NEW BUILDING ADDITION. | | REMOVE EXISTING HMA PAVEMENT AND BASE AND PREPARE SUBGRADE FOR NEW BUILDING ADDITION. |
| | CLEAR AND PREPARE SUBGRADE FOR NEW BUILDING ADDITION. | | REMOVE EXISTING LANDSCAPING AND CONVERT TO NEW CONCRETE WALK. |
| | REMOVE EXISTING HMA PAVEMENT AND BASE AND CONVERT TO CONCRETE PAD FOR NEW DUMPSTER ENCLOSURE. | | REMOVE EXISTING CONCRETE CURB AND GUTTER |
| | REMOVE EXISTING CONCRETE WALK / PATIO AND CONVERT TO NEW CONCRETE WALK. | | HORIZONTAL SAWCUT EXISTING CONCRETE TO 1" HT. |
| | | | REMOVE EXISTING WALL SECTION. |

NOTE: REFER TO SITE ELECTRICAL PLANS FOR EXISTING LIGHT POLES AND FOUNDATIONS TO BE REMOVED AND ELECTRICAL PULLED BACK OR STUBBED AND CAPPED REMOVAL AND REPLACEMENT OF EXISTING LIGHTING FIXTURES, POLES, BASES, AND WIRING.



Julian J. Wargo, Jr.
Professional Engineer

| ISSUED FOR | DATE | ISSUED FOR | DATE | ISSUED FOR | DATE | ISSUED FOR | DATE |
|------------|---------|------------|------|------------|------|------------|------|
| REVIEW | 6/7/23 | | | | | | |
| PC REVIEW | 6/21/23 | | | | | | |

ZEIMET WOZNAK & ASSOCIATES
Civil Engineers & Land Surveyors
5500 GRAND RIVER AVE. SUITE 100
NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zeimetwoznak.com

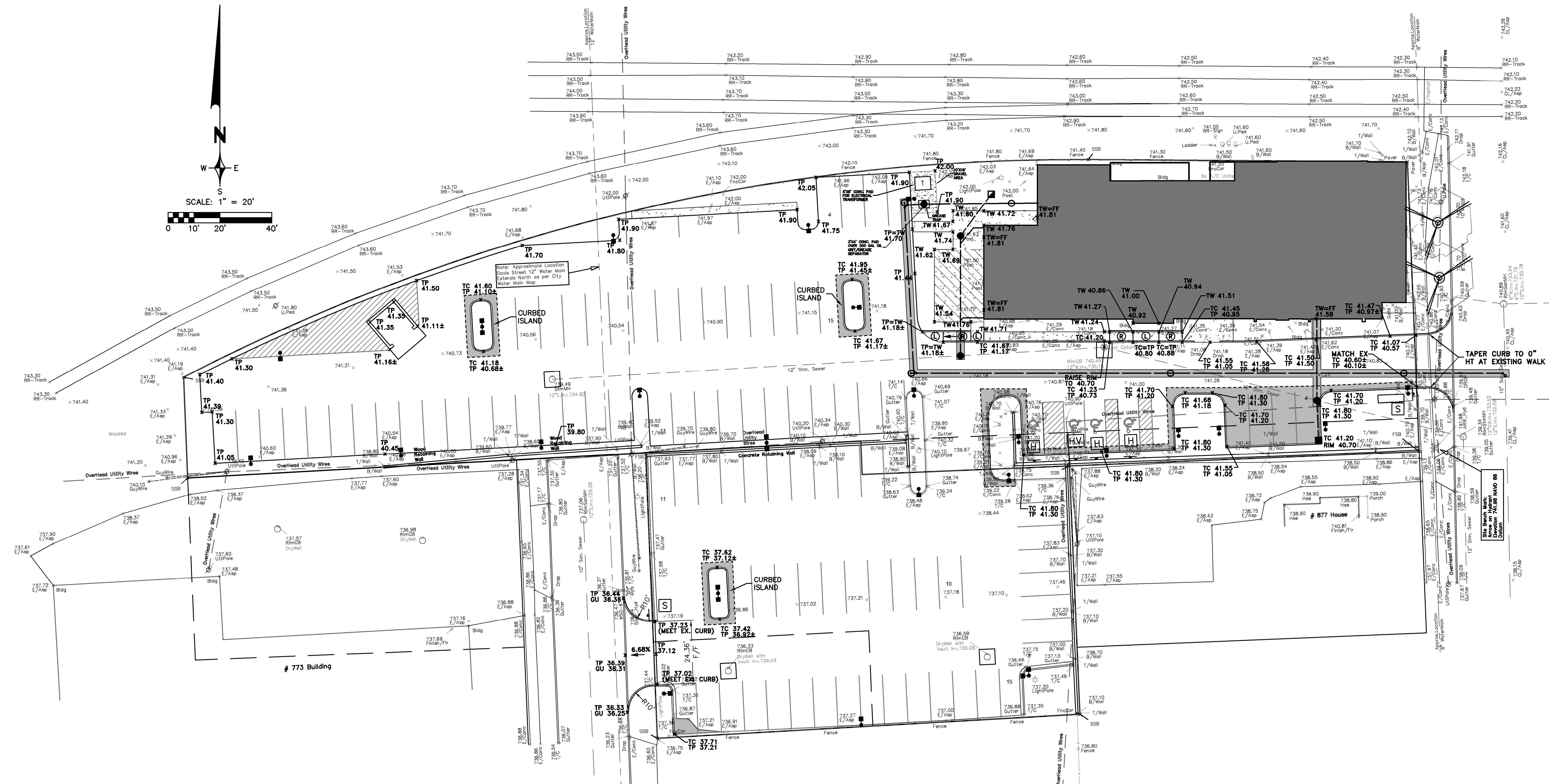
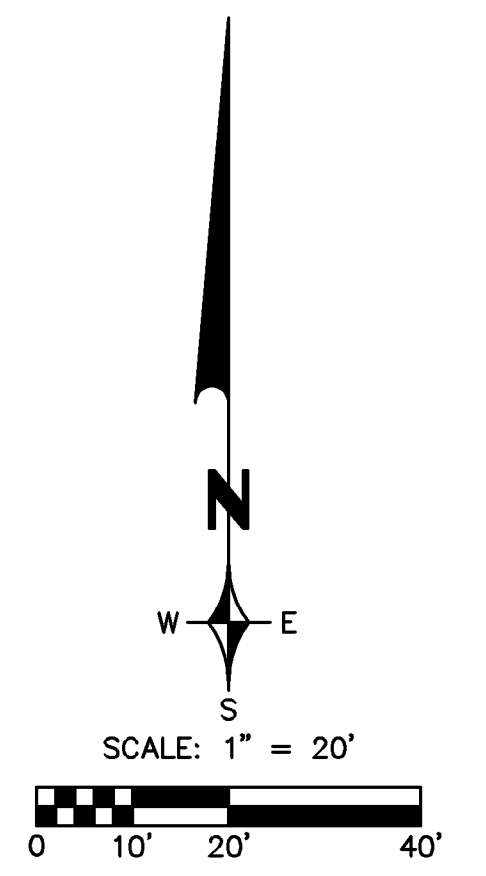
MISS DIG SYSTEM, INC.
1-800-482-7171

PROJECT SPONSOR:
PLYMOUTH TRACKSIDE, LLC
885 STARKWEATHER
PLYMOUTH, MI 48170

SITE PREPARATIONS PLAN
RENOVATIONS AND ADDITIONS TO 885 STARKWEATHER
PLYMOUTH, MICHIGAN

| | | | |
|-------------|--------|---------|--------------------------------|
| DATE | 6/7/23 | SCALE | HOR: 1" = 20' VER: 1" = N/A |
| DESIGNED BY | JJW | JOB NO. | 23124 |
| DRAWN BY | DAB | SHEET | C-1 |

Z:\Projects\23124\DWG\23124 SITE PREP PLAN.dwg C-1 SITE PREPARATIONS P-AN 6/21/2023 7:38:17 AM dabbuyer



CURB NOTE:
 HEIGHT OF NEW INTEGRAL CURB WALK VARIES (6" MAX. TO 0" MIN.)

LEGEND

- EXISTING**
- MANHOLE
 - CATCH BASIN
 - ◻ INLET
 - △ CLEANOUT
 - ◊ END SECTION
 - ◇ ROOF DRAIN
 - ⊕ GATE VALVE
 - ⊖ HYDRANT
 - ⊘ WATER SHUT-OFF
 - ⊙ UTILITY POLE
 - ⊙ GUY ANCHOR
 - ⊙ LIGHT POLE
 - ⊙ SIGN
 - ⊙ TREE
 - TREE LINE
 - SANITARY SEWER
 - STORM SEWER
 - WATER MAIN
 - GAS MAIN
 - ELECTRIC CABLE
 - CONTOUR MAJOR
 - CONTOUR MINOR
 - SPOT ELEVATION

PROPOSED

- MANHOLE
- CATCH BASIN
- ◻ INLET
- △ CLEANOUT
- ◊ END SECTION
- ◇ ROOF DRAIN
- ⊕ GATE VALVE
- ⊖ HYDRANT
- ⊘ WATER SHUT-OFF
- ⊙ TREE REMOVAL
- ⊙ LIGHT POLE
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- ⊙ DITCH
- CONTOUR MAJOR
- CONTOUR MINOR
- PROPOSED GRADE

- RAMP LEGEND:**
- ⓪ LANDING
 - Ⓡ RAMP

| TYPE | MMUTCD | DESCRIPTION | QUANTITY |
|-------------------------|--------|---|----------|
| STOP SIGN | R1-1 | 24"x34" OCTAGON WITH WHITE LEGEND & BORDER ON RED BACKGROUND | 2 |
| BARRIER | R7-8 | 12"x18" GREEN LEGEND & BORDER ON WHITE BACKGROUND WITH BLUE WHEELCHAIR SYMBOL AND WORD "ONLY" IN THE WHITE SPACE BELOW THE WHEELCHAIR | 5 |
| VAN ACCESSIBLE (PLAQUE) | R7-8P | 12"x6" GREEN LEGEND & BORDER ON WHITE BACKGROUND | 1 |

NOTE: ALL TRAFFIC CONTROL SIGNAGE SHALL COMPLY WITH CURRENT MMUTCD STANDARDS.

- SIGN LEGEND:**
- [S] STOP SIGN (R1-1)
 - [H] BARRIER FREE PARKING (R7-8)
 - [HV] VAN ACCESSIBLE (R7-8P)

BOUNDARY DATA, INCLUDING PROPERTY LINES, LEGAL DESCRIPTIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED FROM SURVEY FOR THIS SITE PREPARED BY:
AMBIT LAND SURVEYORS, INC.
 681 WING STREET, PLYMOUTH, MI 48170
 JOB NO. 23-01-029, DATED 2-16-2023

ZEIMET-WOZNAK & ASSOCIATES, INC. WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN OMISSIONS RESULTING FROM SURVEY INACCURACIES.

CAUTIONARY NOTES:

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- DESIGN PROFESSIONAL AND CLIENT WARRANT THAT IN TRANSMITTING INSTRUMENTS OF SERVICE, OR ANY OTHER INFORMATION, THE TRANSMITTING PARTY IS THE COPYRIGHT OWNER OF SUCH INFORMATION OR HAS PERMISSION FROM THE COPYRIGHT OWNER TO TRANSIT SUCH INFORMATION FOR ITS USE OF THE PROJECT. IF THE CLIENT AND DESIGN PROFESSIONAL INTEND TO TRANSMIT INSTRUMENTS OF SERVICE OR ANY OTHER INFORMATION OR DOCUMENTATION IN DIGITAL FORM, THEY SHALL ENDEAVOR TO ESTABLISH NECESSARY PROTOCOLS GOVERNING SUCH TRANSMISSIONS.

| ISSUED FOR | DATE | ISSUED FOR | DATE | ISSUED FOR | DATE | ISSUED FOR | DATE | ISSUED FOR | DATE |
|------------|---------|------------|------|------------|------|------------|------|------------|------|
| REVIEW | 6/7/23 | | | | | | | | |
| PC REVIEW | 6/21/23 | | | | | | | | |

ZEIMET WOZNAK & ASSOCIATES
 Civil Engineers & Land Surveyors
 5580 GRAND RIVER AVE., SUITE 100
 NEW HUDSON, MICHIGAN 48165
 P: (248) 437-5099 F: (248) 437-5222 www.zeimetwoznak.com

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PROJECT SPONSOR:
 PLYMOUTH TRACKSIDE, LLC
 885 STARKWEATHER
 PLYMOUTH, MI 48170

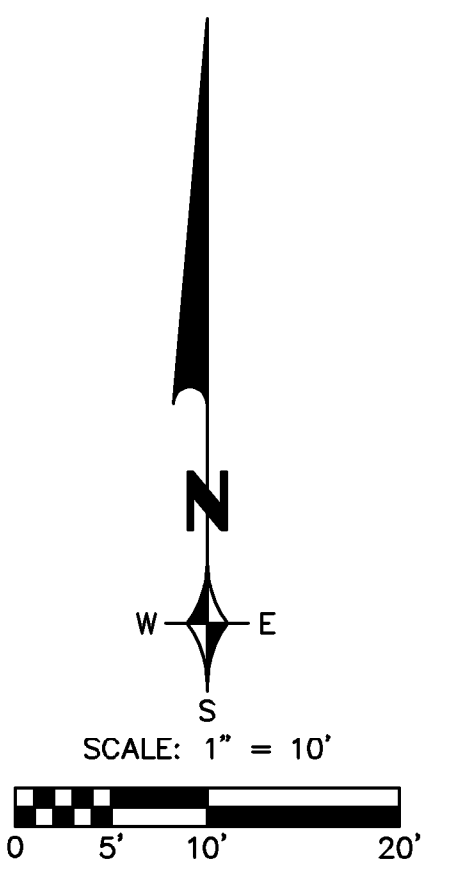
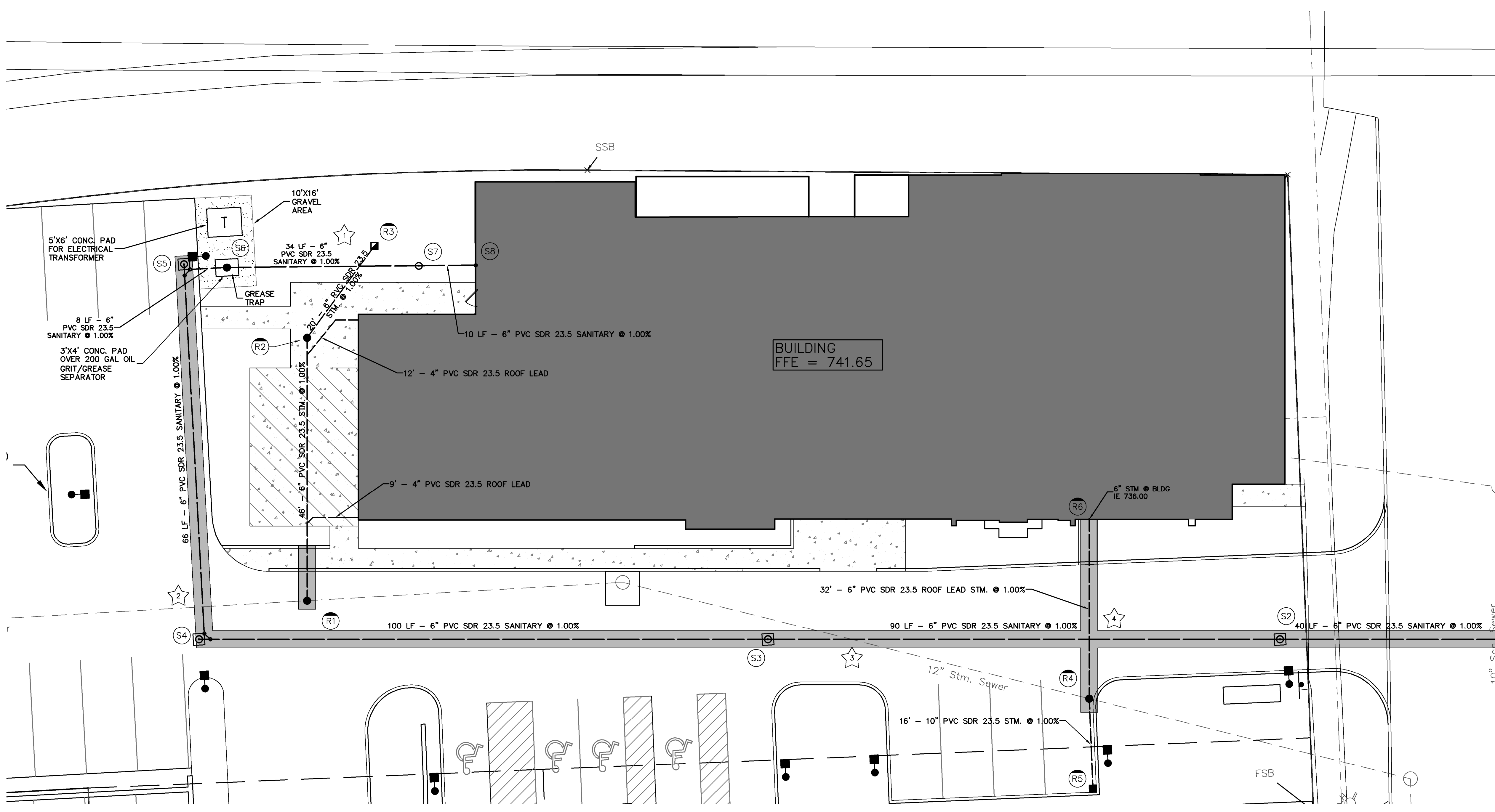
SITE IMPROVEMENTS PLAN
 RENOVATIONS AND ADDITIONS TO 885 STARKWEATHER
 PLYMOUTH, MICHIGAN

STATE OF MICHIGAN
 JULIAN JAY WARGO, JR.
 ENGINEER
 NO. 80177

Julian J. Wargo, Jr.

| DATE | SCALE | HOR: 1" = 20' | VER: 1" = N/A |
|-----------------|---------|---------------|---------------|
| 6/7/23 | | | |
| DESIGNED BY JWW | JOB NO. | 23124 | |
| DRAWN BY DAB | SHEET | C-2 | |

Z:\Projects\23124\DWG\23124_SP_Ang_C-2_SITE IMPROVEMENTS PLAN_6/21/2023 7:35:46 AM.dwg



| EXISTING | | PROPOSED | |
|----------|----------------|----------|----------------------------|
| ○ | MANHOLE | ● | MANHOLE |
| □ | CATCH BASIN | ■ | CATCH BASIN |
| ⊖ | INLET | ⊖ | INLET |
| ⊕ | CLEANOUT | ⊕ | CLEANOUT |
| ⊘ | END SECTION | ⊘ | END SECTION |
| ⊙ | ROOF DRAIN | ⊙ | ROOF DRAIN |
| ⊚ | GATE VALVE | ⊚ | GATE VALVE |
| ⊛ | HYDRANT | ⊛ | HYDRANT |
| ⊜ | WATER SHUT-OFF | ⊜ | WATER SHUT-OFF |
| ⊝ | UTILITY POLE | ⊝ | TREE REMOVAL |
| ⊞ | GUY ANCHOR | ⊞ | SANITARY SEWER |
| ⊟ | LIGHT POLE | ⊟ | STORM SEWER |
| ⊠ | SIGN | ⊠ | WATER MAIN |
| ⊡ | TREE | ⊡ | ⊕ DITCH |
| ⊢ | TREE LINE | ⊢ | ⊖ LIGHT POLE |
| ⊣ | SANITARY SEWER | ⊣ | ⊚ UTILITY CROSSING |
| ⊤ | STORM SEWER | ⊤ | ⊛ STORM SEWER STRUCTURE |
| ⊥ | WATER MAIN | ⊥ | ⊜ SANITARY SEWER STRUCTURE |
| ⊦ | GAS MAIN | | |
| ⊧ | ELECTRIC CABLE | | |

| CROSSING | PIPE DATA | TOP/BOTTOM PIPE | CLEARANCE | NOTES |
|----------|---------------|-----------------|-----------|-----------------------------|
| 1 | B/6" STM | 737.94 | 3.01 | |
| 2 | T/6" SAN | 734.93 | | |
| 2 | B/6" SAN | 734.77 | 0.69 | ENCASE IN CONCRETE |
| 3 | T/EX. 12" STM | 734.08 | | |
| 3 | B/EX. 12" STM | 734.44 | 1.65 | MAINTAIN MIN. 18" CLEARANCE |
| 4 | T/6" SAN | 732.79 | | |
| 4 | B/6" STM | 735.77 | 3.34 | |
| | T/6" SAN | 732.43 | | |

NEW UTILITY CONNECTION NOTE:
 CONTRACTOR TO VERIFY EXISTING PIPE LOCATION AND ELEVATION PRIOR TO CONSTRUCTION AND FURNISH INFORMATION TO DESIGN ENGINEER TO CONFIRM OR RE-DESIGN.

SANITARY SEWER FLOW:
 USE = RESTAURANT WITH LIQUOR
 TOTAL NO. OF FIXTURES (TOILETS, SINKS, DISHWASHERS) = 26
 REU = 0.35 REU / FIXTURE X 26 FIXTURES = 9.1 REU
 NO. OF PEOPLE = 9.1 REU X 3.2 PFPU = 29.12 PEOPLE
 AVG. DAILY FLOW = 29.12 PEOPLE X 100 GPFDD / (7.5 X 24 X 3600) = 0.0045 CFS
 PEAK FACTOR = 4
 PEAK DAILY FLOW = 0.0045 CFS X 4 = 0.0180 CFS
 A 6-INCH DIAMETER SANITARY LEAD AT 1.00% (MIN.) SLOPE HAS A CAPACITY OF 0.50 CFS.

- UTILITY NOTES:**
- BUILDING IS SERVED BY EXISTING 2" WATER SERVICE (IN STARKWEATHER AVE. (R.O.W.) AND EXISTING 6" SANITARY LEAD (IN STARKWEATHER AVE. (R.O.W.) REFER TO PLUMBING PLANS FOR CONTINUATION OF NEW DOMESTIC WATER SERVICE AND NEW SANITARY HOUSE LEAD.
 - SERVICES FOR NEW PUBLIC/FRANCHISED UTILITIES (GAS, CTV, TELEPHONE, FIBER, AND TELEPHONE) TO BE COORDINATED BETWEEN ARCHITECT AND UTILITY PROVIDER.
 - SINCE THE PROJECT DOES NOT CREATE OR REPLACE 0.5 ACRES OR MORE OF IMPERVIOUS SURFACE, STORMWATER CONTROLS (IE INFILTRATION STORAGE AND TREATMENT OF RUNOFF) ARE NOT REQUIRED.
 - C.S.B. DENOTES SAND BACKFILL COMPACTED IN 6" LAYERS TO 95% OF MAXIMUM UNIT WEIGHT. C.S.B. REQUIRED UNDER OR WITHIN A 1 ON 1 SLOPE OF EXISTING OR PROPOSED PAVEMENT AND AT ALL UTILITY CROSSINGS.
 - EXISTING ROOF AREA SHALL CONTINUE TO FLOW TO RAILROAD RIGHT-OF-WAY ON THE NORTH SIDE OF BUILDING.
 - PROPOSED ROOF DRAINS SHALL TIE INTO EXISTING STORM DRAINAGE SYSTEM. REFER TO ARCHITECT'S PLANS FOR DETAILS OF ROOF COLLECTION SYSTEM.
 - LIMITS OF OPEN CUT FOR NEW UNDERGROUND UTILITIES AS SHOWN ON PLAN ARE APPROXIMATE ONLY - THE CONTRACTOR SHALL DETERMINE THE EXACT LIMITS IN THE FIELD AS NEEDED FOR HIS WORK.

63 ZEIMETWOZNAK SHEET 1 OF 1
 PROJECT: 885 STARKWEATHER JOB NO. 23124 COMMUNITY: PLYMOUTH COUNTY: WYOMING
 DATE: JUN 19, 2023

| FROM | TO | INCR. | EQUIV. | TOTAL | T | I | Q-CIA | CAPAC- | DIAM. | LENGTH | SLOPE | SLOPE | VEL. | TIME | HG. | GROUND ELEVATION | INVERT ELEVATION |
|-------|----|-------|--------|-------|-------|------|--------|--------|-------|--------|-------|-------|------|-------|--------|------------------|------------------|
| MI | MI | ACRES | AREA | AREA | (MIN) | (IN | ITY OF | OF | OF | OF | (%) | (%) | (FT/ | (MIN) | ELEV. | UPPER | LOWER |
| INPUT | | (A) | (100% | (100% | | PER | SEWER | PIPE | PIPE | LINE | | | SEC) | | UPPER | UPPER | LOWER |
| R3 | R2 | 0.02 | 0.75 | 0.02 | 10.00 | 4.64 | 0.09 | 0.50 | 6" | 20 | 1.00 | 2.5 | 0.13 | | 741.50 | 741.67 | 738.00 |
| R2 | R1 | 0.03 | 0.75 | 0.03 | 10.13 | 4.61 | 0.23 | 0.50 | 6" | 46 | 1.00 | 2.5 | 0.31 | | 741.67 | 741.17 | 737.70 |
| R5 | R4 | 0.02 | 0.75 | 0.02 | 10.00 | 4.64 | 0.09 | 2.10 | 10" | 16 | 1.00 | 3.3 | 0.07 | | 741.20 | 737.20 | 741.05 |

STORM SEWER QUANTITIES:

| | |
|---------------------------------------|---------|
| 10" PVC SDR 23.5 STORM SEWER | 16 L.F. |
| 6" PVC SDR 23.5 STORM SEWER/ROOF LEAD | 98 L.F. |
| 4" PVC SDR 23.5 ROOF LEADERS | 21 L.F. |
| 2' MANHOLE | 1 EA. |
| 2' INLET | 1 EA. |
| 2' CATCH BASIN | 1 EA. |
| 4' MANHOLE OVER EX. 12" SEWER | 2 EA. |

SANITARY SEWER QUANTITIES:

| | |
|-----------------------------------|----------|
| 200 GALLON GRIT/GREASE SEPARATOR | 1 EA. |
| 6" PVC SDR 23.5 SAN LEAD | 349 L.F. |
| 6" CLEANOUT | 5 EA. |
| CONNECT TO EX. 10" SANITARY SEWER | 1 EA. |

STORM SEWER TABLE:

| NO. | DESCRIPTION | RIM | PIPE | DIRECTION | INVERT | COVER/GRATE |
|-----|----------------|--------|--------|-----------|--------|-----------------|
| R1 | 4' MANHOLE | 738.75 | 6" 12" | N | 737.24 | EJ 1040-B COVER |
| R2 | 2' MANHOLE | 741.67 | 6" | NE | 737.80 | EJ 1040-A COVER |
| R3 | 2' INLET | 741.42 | 6" | SW | 738.00 | EJ 1000-N GRATE |
| R4 | 4' MANHOLE | 741.05 | 12" | W | 734.14 | EJ 1040-B COVER |
| R5 | 2' CATCH BASIN | 740.70 | 10" | N | 737.20 | EJ 5080 GRATE |
| R6 | 6" AT BUILDING | | 6" | S | 736.00 | |

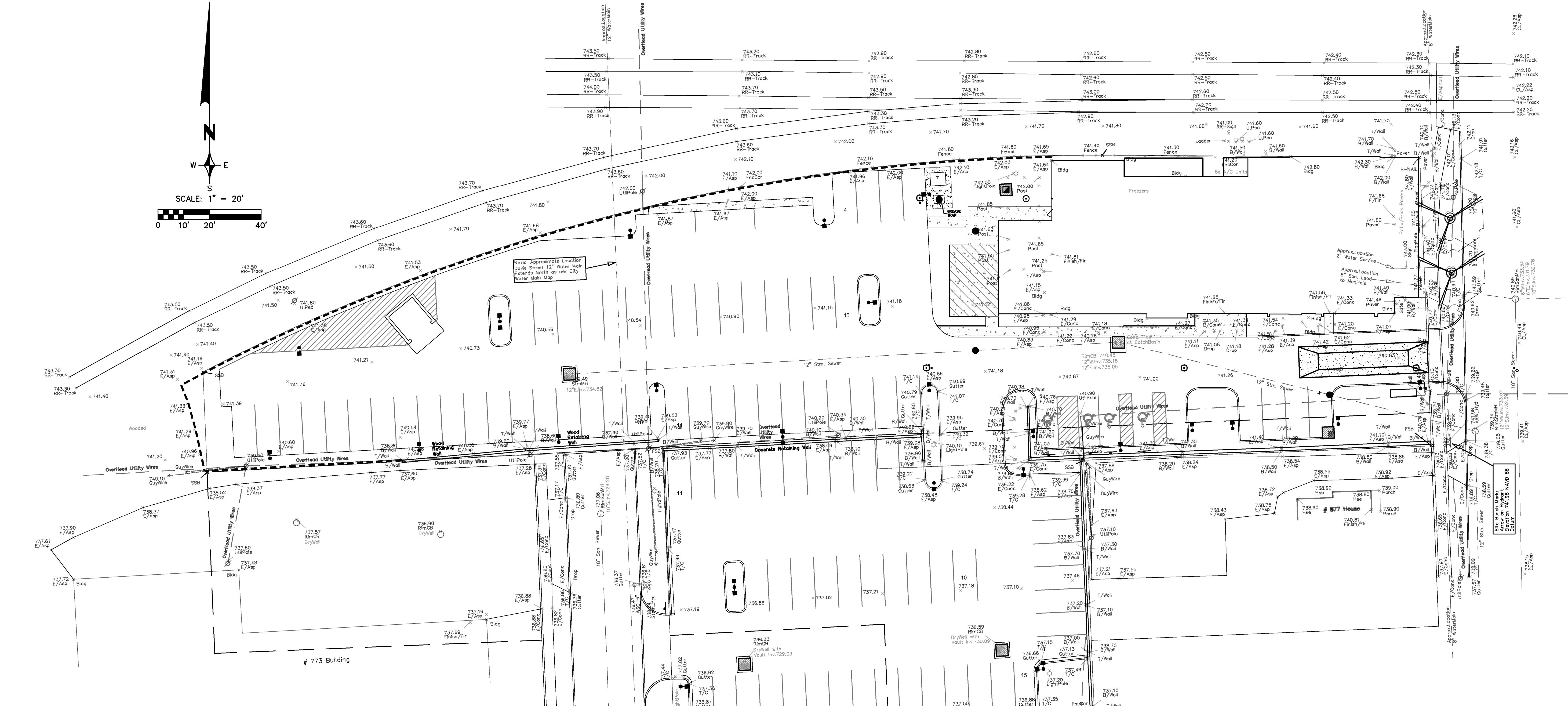
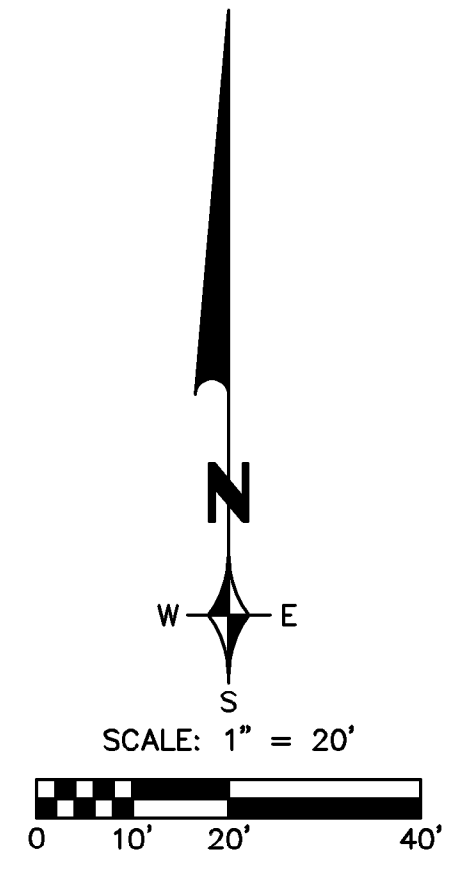
SANITARY SEWER TABLE:

| NO. | DESCRIPTION | RIM | PIPE | DIRECTION | INVERT | COVER/GRATE |
|-----|----------------------------------|--------|--------|-----------|--------|-----------------|
| S1 | 6" CONNECTION TO EX. 10" MAIN | | 6" 10" | NW | 731.21 | (V.I.F.) |
| S2 | 6" CLEANOUT | 740.40 | 6" | W | 731.80 | EJ 3675 |
| S3 | 6" CLEANOUT | 741.13 | 6" | E | 732.50 | EJ 3675 |
| S4 | 6" CLEANOUT | 740.70 | 6" | E | 733.50 | EJ 3675 |
| S5 | 6" CLEANOUT | 741.80 | 6" | S | 734.17 | EJ 3675 |
| S6 | 200 GALLON GRIT/GREASE SEPARATOR | 741.85 | 6" | E | 734.25 | BY MANUFACTURER |
| S7 | 6" CLEANOUT | 741.65 | 6" | E | 734.59 | EJ 3675 |
| S8 | 6" AT BUILDING | | 6" | W | 734.69 | |

NOTE:
 QUANTITIES SHOWN ABOVE ARE FOR PERMIT PURPOSES ONLY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING THE ACTUAL SCOPE OF WORK IN ACCORDANCE WITH APPROVED CONTRACT DOCUMENTS.

BOUNDARY DATA, INCLUDING PROPERTY LINES, LEGAL DESCRIPTIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED FROM SURVEY FOR THIS SITE PREPARED BY:
 AMBIT LAND SURVEYORS, INC.
 681 WING STREET, PLYMOUTH, MI 48170
 JOB NO. 23-01-023, DATED 2-16-2023
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CONSTRUCTION SUMMARY:

SITE AREA = 1.44 ACRES
 TOTAL LAND DISTURBANCE - 0.31 ACRES (21.5% OF SITE AREA)
 APPROXIMATE CONSTRUCTION START DATE = AUGUST, 2023
 APPROXIMATE CONSTRUCTION COMPLETION DATE = AUGUST, 2024

CONTACT: TED BARKER, SHAW CONSTRUCTION
 PHONE: (734) 260-0758
 EMAIL: TBARKER@SHAWCM.COM

DISTANCE TO NEAREST STREAM OR WATER BODY = 2070 FT. TO MIDDLE RIVER ROUGE
 1000 FT. TO WILCOX LAKE

SITE SOILS INFORMATION PER THE USDA SCS - ONLINE WEB SOIL SURVEY FOR WAYNE COUNTY:

Map Unit Legend

| Map Unit Symbol | Map Unit Name | Acres in AOI | Percent of AOI |
|-----------------------------|--|--------------|----------------|
| W/a | Wespep loamy sand, 0 to 2 percent slopes | 1.6 | 100.0% |
| Totals for Area of Interest | | 1.6 | 100.0% |

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EROSION CONTROL NOTES:

- REMOVAL OF ALL SEDIMENT AND FINAL CLEANUP OF THE AREAS TO BE THE RESPONSIBILITY OF CONTRACTOR.
- FINAL SEEDING, MULCHING, AND LANDSCAPING PER LANDSCAPE PLANS.
- ALL AREAS OF DISTURBED EARTH NOT PAVED SHALL BE SEEDED AND MULCHED WITHIN 15 DAYS OF COMPLETION OF GRADING ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL TEMPORARY EROSION CONTROL DEVICES AND REMOVING SAID DEVICES UPON COMPLETION OF CONSTRUCTION.
- GRADING TO MATCH EXISTING GRADES AT PROPERTY LINES, EXCEPT WHERE NOTED.
- MAXIMUM CUT OR FILL SLOPE SHALL BE 3:1.
- THE AREA OF DISTURBANCE IS 0.31 ACRES.
- THE ULTIMATE OUTLET FOR STORMWATER FROM THIS SITE IS EXISTING 12" STORM SEWER IN STARKWEATHER AVENUE.

STREET CLEANING SCHEDULE

| | SUNDAY | MONDAY | TUESDAY | WEDNESDAY | THURSDAY | FRIDAY | SATURDAY |
|----------------|--------|--------|---------|-----------|----------|--------|----------|
| SCRAPE STREETS | | X | X | X | X | X | |
| SWEEP STREETS | | | | X | | | |

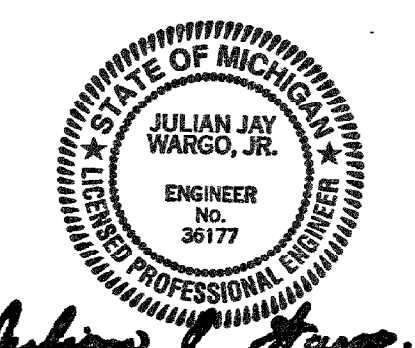
LEGEND:

- GEOTEXTILE SILT FENCE
- [Stippled Box] GRAVEL MUD TRACKING MAT
- [Square with X] LOW POINT INLET FILTER (SILT-SACK)

NOTE:
 THIS PLAN ILLUSTRATES THE MINIMUM EROSION CONTROLS NEEDED TO PREVENT SILTS FROM LEAVING THE SITE AND IS SUBJECT TO CHANGE AS CONDITIONS IN THE FIELD WARRANT.

EROSION CONTROL SEQUENCE OF OPERATIONS

- INSTALL GRAVEL MUD TRACKING AT CONSTRUCTION ACCESS
- PLACE GEOTEXTILE SILT FENCE FOR PERIMETER CONTROL
- INSTALL LOW-POINT INLET FILTERS ON EXISTING DRAINAGE STRUCTURES FOR INLET CONTROL
- CONSTRUCT BUILDING ADDITIONS AND INTERIOR RENOVATIONS
- REMOVE EXISTING PAVEMENT / WALKS AND PREPARE BASE FOR RE-USE (SEE SITE PREPARATIONS PLANS FOR DETAILS)
- INSTALL NEW PUBLIC UTILITIES (GAS, CTV, FIBER, ELECTRICITY, TELEPHONE)
- CONSTRUCT NEW CURBS, WALKS, PATIO, AND PADS
- MILL AND OVERLAY HMA PARKING LOT AND PAVEMENT
- COMPLETE NEW DRIVEWAY APRON TO DAVIS STREET
- INSTALL LANDSCAPING AND ESTABLISH VEGETATION
- REMOVE EROSION CONTROLS ONCE SITE IS STABILIZED



Julian J. Wargo, Jr.

| | | | | | | | | | |
|------------|---------|------------|------|------------|------|------------|------|------------|------|
| ISSUED FOR | DATE | ISSUED FOR | DATE | ISSUED FOR | DATE | ISSUED FOR | DATE | ISSUED FOR | DATE |
| REVIEW | 6/7/23 | | | | | | | | |
| PC REVIEW | 6/21/23 | | | | | | | | |

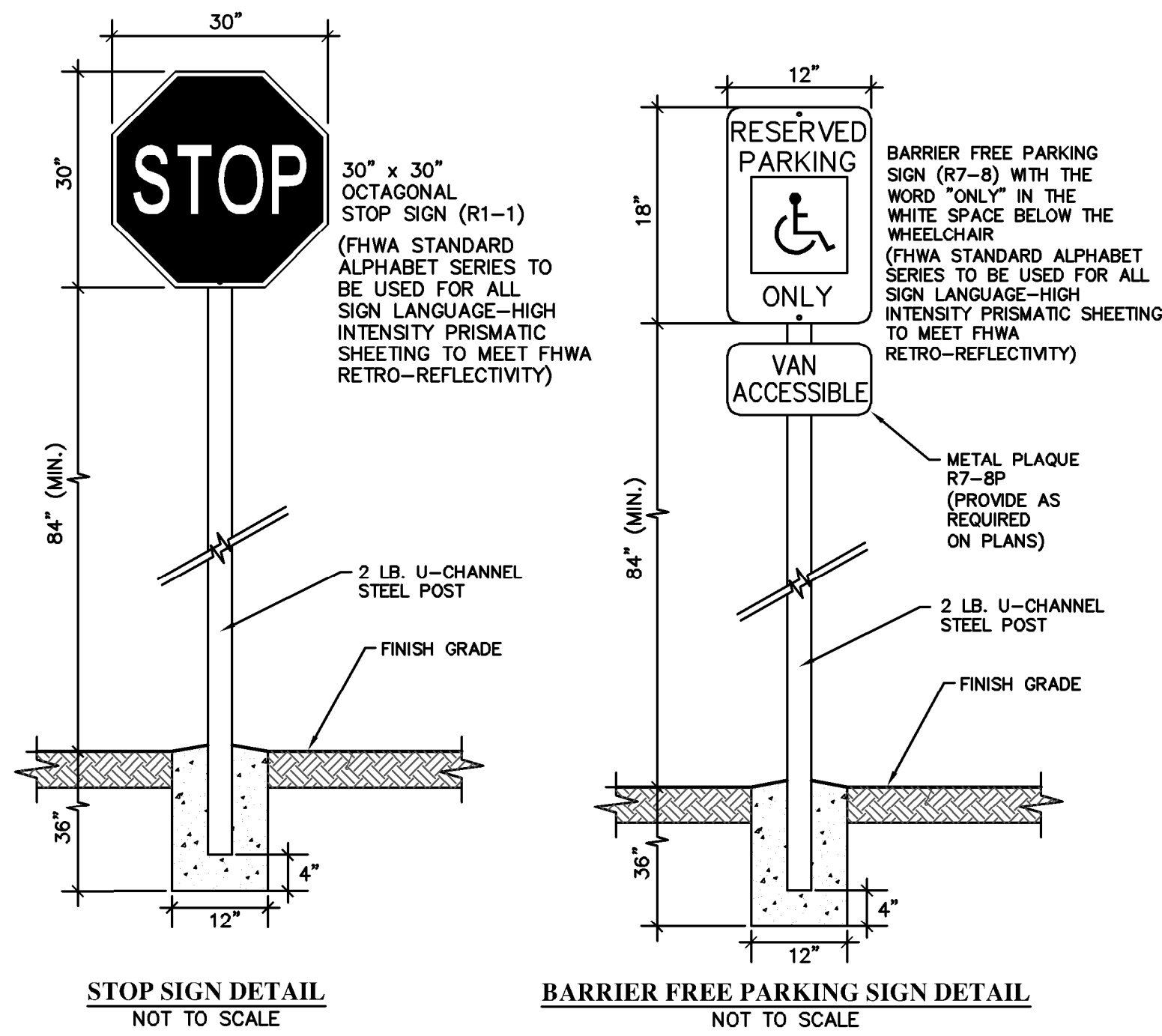
ZEMET WOZNAK
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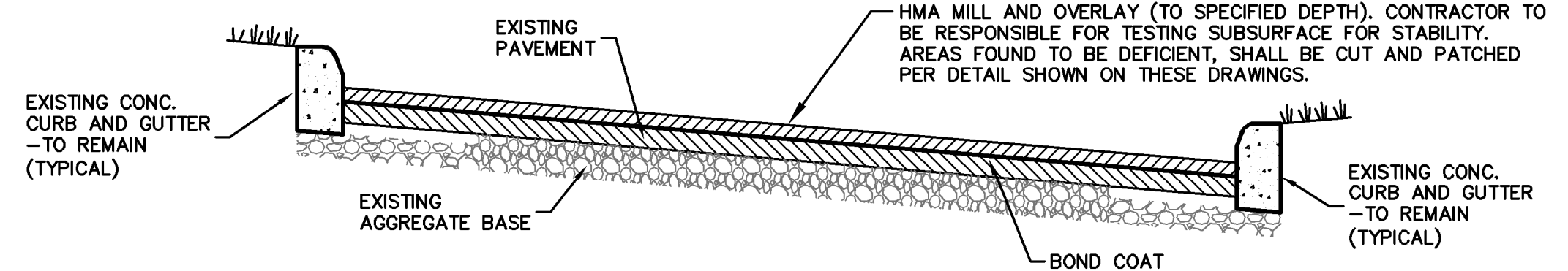
PROJECT SPONSOR:
 PLYMOUTH TRACKSIDE, LLC
 885 STARKWEATHER
 PLYMOUTH, MI 48170

SITE EROSION CONTROL PLAN
 RENOVATIONS AND ADDITIONS TO 885 STARKWEATHER
 PLYMOUTH, MICHIGAN

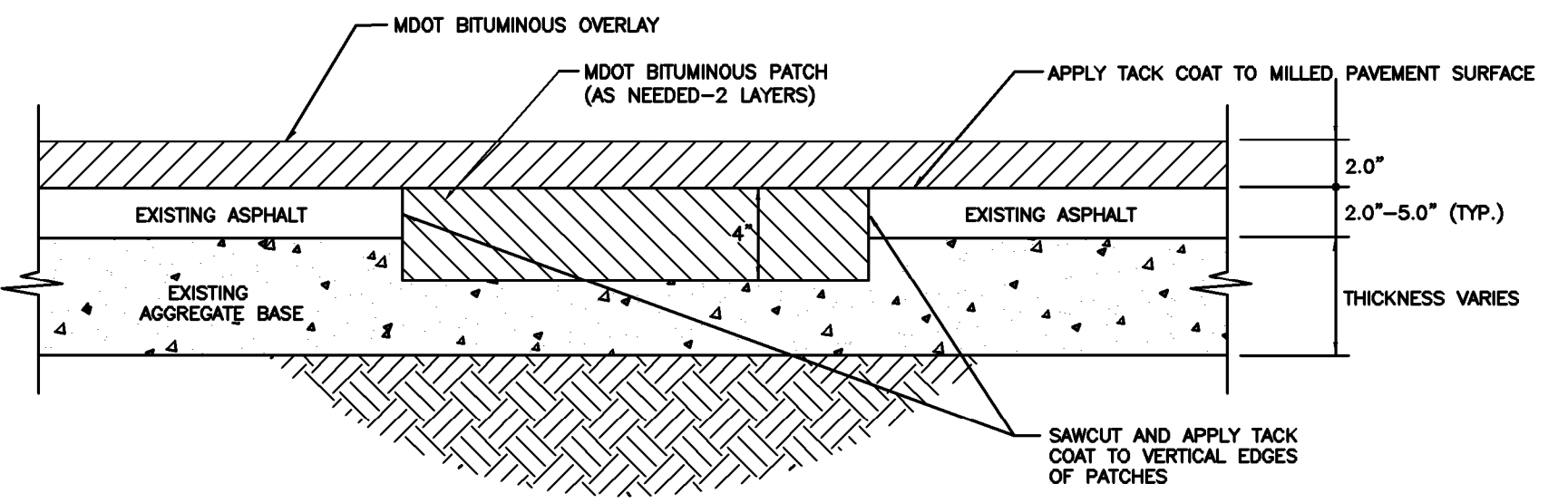
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|-------------|--------|---------|---------------|
| DATE | 6/7/23 | SCALE | HOR: 1" = 20' |
| DESIGNED BY | JWW | JOB NO. | 23124 |
| DRAWN BY | DAB | SHEET | C-3 |



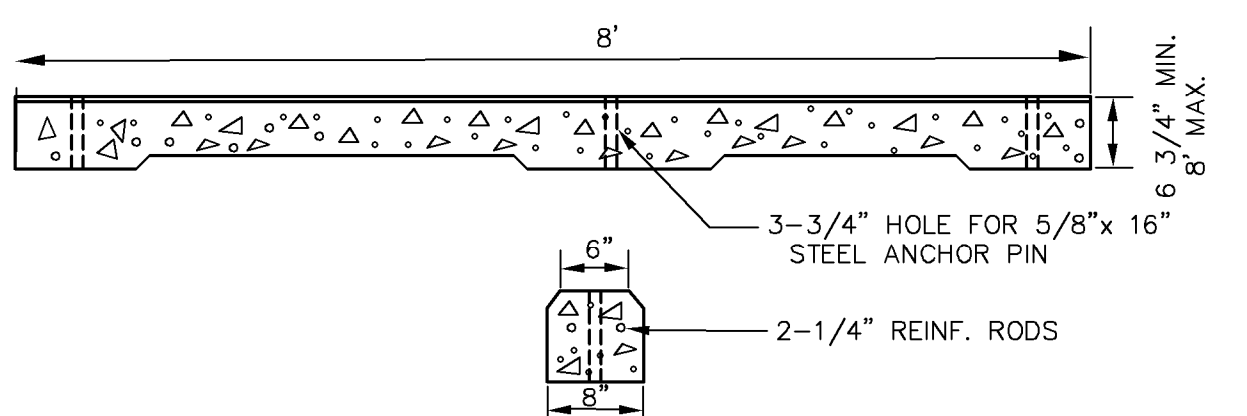
* TO BE PLACED 3' FROM BACK OF WALK / CURB



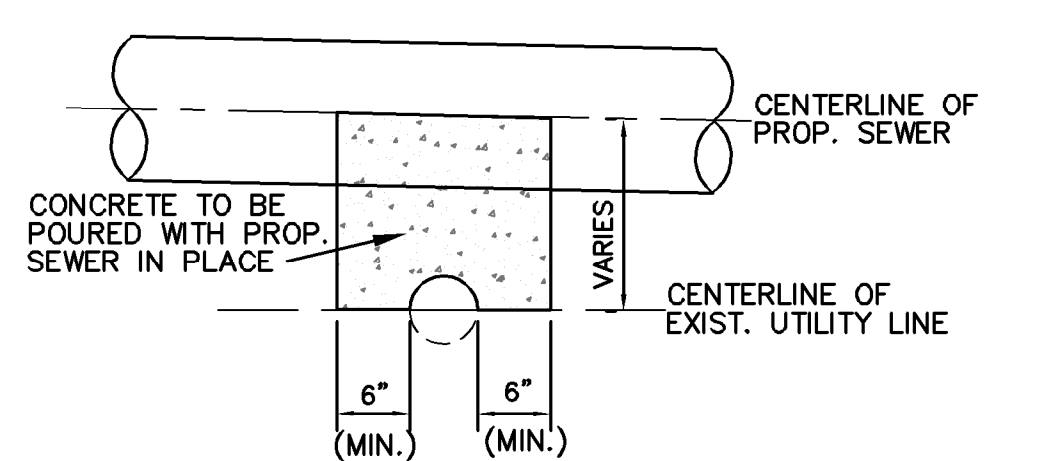
MILL AND OVERLAY DETAIL
NOT TO SCALE



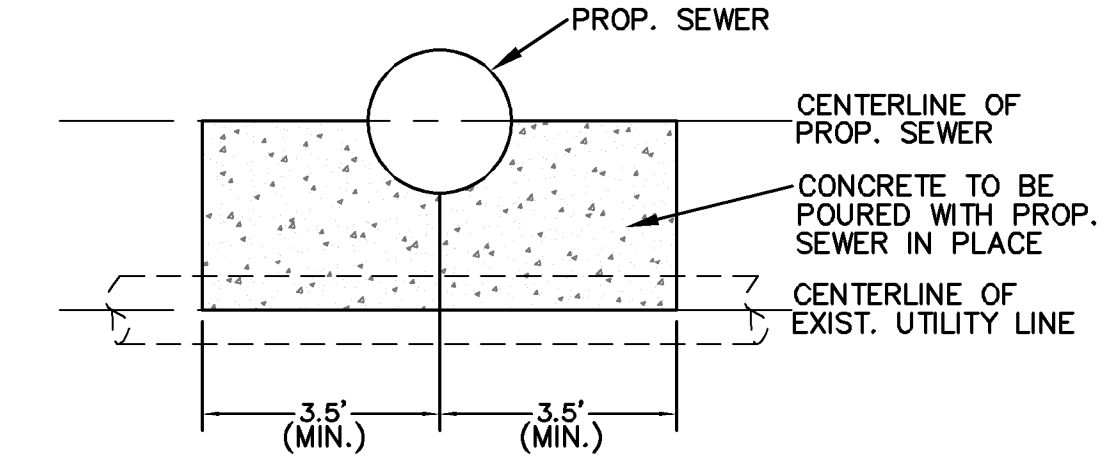
OVERLAY / FULL DEPTH PATCH DETAIL
NOT TO SCALE



CONCRETE BUMPER BLOCK DETAIL
NOT TO SCALE

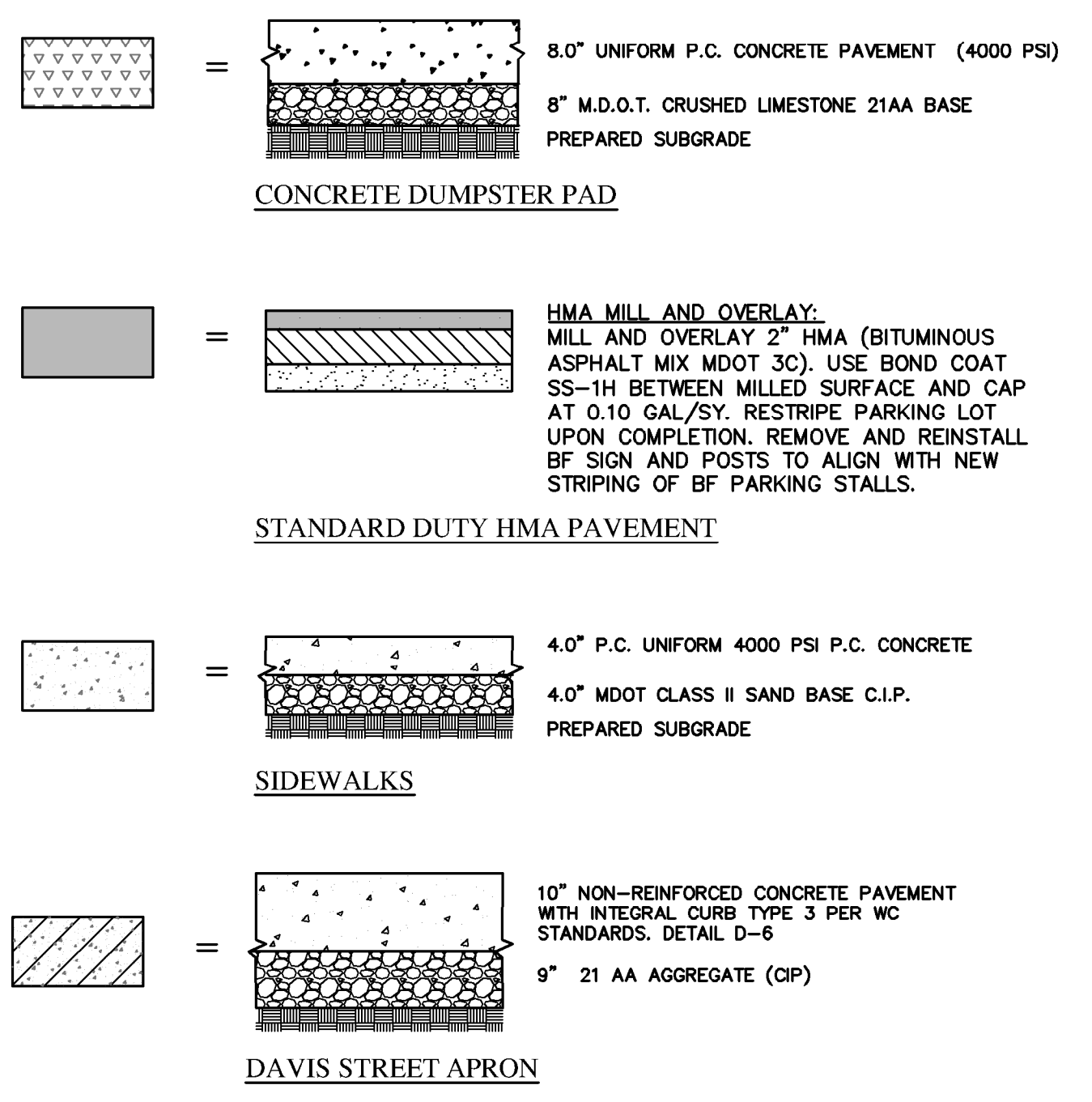


CONCRETE ENCASEMENT DETAIL
NOT TO SCALE

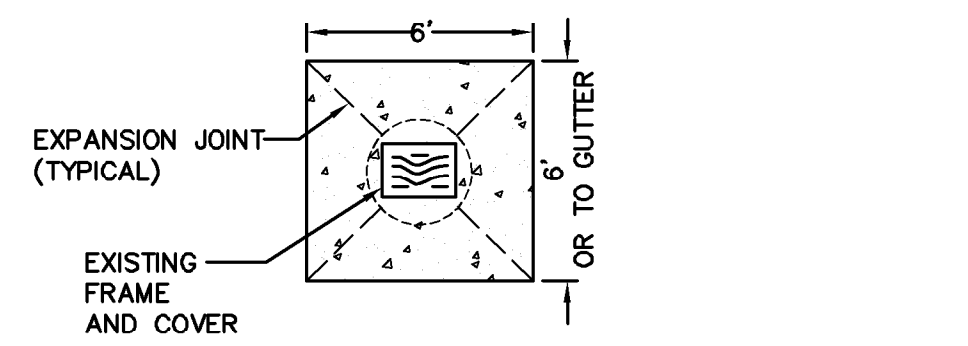


CONCRETE ENCASEMENT DETAIL
NOT TO SCALE

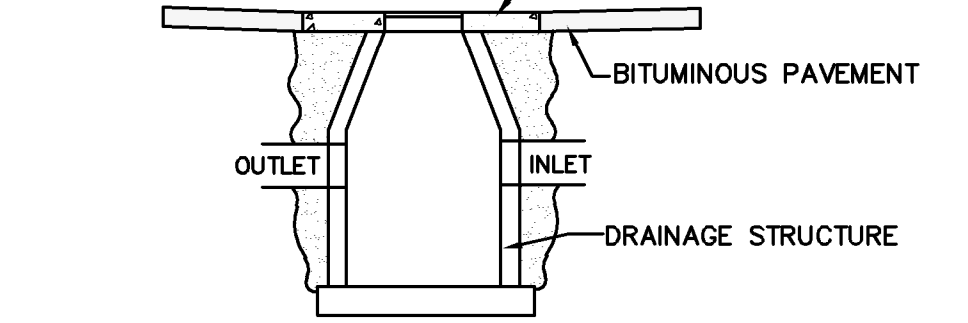
PAVING SPECIFICATIONS:



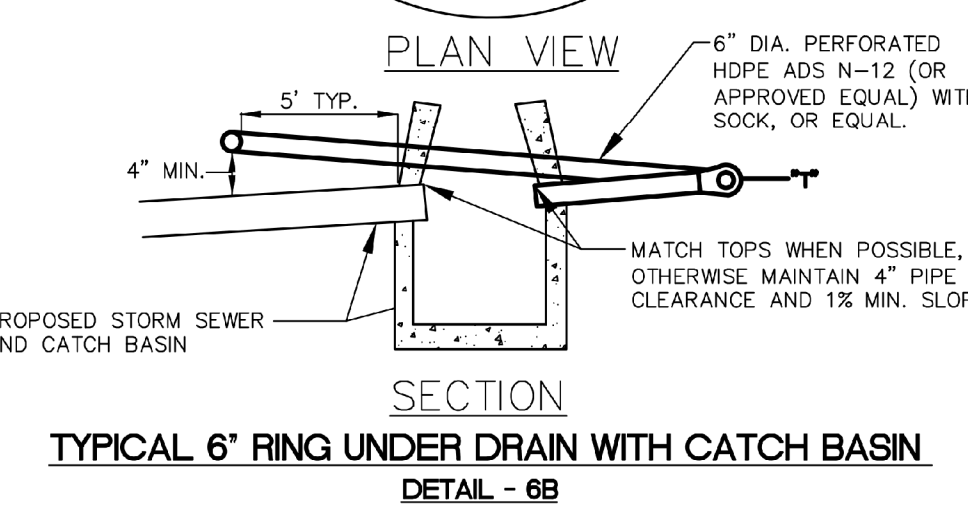
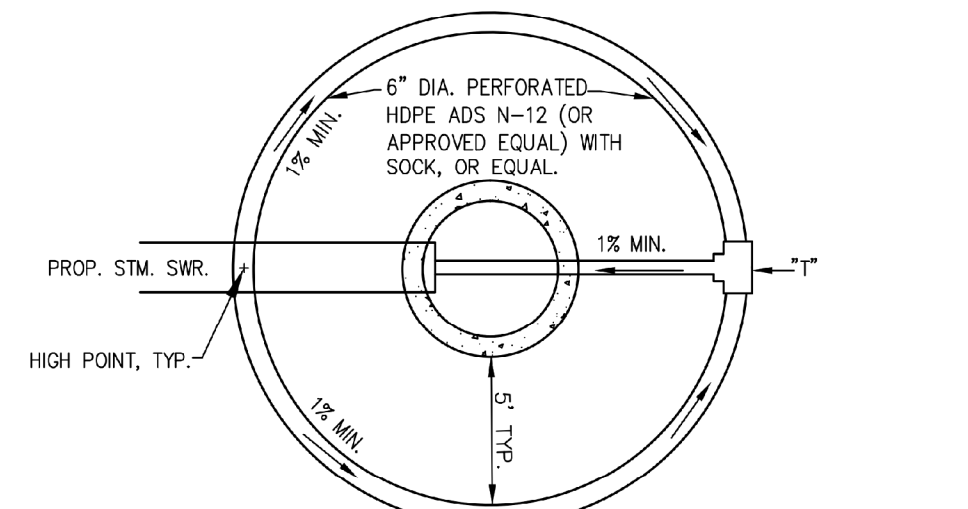
NOTE: SUBGRADE TO BE PREPARED AND COMPACTED IN ACCORDANCE WITH OWNER'S GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.



DAVIS STREET APRON CONSTRUCTION NOTES:



CATCH BASIN APRON DETAIL
(FOR STRUCTURES IN PAVED AREAS)
NOT TO SCALE



TYPICAL 6\"/>

PLYMOUTH TOWNSHIP STANDARD NOTES:

- ALL WORKMANSHIP, MATERIALS, AND TESTING SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF PLYMOUTH AND D.W.S.D. (DETROIT WATER AND SEWER DEPARTMENT)
- THE CITY OF PLYMOUTH DEPARTMENT OF PUBLIC WORKS SHALL BE CONTACTED REGARDING ALL WATER MAIN CONNECTIONS AND CHARGES.
- THE CITY OF PLYMOUTH DEPARTMENT OF PUBLIC WORKS SHALL BE CONTACTED REGARDING ALL SANITARY SEWER CONNECTIONS AND CHARGES.
- THE ON SITE DRIVEWAYS MUST CONFORM TO THE PLYMOUTH COMMUNITY FIRE DEPARTMENT REQUIREMENTS FOR PROVIDING ACCESS TO HYDRANTS BY FIRE APPARATUS VEHICLES.
- ALL UTILITY LINES AND SIMILAR FACILITIES SERVING THE DEVELOPMENT WILL BE PLACED AND MAINTAINED UNDERGROUND AT ALL POINTS WITHIN THE BOUNDARIES OF THE SITE.

UTILITY NOTES:

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES WHICH MAY AFFECT THIS PROJECT.
- SEE STANDARD DETAIL SHEETS FOR MATERIAL AND INSTALLATION DETAILS FOR THE SANITARY SEWER AND WATER MAIN WORK ITEMS.
- ALL UTILITY TRENCHES, INCLUDING BUILDING LEADS AND WATER SERVICE, WITHIN 3 FEET OF EXISTING AND PROPOSED PAVED AREAS, SIDEWALKS, AND AT ALL UTILITY CROSSINGS, SHALL BE SAND BACKFILLED (INCIDENTAL TO CONTRACT).
- UNLESS OTHERWISE NOTED, ALL WATER MAINS AND BUILDING LEADS SHALL HAVE SAND BEDDING.
- ALL 6-INCH DIAMETER WATER MAINS SHALL BE INSTALLED INCIDENTAL TO HYDRANT INSTALLATION.
- ALL UTILITY CONSTRUCTION AND MATERIALS ARE TO COMPLY WITH CITY OF PLYMOUTH STANDARDS.
- CONTRACTOR SHALL ADJUST ALL EXISTING STRUCTURE RIMS TO MEET PROPOSED GRADES AS REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL TEMPORARY EROSION CONTROL DEVICES AND REMOVING SAID DEVICES UPON COMPLETION OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS FOR WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- CONTRACTOR SHALL NOTIFY THE FOLLOWING PARTIES AT LEAST THREE (3) WORKING DAYS PRIOR TO START OF WORK:
PLYMOUTH DEPARTMENT OF PUBLIC WORKS, (734) 453-7737
WAYNE COUNTY DEPARTMENT OF PUBLIC SERVICES, (313) 224-7665
MISS DIG, (800) 428-7171
- ALL WORK IN THE ROAD RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS, INCLUDING SOIL EROSION AND SEDIMENTATION CONTROL, OF THE WAYNE COUNTY OFFICE OF PUBLIC SERVICES.
- MAINTAIN 18\"/>

DAVIS STREET APRON CONSTRUCTION NOTES:

- PAVEMENT REMOVAL IN DAVIS STREET R.O.W. SHALL BE AS FOLLOWS:
A. SAW-CUT FULL DEPTH EXISTING PAVEMENT AT 12\"/>
- PLACE MINIMUM 9\"/>

GENERAL SITE NOTES:

- REFER TO ARCHITECT'S SITE PLAN FOR ALL DIMENSIONS.
- NO OUTSIDE STORAGE UNLESS APPROVED BY THE CITY.
- CURB CUT APPROVAL IS REQUIRED FROM THE CITY OF PLYMOUTH.
- "NO PARKING FIRE LANES" SIGNS TO BE INSTALLED PER FIRE DEPARTMENT REQUIREMENTS.

UNDERGROUND UTILITIES:

FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL DIAL 1-800-482-7171 A MINIMUM OF 72 HOURS EXCLUDING NON WORKING DAYS AND HOLIDAYS PRIOR TO EXCAVATING. PARTICIPATING MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE PART OF THE "MISS DIG" ALERT SYSTEM.

THE CONTRACTORS SHALL CONDUCT HIS OPERATIONS IN SUCH A MANNER AS TO INSURE THAT THOSE UTILITIES AND THEIR APPURTENANCE NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.

THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING DAMAGE TO ALL UTILITIES DISTURBED BY THE CONTRACTORS OPERATION DURING CONSTRUCTION TO THE SATISFACTION OF THE ENGINEER. ALL COST RESULTING FROM THESE REPAIRS SHALL BE BORN BY CONTRACTOR.

THE HORIZONTAL & VERTICAL LOCATION OF ANY UTILITIES SHOWN ON THESE PLANS ARE SHOWN FOR REFERENCE ONLY. NO ATTEMPT SHOULD BE MADE TO SCALE FROM THESE DRAWINGS TO DETERMINE THE LOCATIONS OF UNDERGROUND UTILITIES. THE ENGINEER HAS MADE DILIGENT EFFORTS TO DETERMINE THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND INDICATED THEM ON THE PLANS. UTILITIES INDICATED MAY NOT BE ALL THE FACILITIES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT NUMBER AND LOCATION OF PUBLIC UTILITIES THROUGH THE MISS DIG ONE CALL ALERT SYSTEM.

SAWCUTTING:

SAWCUTTING IS REQUIRED FOR THE REMOVAL OF PAVEMENT, SIDEWALK, CURB AND GUTTER, DRIVE APPROACHES, ETC. SAWCUTTING WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE CONSIDERED TO BE INCLUDED IN THE COST OF THE WORK OF THE APPROPRIATE BID ITEM.

RESTORATION REQUIREMENTS:

ALL ON-SITE DISTURBED AREAS SHALL BE RESTORED AS FOLLOWS:

- FINISH SUBGRADE.
- GRADE, TOPSOIL MUST NOT BE CONTAMINATED AND MAY NOT BE A MIXTURE OF NATURAL UNDERLYING SOILS, SUBBASE MATERIALS, OR OTHER MATERIALS. IT MUST CONSIST OF NATURAL LOAM, SANDY LOAM, SILTY LOAM, OR CLAY LOAM HUMUS-BEARING SOIL ADAPTED TO THE SUSTENANCE OF PLANT LIFE. TOPSOIL MUST NOT BE EXCESSIVELY ACIDIC OR EXCESSIVELY ALKALINE. IT MUST BE OF MINERAL ORIGIN, EXCLUSIVE OF ANY PEAT OR MUCK.
- APPLY SEED AND FERTILIZER. FERTILIZER TO CONFORM TO M.DOT REQUIREMENTS FOR SEEDING AND SODDING FERTILIZERS, CLASS A AND SHALL BE APPLIED PER THE MANUFACTURER'S RECOMMENDATIONS.
- SEED MIX TO BE M.DOT TGM MIX FOR MEDIUM TO HEAVY SOILS (40% CREEPING RED FESCUE, 40% HARD FESCUE, 20% PERENNIAL RYEGRASS, 10% KENTUCKY BLUEGRASS).
- APPLY FRESH STRAW OR MARSH HAY MULCH IN AN AIR-DRY CONDITION TO ALL SEEDED AREAS OVER THE SURFACE TO A UNIFORM THICKNESS AT 2 TONS PER ACRE.
- MULCH SHALL BE ANCHORED IN PLACE WITH A BIO-DEGRADABLE NETTING NOT LARGER THAN 1.5\"/>

PARKING LOT PAVEMENT REPAIR NOTES:

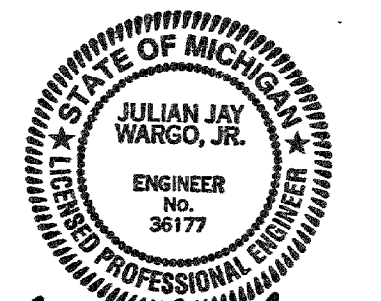
- ALL AREAS AND DIMENSIONS SHOWN ARE APPROXIMATE. CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN MEASUREMENTS AND VERIFICATION OF ALL CONDITIONS SHOWN.
- UNLESS OTHERWISE NOTED IN THE PROJECT SPECIFICATIONS, ALL PAVEMENT REPAIR OPERATIONS ARE TO BE CONDUCTED AND PERFORMED IN ACCORDANCE WITH THE APPLICABLE CURRENT SECTIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) - STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE CITY OF PLYMOUTH.
- CONTRACTOR SHALL PROVIDE NECESSARY TRAFFIC CONTROL AND SIGNAGE TO MAINTAIN ACCESS TO AND WITHIN THE PROPERTY AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE BARRICADES AROUND WORK AREAS FOR PEDESTRIAN SAFETY.
- REMOVE THE EXISTING PAVEMENT SURFACE TO A DEPTH OF 2.0 INCHES BY COLD MILLING IN THE DESIGNATED PAVEMENT REMOVAL AREAS. CARE TO BE TAKEN DURING REMOVALS SO AS NOT TO DAMAGE CURB AND OTHER FEATURES DESIGNATED TO REMAIN.
- CONSTRUCT NEW BITUMINOUS OVERLAY IN MILLED AREAS WITH 2.0 INCHES OF MDOT MIX NO. 3C, BITUMINOUS WEARING COURSE. MATCH THE SURFACE OF THE ADJACENT PAVEMENT DESIGNATED TO REMAIN.
- RESTRIP NEW PAVEMENT SURFACE IN ACCORDANCE WITH CITY REQUIREMENTS, SPECIFICATIONS AND DETAILS. ALL STRIPING DETAILS SHALL BE IN COMPLIANCE WITH APPLICABLE STATE AND LOCAL ORDINANCES.

SIGN NOTES:

- ALL SIGNS SHOULD BE INSTALLED THREE FEET FROM THE FACE OF CURB/BACK OF WALK TO THE NEAR EDGE OF THE SIGN.
- SINGLE SIGNS SHALL BE MOUNTED ON GALVANIZED 2 LB. STEEL U-CHANNEL POST.
- TRAFFIC CONTROL SIGNS SHALL USE THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) STANDARD ALPHABET SERIES.
- REMOVE AND REPLACE SIGNS AND POSTS AS DIRECTED BY THE ARCHITECT.

PAVEMENT MARKING SPECIFICATIONS:

- BARRIER-FREE PARKING SPACES AND ASSOCIATED CROSS-HATCHED ACCESS AISLES SHALL BE MARKED IN BLUE.
- NON-BARRIER-FREE PARKING SPACES SHALL BE MARKED IN WHITE AND CROSS-WALKS SHALL BE MARKED IN WHITE.
- ABUTTING BARRIER-FREE AND NON-BARRIER-PARKING SPACES SHALL BE SEPARATED BY ABUTTING BLUE AND WHITE STRIPES.
- THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (I.E. WHEELCHAIR) SHALL BE MARKED IN BLUE.



Julian J. Wargo, Jr.

| ISSUED FOR | DATE | ISSUED FOR | DATE | ISSUED FOR | DATE | ISSUED FOR | DATE | ISSUED FOR | DATE |
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| PC REVIEW | 6/21/23 | | | | | | | | |

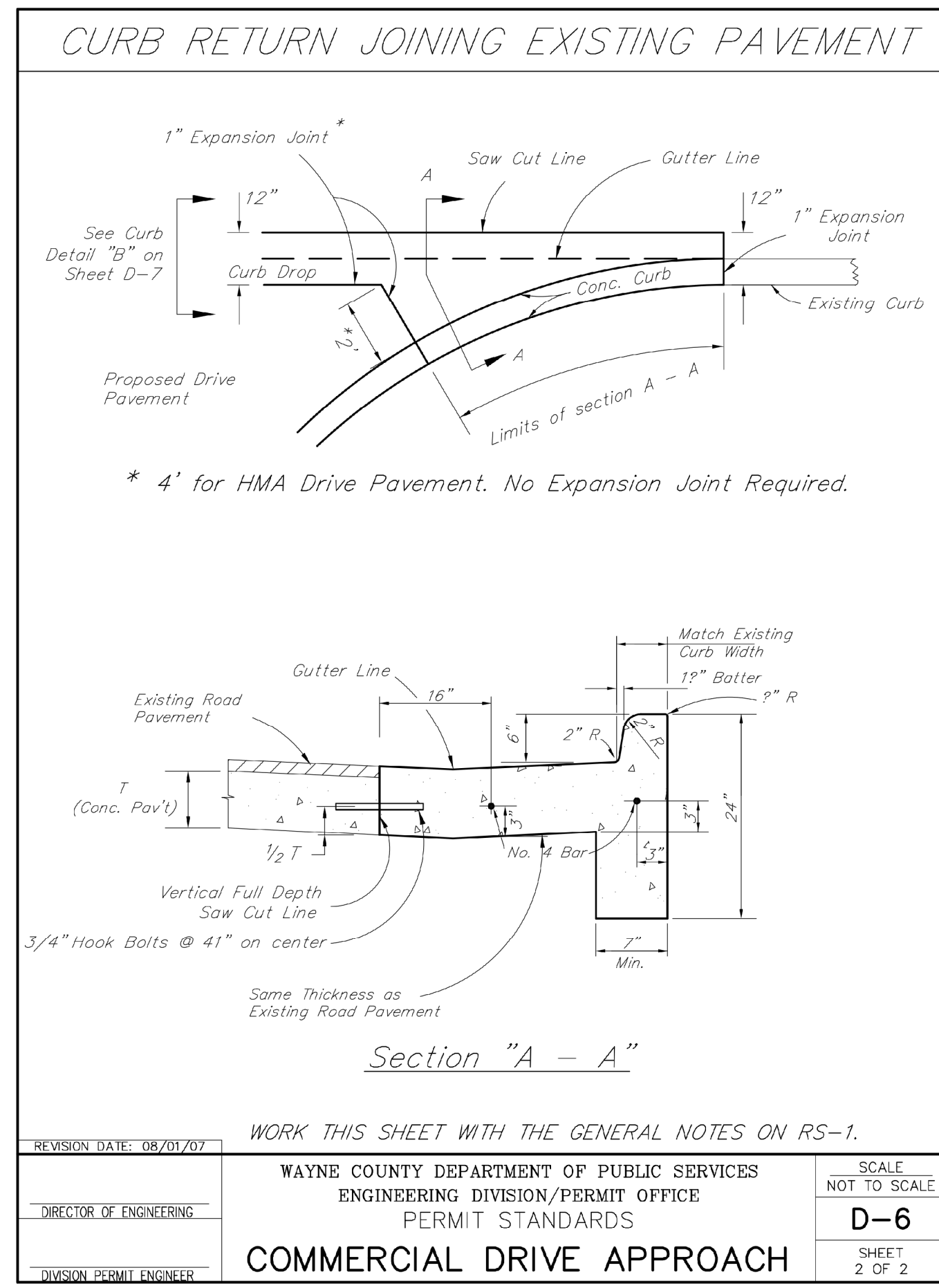
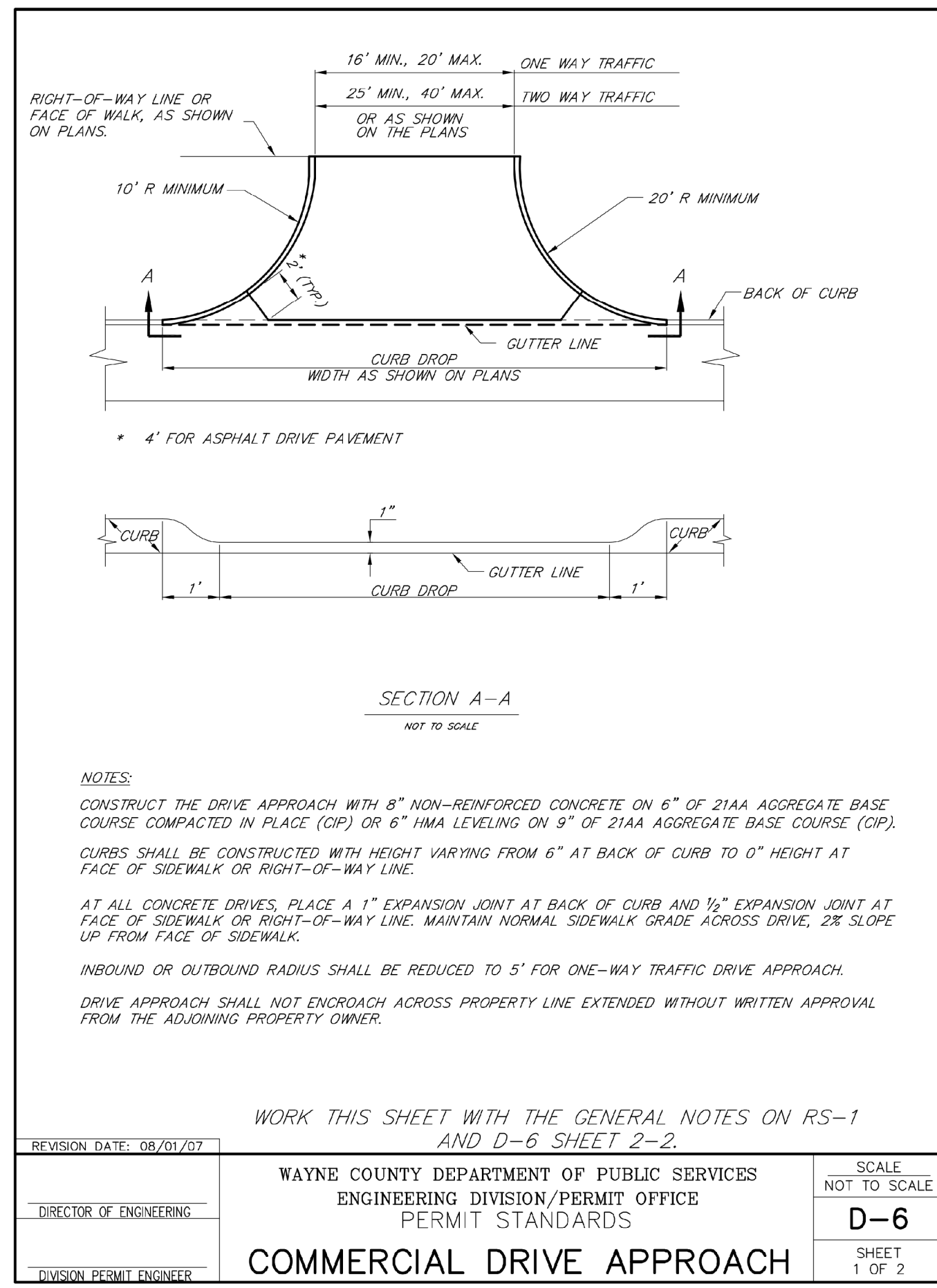
ZEMET WOZNAK & ASSOCIATES
Civil Engineers & Land Surveyors
5580 GRAND RIVER AVE., SUITE 100
NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zemetwoznak.com

THREE FULL WORKING DAYS BEFORE YOU DIG. CALL THE MISS DIG SYSTEM
MISS DIG SYSTEM, INC.
1-800-482-7171

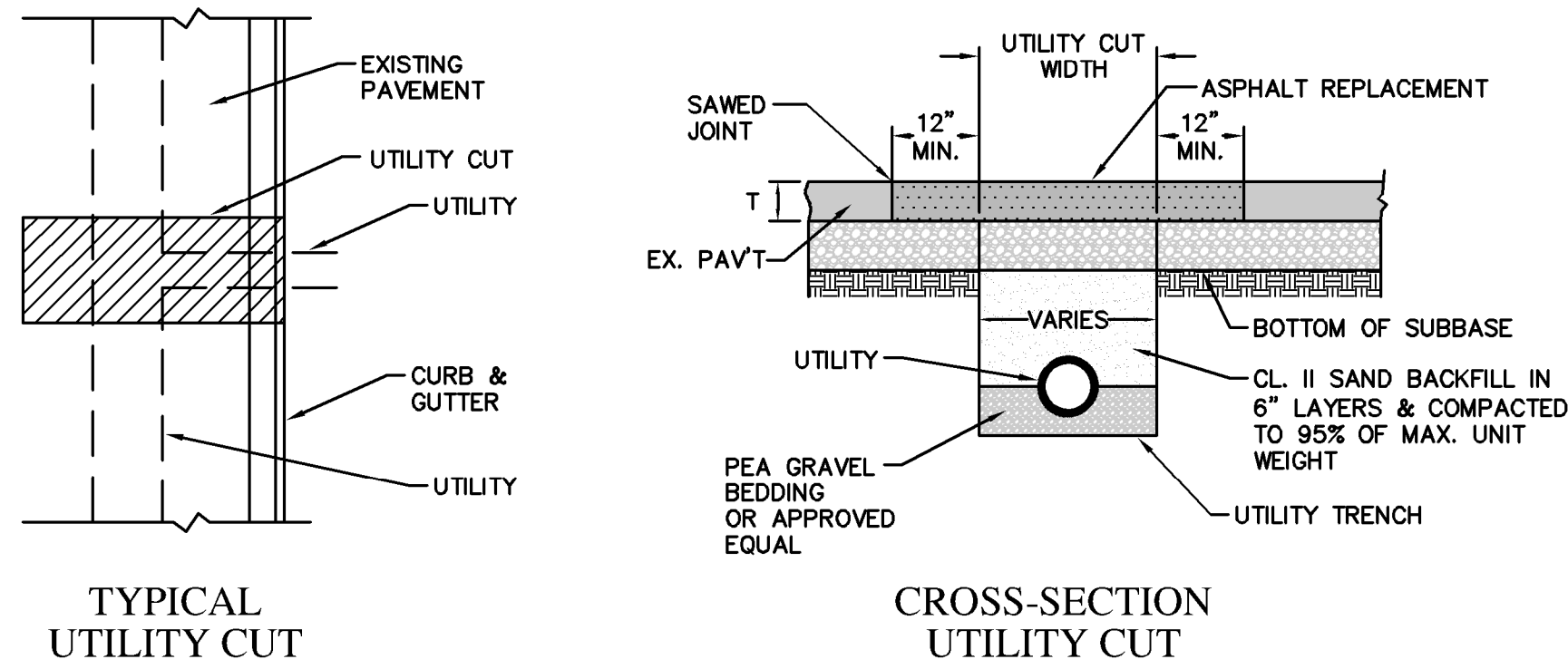
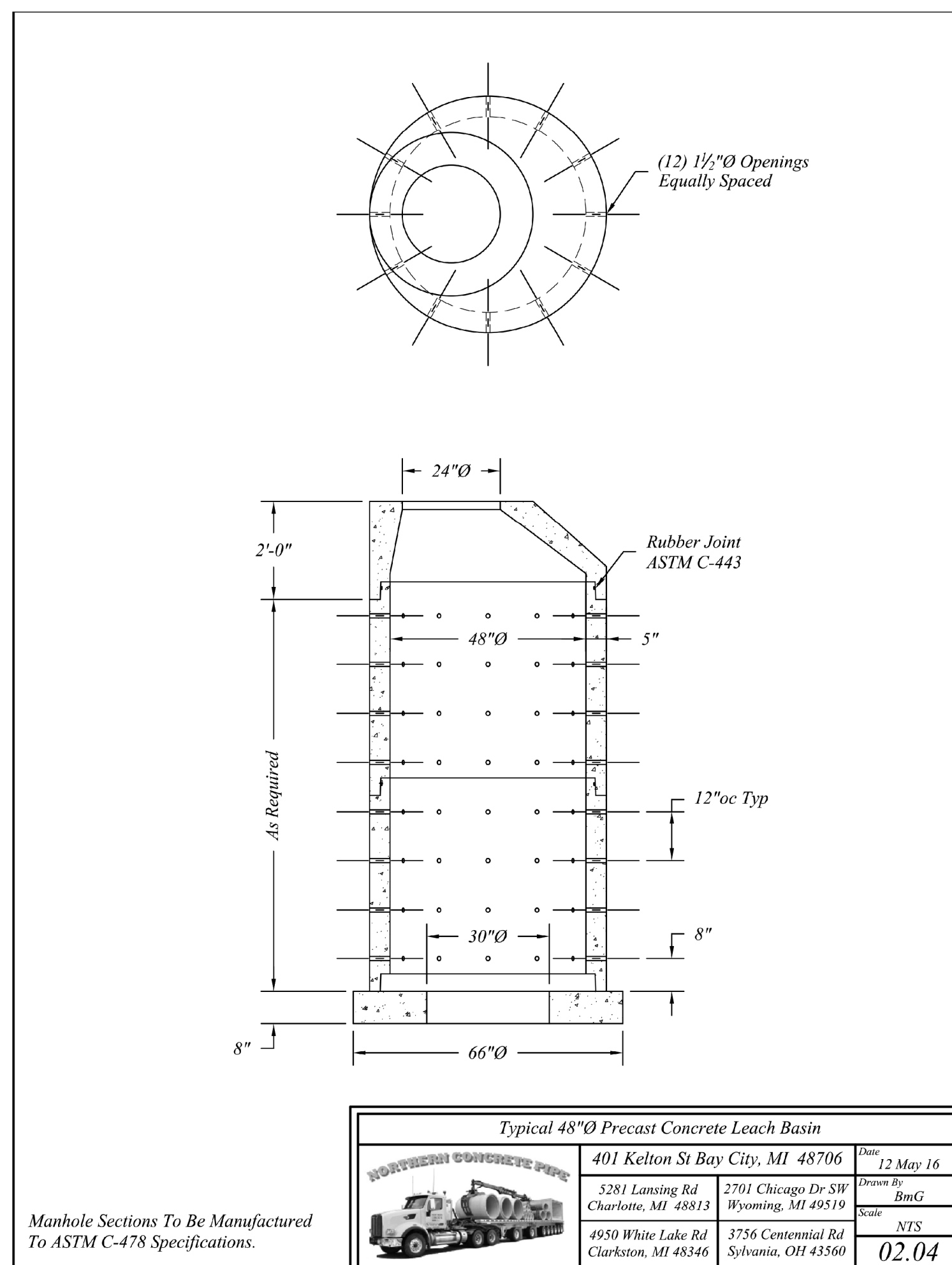
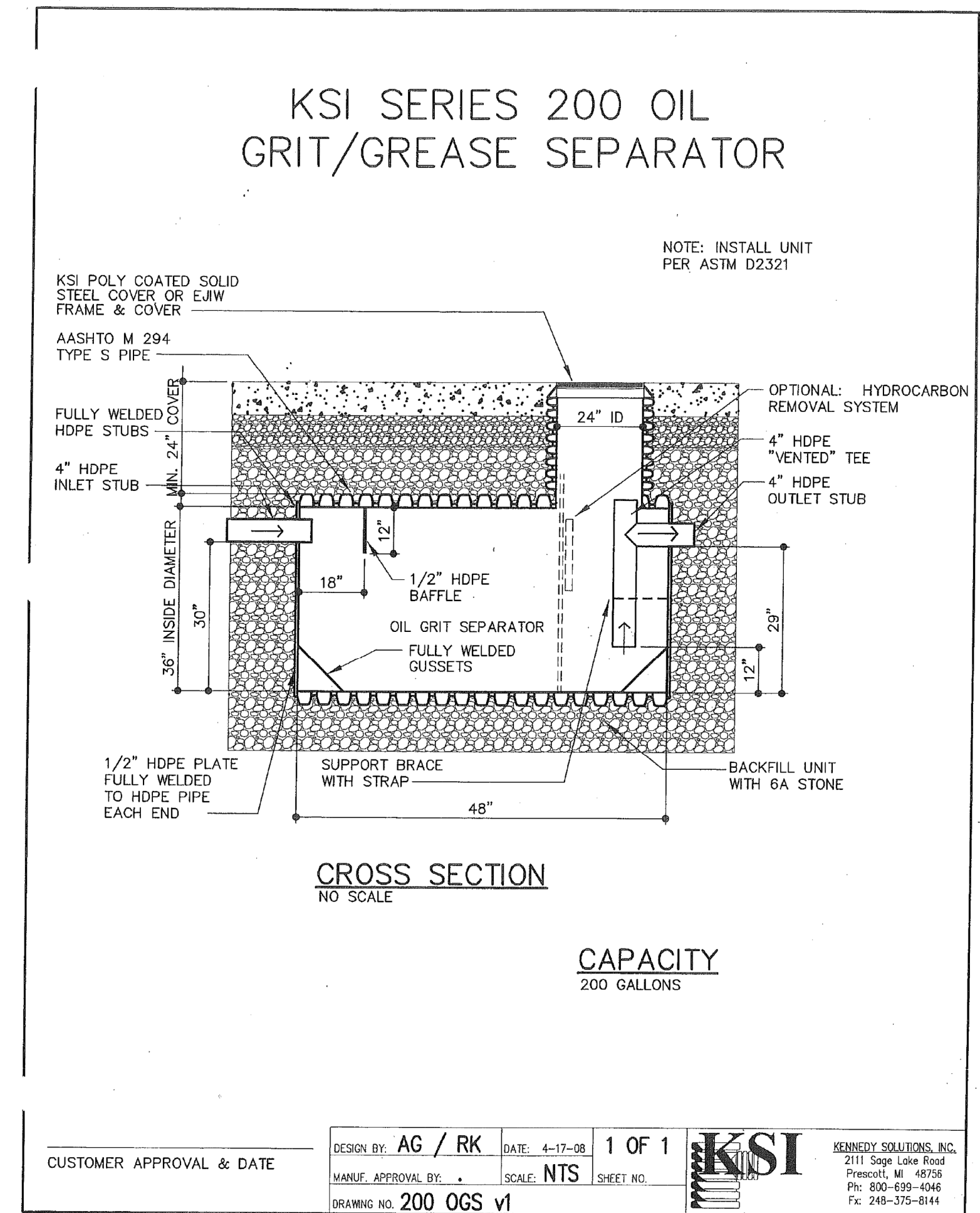
PROJECT SPONSOR:
PLYMOUTH TRACKSIDE, LLC
885 STARKWEATHER
PLYMOUTH, MI 48170

CONSTRUCTION NOTES AND DETAILS
RENOVATIONS AND ADDITIONS TO 885 STARKWEATHER
PLYMOUTH, MICHIGAN

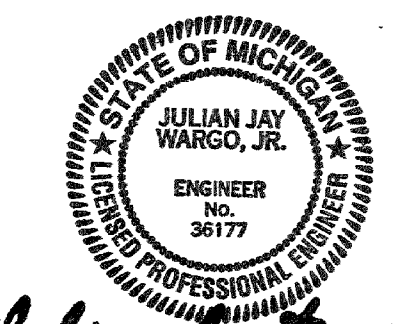
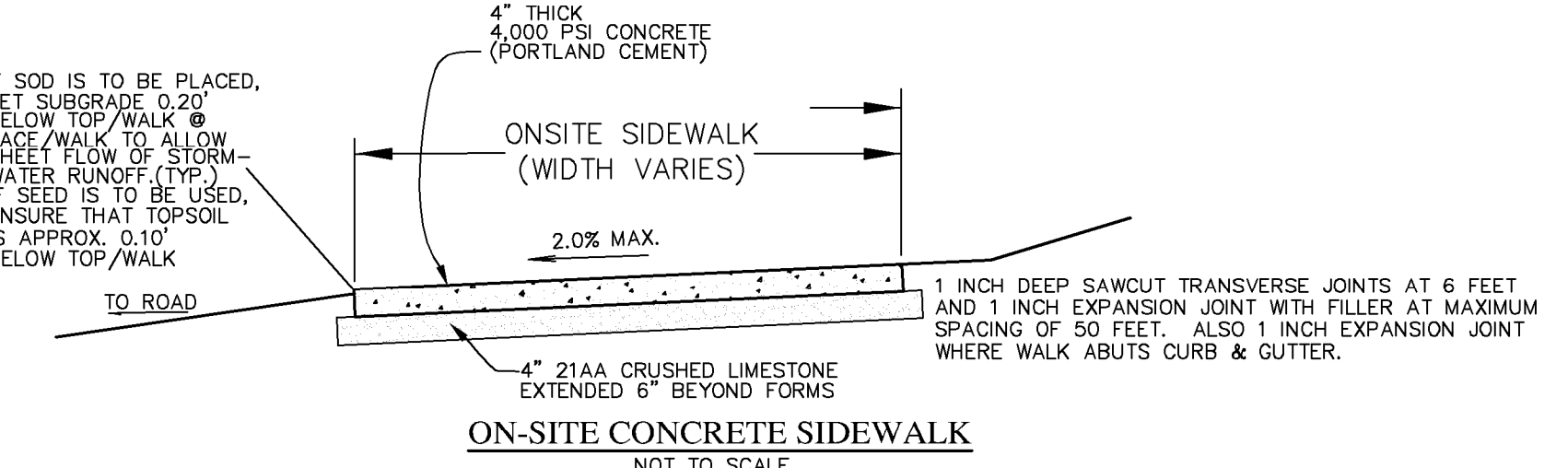
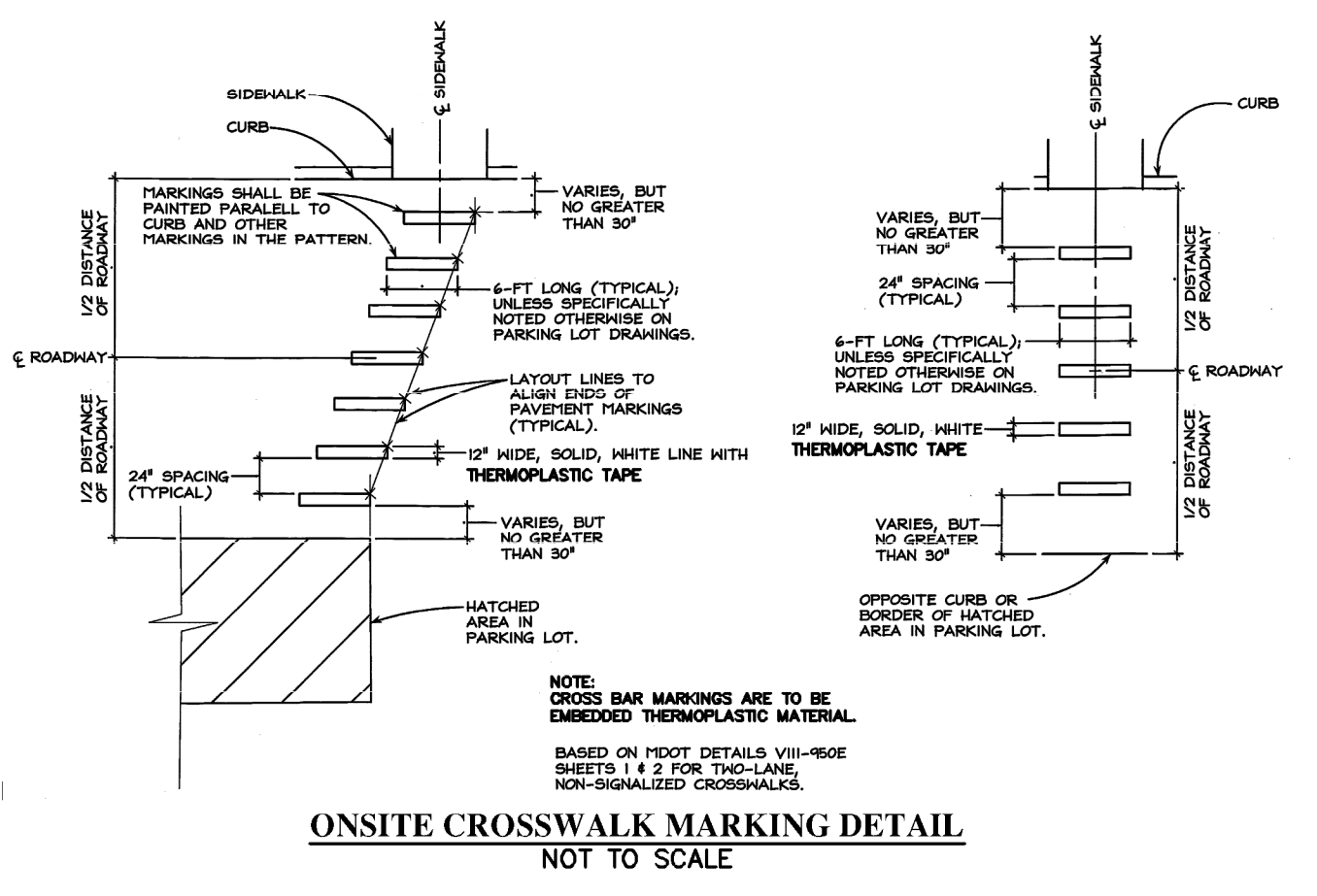
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DESIGNED BY: JJW VER: 1" = N/A
JOB NO.: 23124
DRAWN BY: DAB SHEET: C-4



- GENERAL NOTES**
- All materials and workmanship shall be in accordance with Wayne County Specifications which are defined as the current Michigan Department of Transportation (MDOT) Standard Specifications for Construction as modified by Wayne County Special Provisions.
 - Paving Standard Plan Details may be shown with wire fabric reinforcement. Use of reinforcement shall be required as called for on the plans.
 - A Transverse End of Pour Joint, Symbol (H), shall be constructed when there is an interruption in concrete paving for more than 1/2 hour. Transverse End of Pour Joint, Symbol (H), shall be constructed in accordance with current MDOT Standard Plan, R-39 series (Reinforced Concrete Pavement) and R-39P series (Plain Concrete Pavement). This note applies to both concrete base and finished concrete pavement.
 - When it is anticipated that construction traffic will be using the pavement, endings will be protected by means of a temporary concrete header as shown on RS-4.
 - The Expansion Joint Foam Rod shall be a solid round heat resistant Polyurethane foam capable of withstanding the temperature of the sealant. Density of the foam shall be 2-4 Lb/Cft.
 - Wire Fabric Reinforcement shall lay flat when delivered to the work area. The use of spreader bars will be required for lifting bundles of reinforcement.
 - Where the lane width of the pavement differs from wire fabric reinforcement standards, special sheets of the required width may be used or standard sheets may be cut to the required size or split sheets may be added to standard sheets to obtain the required size. Side laps shall not be less than the spacing of the longitudinal wires.
 - The ends of the Wire Fabric Reinforcement sheets shall be fastened in at least two places at each lap to prevent horizontal and vertical displacement.
 - When Concrete Pavement Repairs are longer than 20 feet, Transverse Plane of Weakness Joints (WT) shall be placed in-line with existing transverse joints, working cracks, or at 15 feet maximum and 6 feet minimum spacings.
 - Existing concrete pavements with HMA surface requiring saw-cutting for removal shall have the saw cuts extend completely thru the concrete pavement. Sawed over-cuts occurring in adjacent slab, gutter or shoulder, which will remain in place, shall be sealed.
- NOTE: THIS IS NOT A LEGAL ENGINEERING DOCUMENT BUT AN ELECTRONIC DUPLICATE. THE ORIGINAL SIGNED COPY FOR PUBLICATION IS KEPT ON FILE AT THE WAYNE COUNTY ENGINEERING OFFICES.
- | | | |
|-------------------------|--|--------------------------------------|
| REVISION DATE: 08/07/07 | WAYNE COUNTY DEPARTMENT OF PUBLIC SERVICES ENGINEERING DIVISION/PERMIT OFFICE PERMIT STANDARDS | SCALE NOT TO SCALE RS-1 |
| DIRECTOR OF ENGINEERING | GENERAL NOTES | SHEET 1 OF 1 |



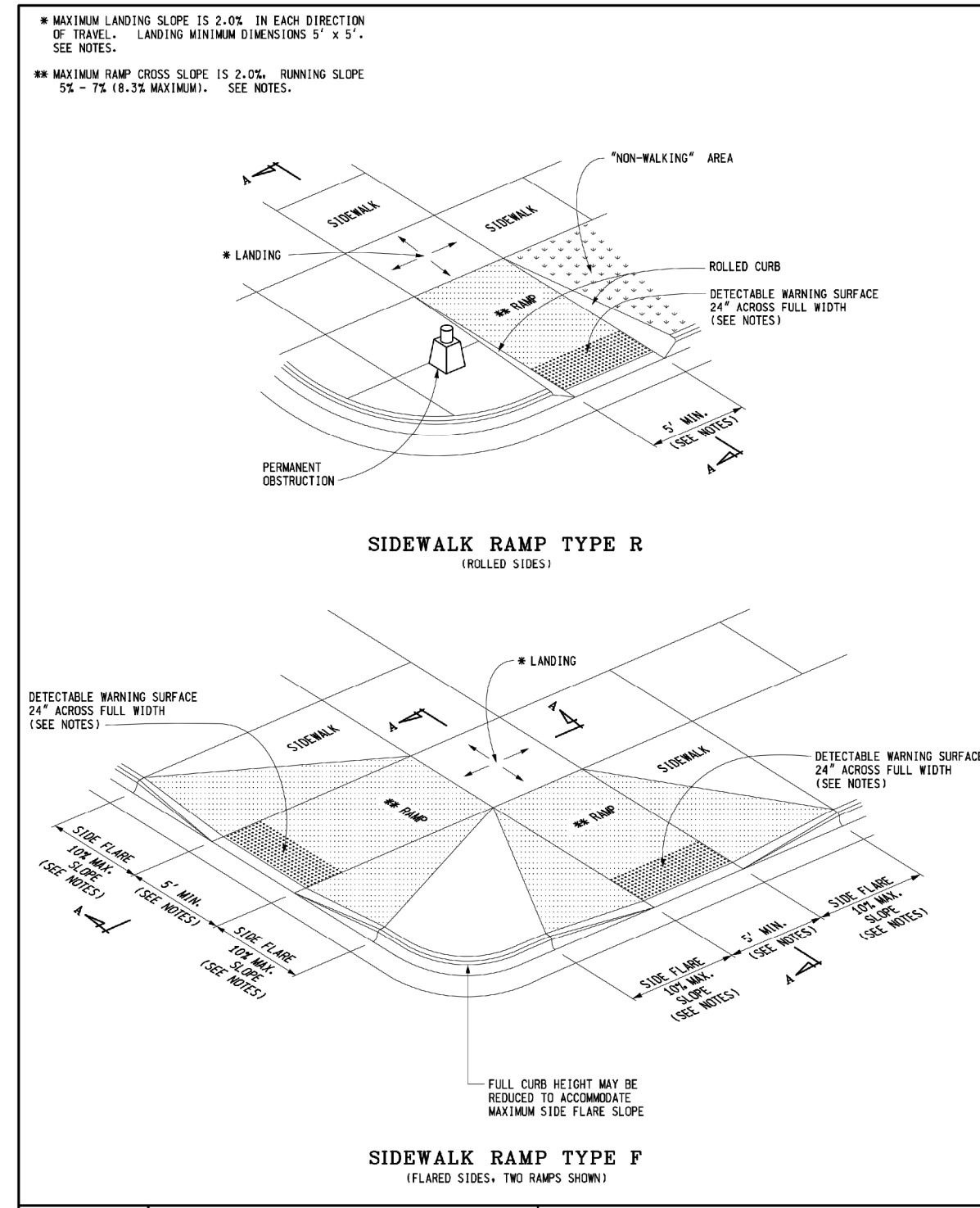
UTILITY CUT AND PAVEMENT REPLACEMENT
NOT TO SCALE



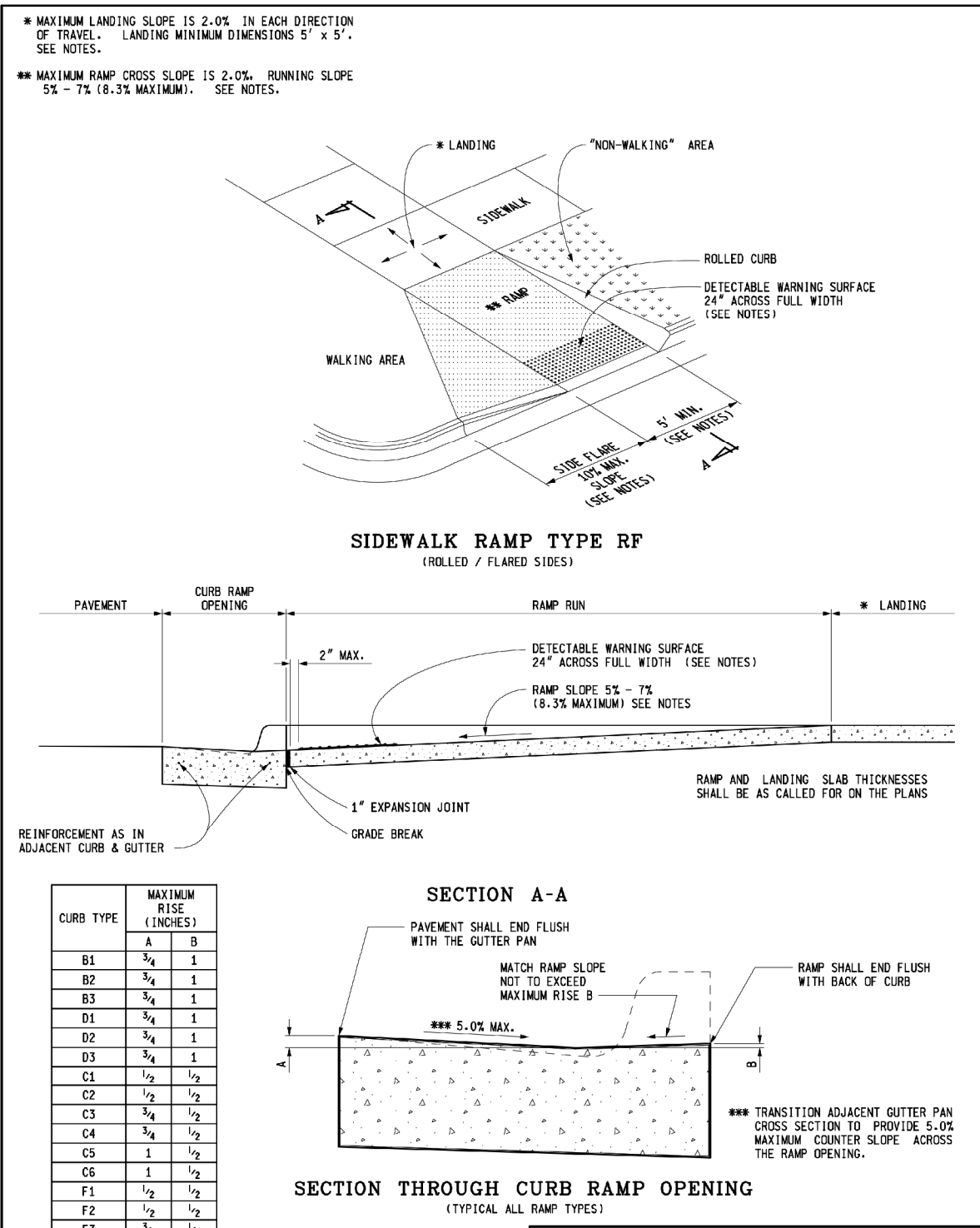
Julian J. Wargo, Jr.

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| PC REVIEW | 6/21/23 | | | | | | | | |

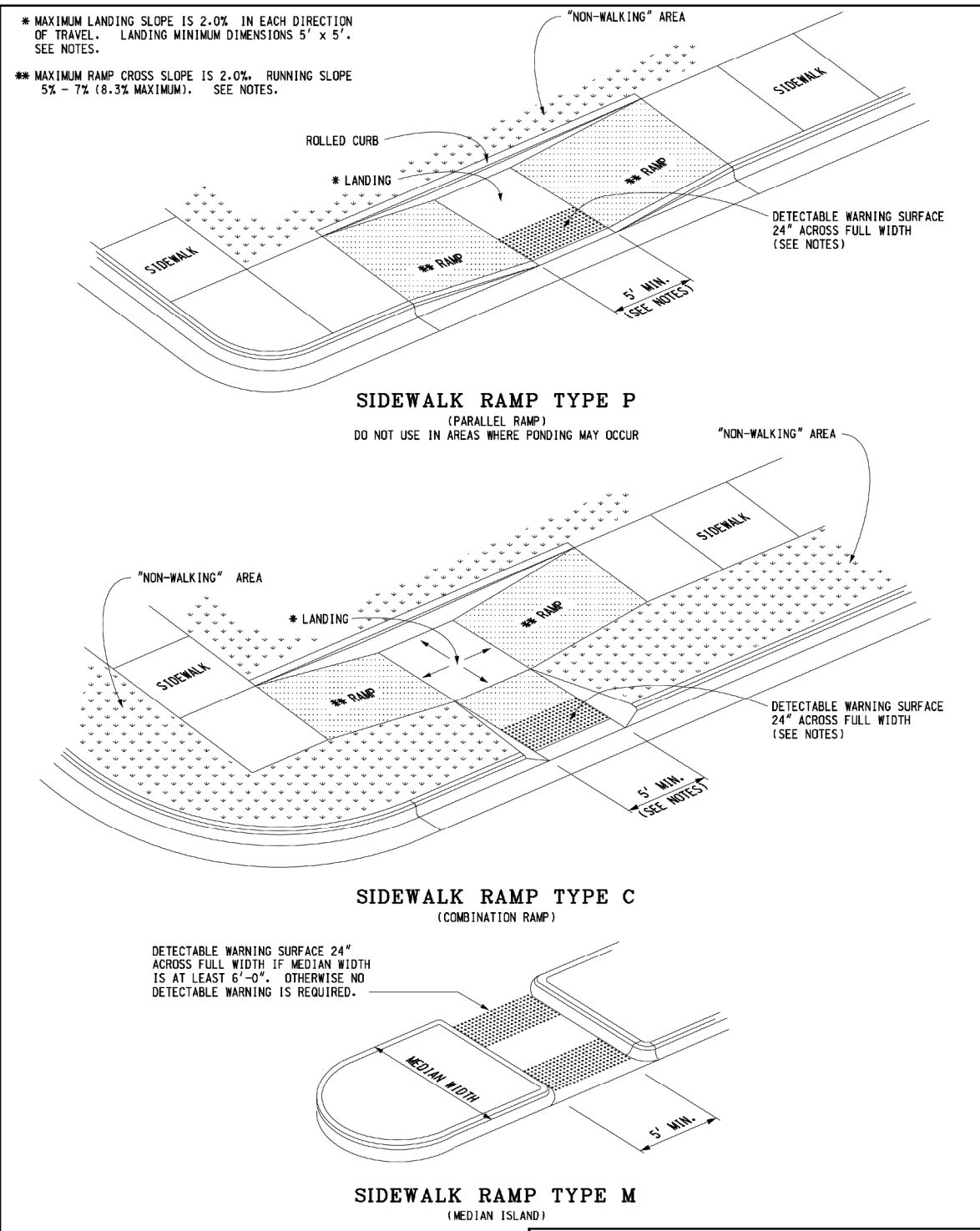
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| ZEIMET WOZNAK Civil Engineers & Land Surveyors 5580 GRAND RIVER AVE., SUITE 100 NEW HUDSON, MICHIGAN 48165 P: (248) 437-5099 F: (248) 437-5222 www.zeimetwoznak.com | MISS DIG SYSTEM, INC. THREE FULL WORKING DAYS BEFORE YOU DIG, CALL THE MISS DIG SYSTEM 1-800-482-7171 | PROJECT SPONSOR: PLYMOUTH TRACKSIDE, LLC 885 STARKWEATHER PLYMOUTH, MI 48170 | CONSTRUCTION NOTES AND DETAILS RENOVATIONS AND ADDITIONS TO 885 STARKWEATHER PLYMOUTH, MICHIGAN | DATE: 6/7/23 SCALE: HOR: 1" = N/A VER: 1" = N/A DESIGNED BY: JJW JOB NO.: 23124 DRAWN BY: DAB SHEET: C-5 |
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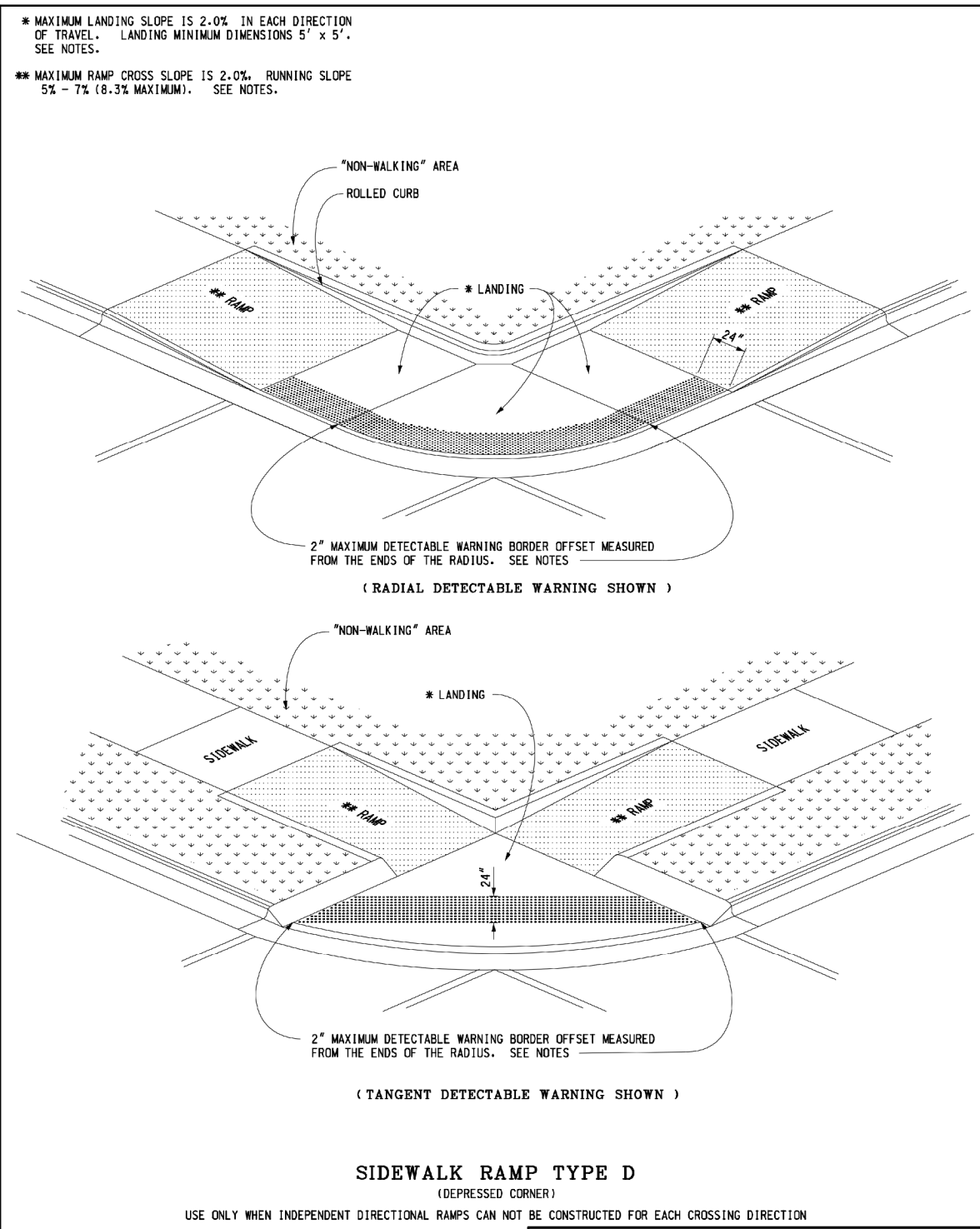
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| MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF DEVELOPMENT STANDARD PLAN FOR SIDEWALK RAMP AND DETECTABLE WARNING DETAILS | |
| PREPARED BY: [Name] DESIGN DIVISION: [Name] CHECKED BY: [Name] | APPROVED BY: [Name] DIRECTOR, BUREAU OF FIELD SERVICES APPROVED BY: [Name] DIRECTOR, BUREAU OF DEVELOPMENT |
| T.C.R.A. APPROVAL: [Signature] PLAN DATE: 12-11-2017 | SHEET: R-28-J 1 OF 7 |



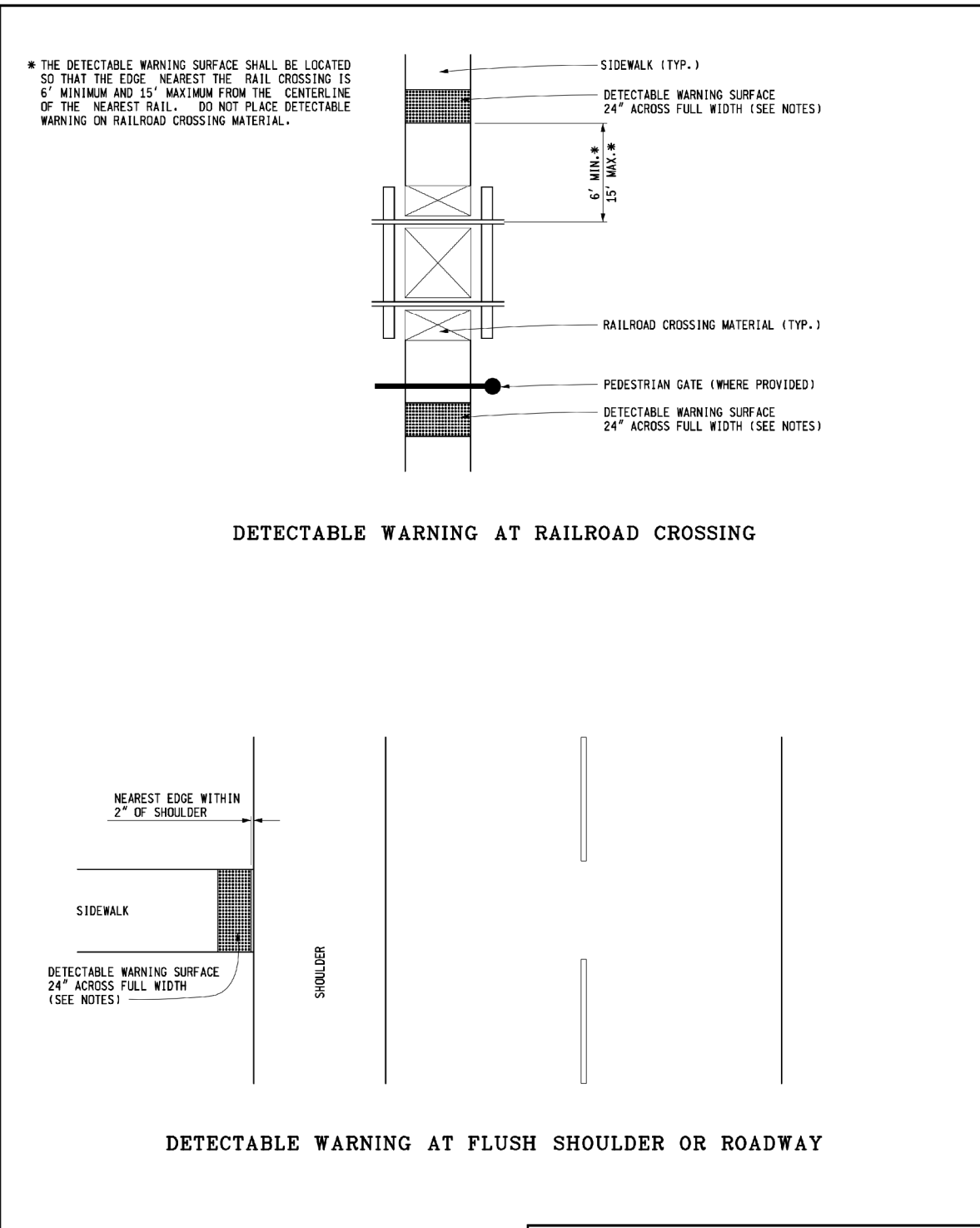
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| MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF DEVELOPMENT STANDARD PLAN FOR SIDEWALK RAMP AND DETECTABLE WARNING DETAILS | |
| T.C.R.A. APPROVAL: [Signature] PLAN DATE: 12-11-2017 | SHEET: R-28-J 2 OF 7 |



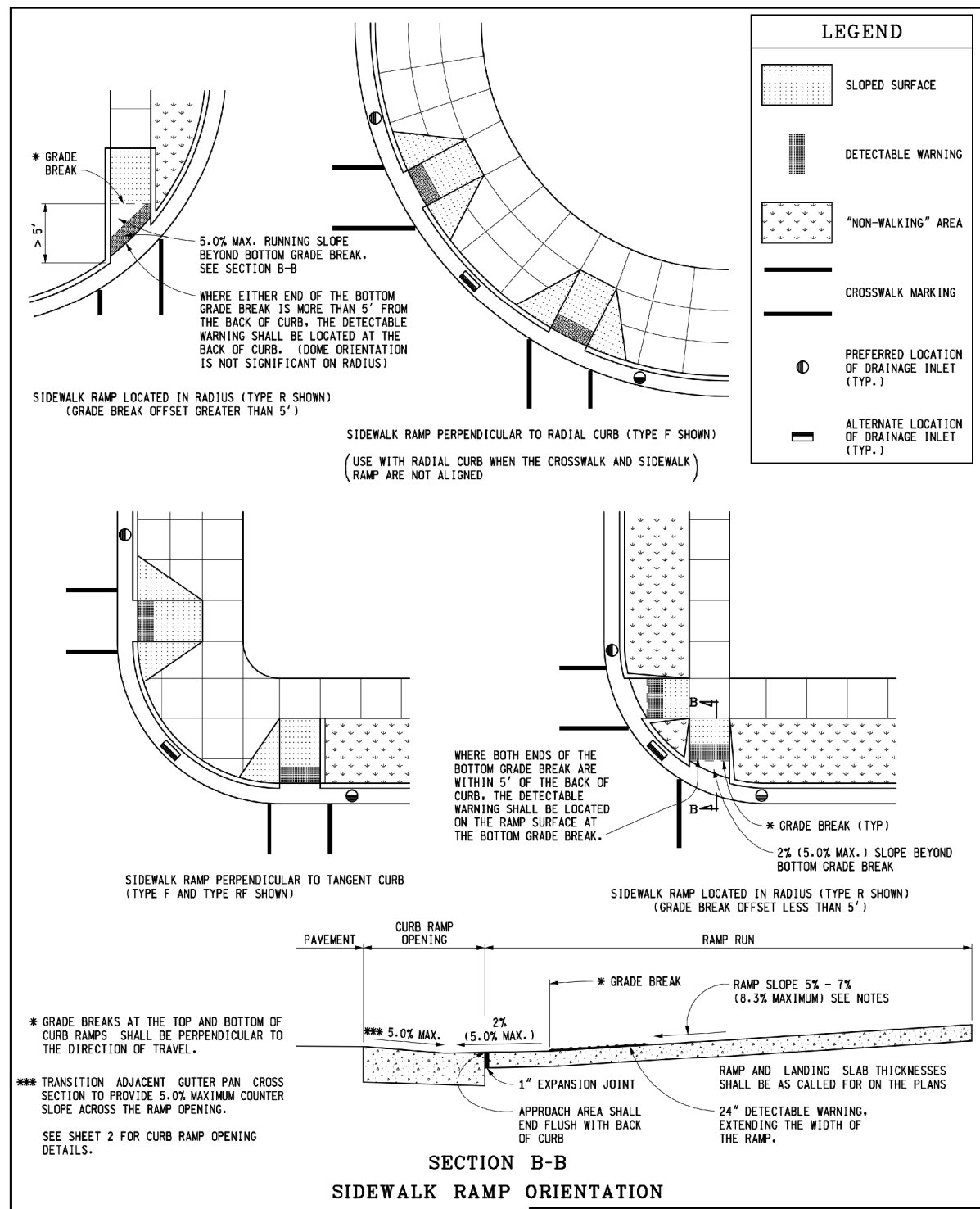
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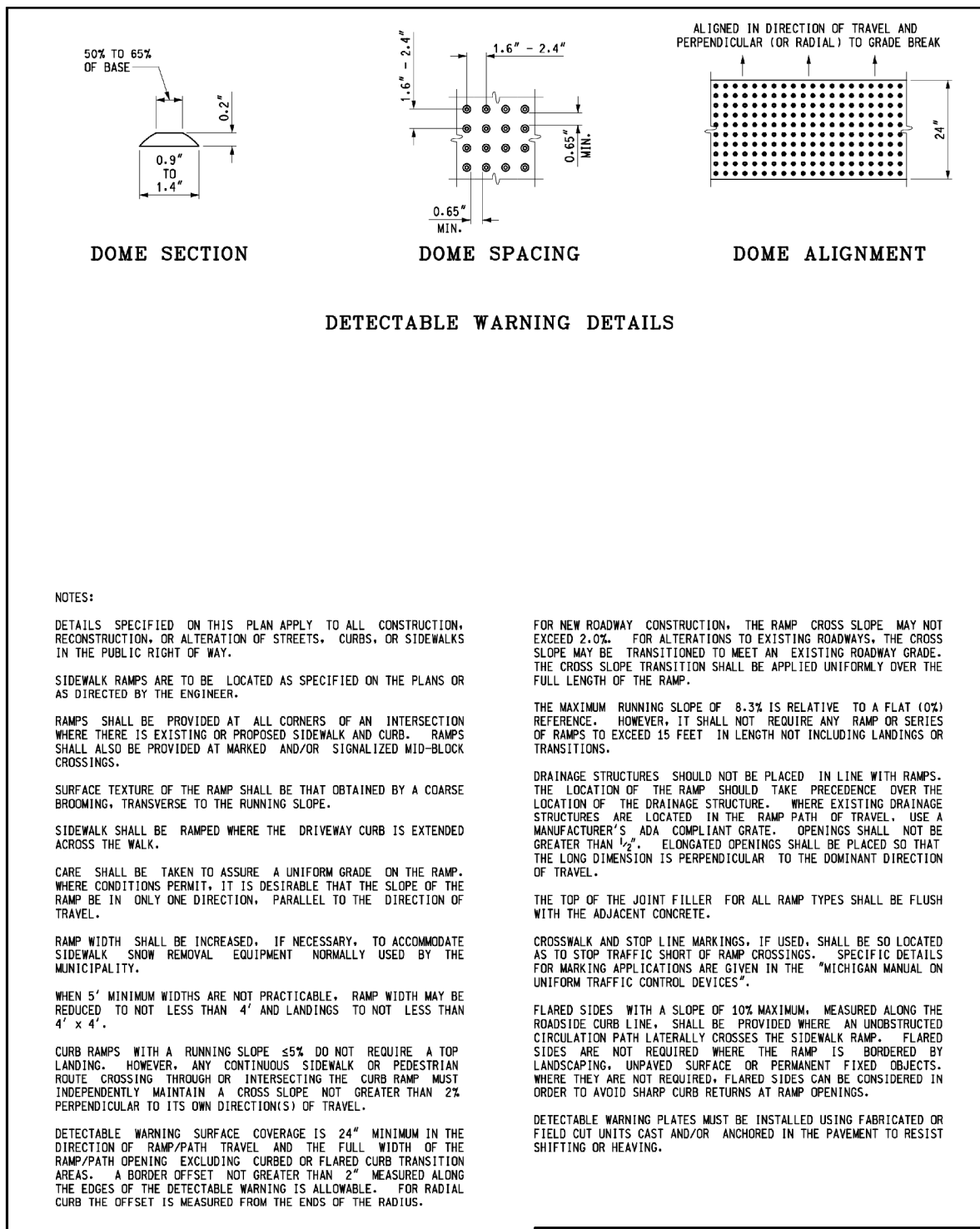
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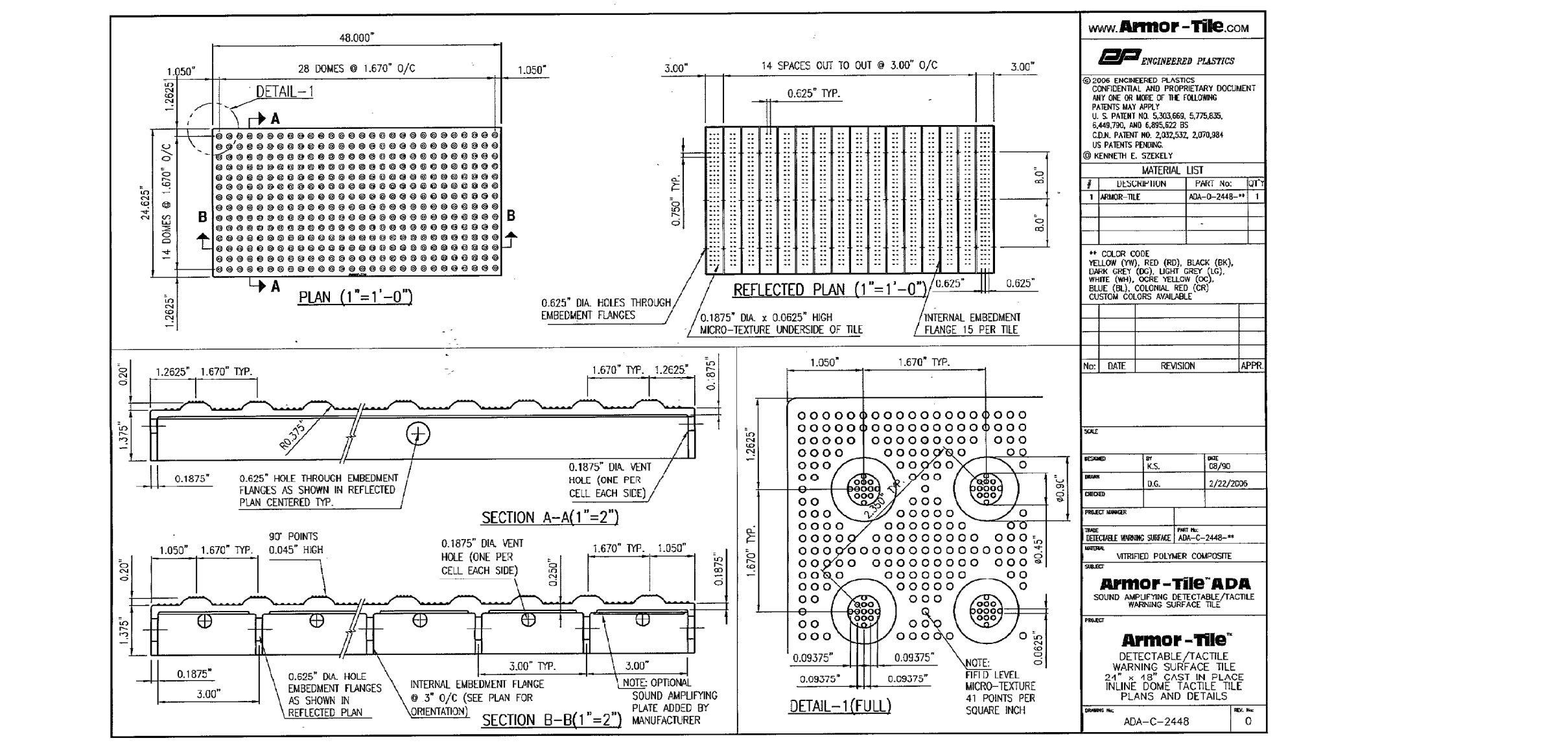
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| T.C.R.A. APPROVAL: [Signature] PLAN DATE: 12-11-2017 | SHEET: R-28-J 7 OF 7 |



www.Armor-Tile.COM

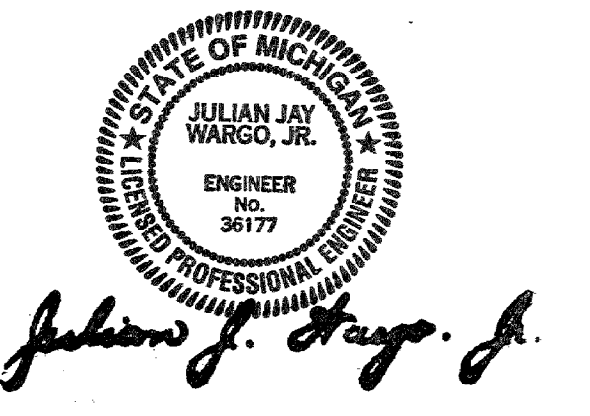
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ZEIMET WOZNAK
Civil Engineers & Land Surveyors
5580 GRAND RIVER AVE., SUITE 100
NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zeimetwoznak.com

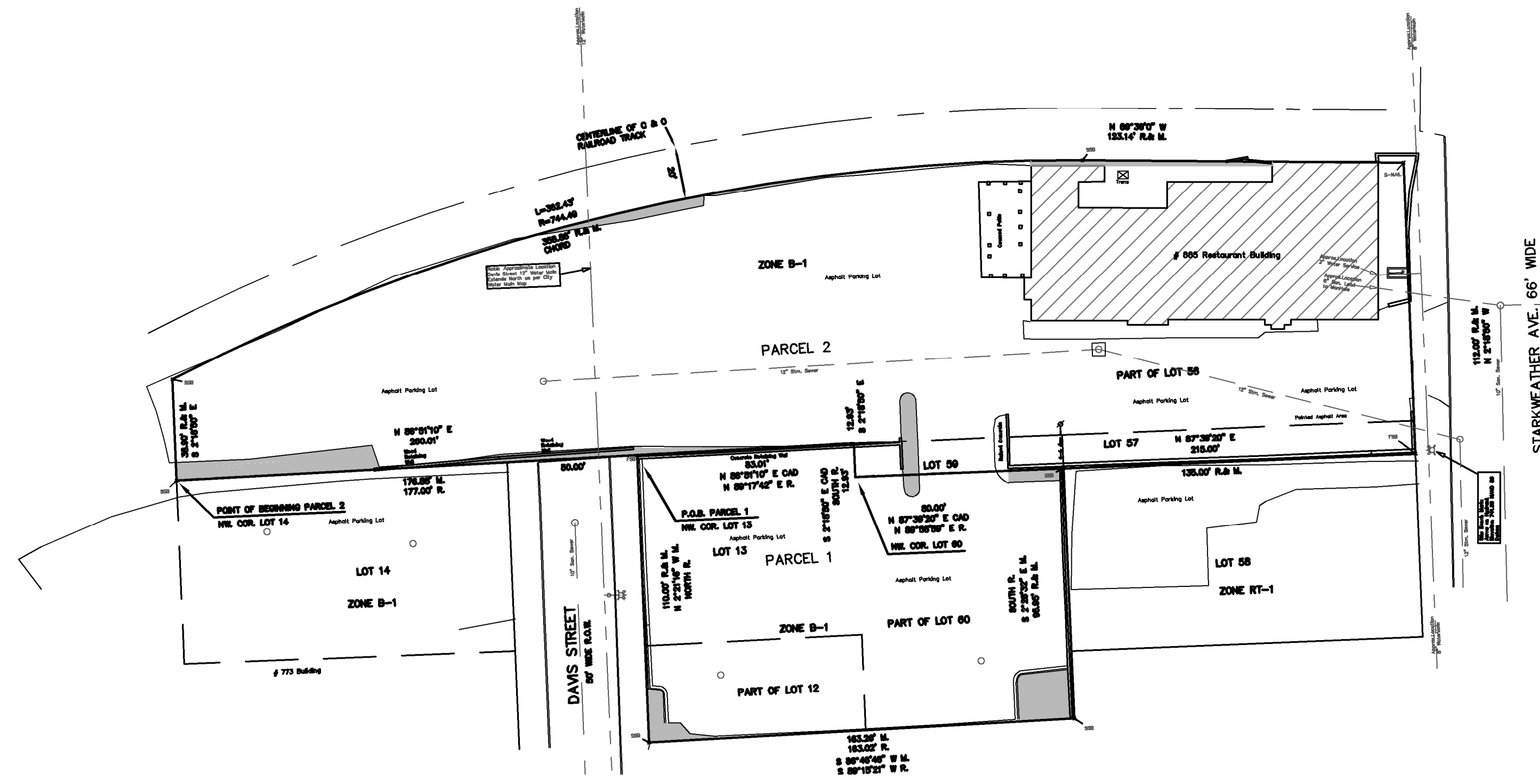
MISS DIG SYSTEM, INC.
1-800-482-7171

THREE FULL WORKING DAYS BEFORE WORKING. CALL THE MISS DIG SYSTEM

PROJECT SPONSOR:
PLYMOUTH TRACKSIDE, LLC
885 STARKWEATHER
PLYMOUTH, MI 48170

SIDEWALK RAMP DETAILS
RENOVATIONS AND ADDITIONS TO 885 STARKWEATHER
PLYMOUTH, MICHIGAN

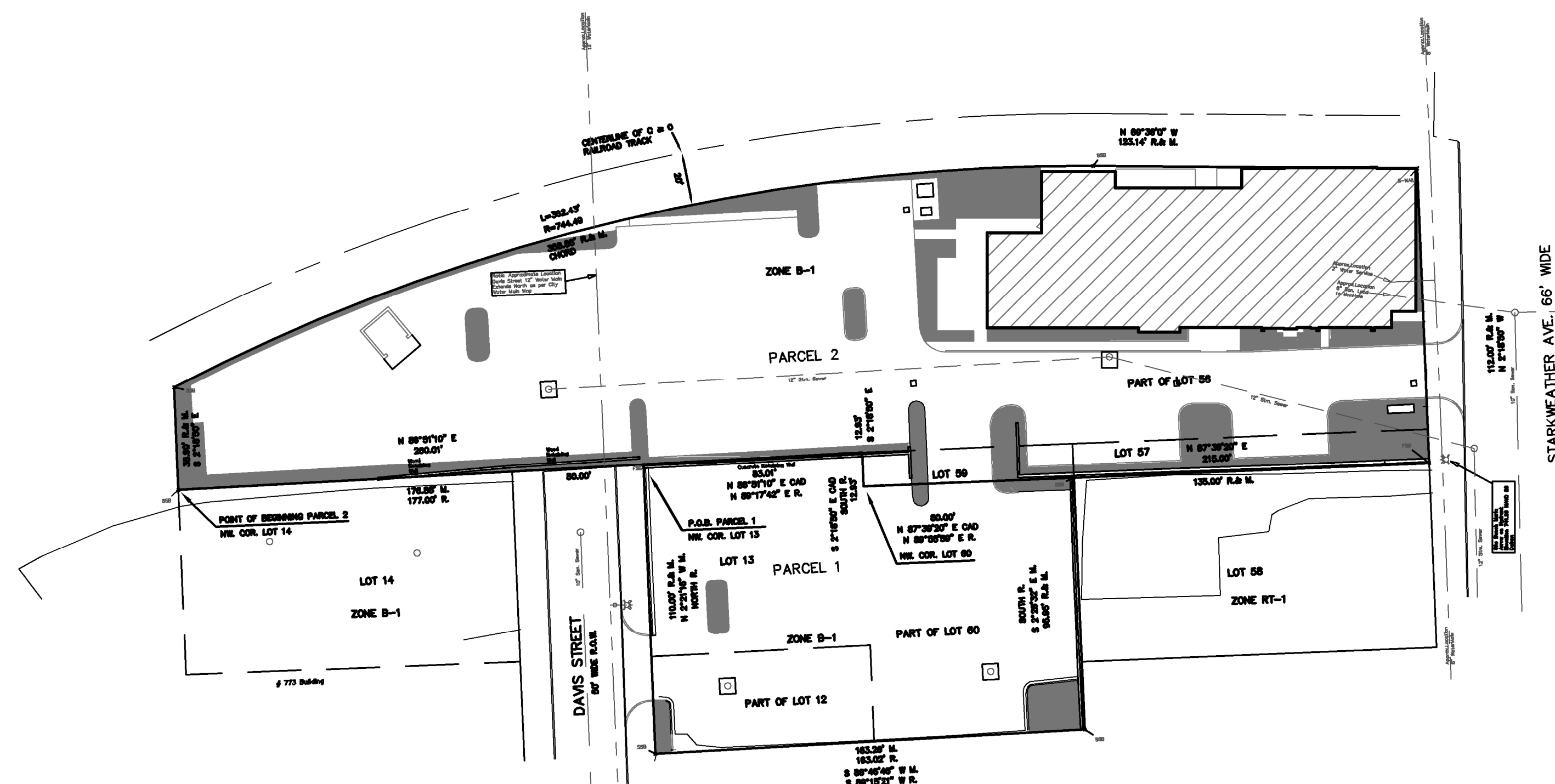
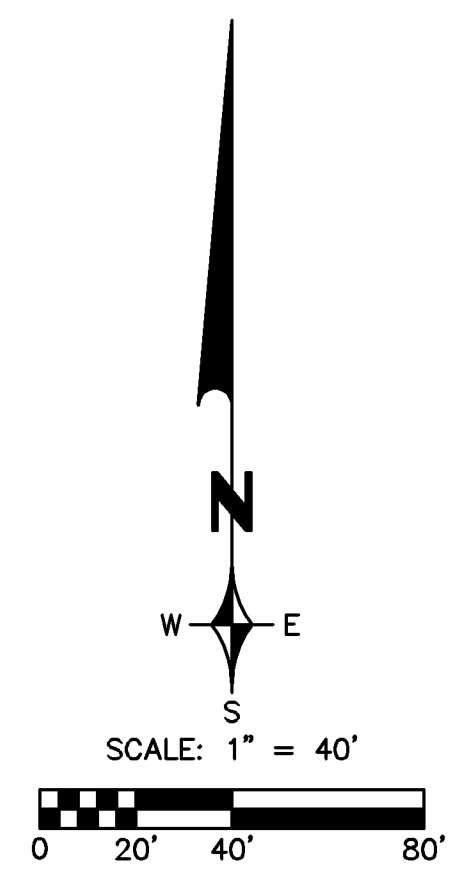
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| DATE: 6/7/23 | SCALE: HOR: 1" = N/A |
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| | SHEET C-6 |



PRE-DEVELOPMENT CONDITIONS

PRE-DEVELOPMENT CONDITIONS LEGEND:

- ROOF AREA
- PAVEMENT AREA
- LAWN/LANDSCAPING AREA



POST-DEVELOPMENT CONDITIONS

POST-DEVELOPMENT CONDITIONS LEGEND:

- ROOF AREA
- PAVEMENT AREA
- LAWN/LANDSCAPING AREA

885 STARKWEATHER, PLYMOUTH, MICHIGAN
STORMWATER DRAINAGE NARRATIVE

Existing Conditions
The site is approximately 1.44 acres in the City of Plymouth, Wayne County, Michigan, located at 885 Starkweather Avenue. The site is the former "Stella's Trakside" restaurant and is fully developed.

The north portion of the site (referred to as "Parcel 2" on the site survey) is served by an existing 12" private storm sewer that flows to an existing 12" public storm sewer on the west side of Starkweather Avenue. The south portion of the site (referred to as "Parcel 1" on the site survey) is served by two existing leaching basins. The existing drainage systems all appear to be in good working order and needs no modifications or repairs at this time.

Existing Soils
The site is urban land.
Per the USDA-SCS Web Soil Survey, the predominant soil for this site is classified as "Wasepi Loamy Sand, 0 to 2 Percent Slopes". This is a hydrologic soil group A/D. Its capacity to transmit water is high (1.98 to 5.95 in/hr).

Proposed Site Activities
The site is proposed to be redeveloped as a restaurant. The new restaurant will include several planned additions for the dining room, an event space, a storage room and two walk-in coolers. Parts of the existing building shall be removed.

The existing parking lot shall be milled and overlaid with a new asphalt surface. Parts of the existing pavement will be removed so additional landscaping elements can be added.

Runoff Factors

| | | | | |
|--------------------|---------------------------|---------|------|--------|
| • Pre-Development | | | | |
| Roof | 7275 sf | 0.17 ac | 0.95 | 0.1615 |
| Paving | 53153 sf | 1.22 ac | 0.95 | 1.1590 |
| Landscaping | 2200 sf | 0.05 ac | 0.30 | 0.150 |
| | 62628 sf | 1.44 ac | | 1.3355 |
| | C = 1.3355 / 1.44 = 0.927 | | | |
| • Post-Development | | | | |
| Roof | 8956 sf | 0.21 ac | 0.95 | 0.1953 |
| Paving | 45888 sf | 1.05 ac | 0.95 | 1.0000 |
| Landscaping | 2787 sf | 0.18 ac | 0.30 | 0.0536 |
| | 62628 sf | 1.44 ac | | 1.2489 |
| | C = 1.2489 / 1.44 = 0.867 | | | |

As illustrated above, the runoff factor is decreased as a result of re-development of the site.

Applicability of Wayne County Stormwater Regulations

The City of Plymouth has adopted the requirements of the Wayne County Storm Water Management Ordinance No. 2003-530. Any greenfield development of brownfield (i.e., re-development) project with a land disturbance of 1.0-acre or larger or created or replaces 0.5-acres of impervious surface must conform to the County's storm water control program.

- However,
- The re-development of the site does not result in a land disturbance of 1.0-acre or larger. The proposed site improvements disturb 0.31-acres.
 - The re-development of the site does not result in the creation or replacement of 0.5-acres of impervious surface:

| | | |
|------------------|-----------------|---------------|
| | Impervious Area | Pervious Area |
| Pre-Development | 1.39 | 0.05 |
| Post-Development | 1.25 | 0.19 |
| Change | -0.14 Ac | +0.14 Ac |

Re-development of the site results in the creation of less impervious area.
 - The definition of a regulated "construction activity" for the purposes of storm water management does not include the re-surfacing of an asphalt, concrete, or similar parking lot that does not expose the subgrade. As such, the proposed milling and overlay of the existing parking lot does not qualify as a regulated "construction activity".

For the reasons explained above, the Wayne County Requirements do not apply to this project.

Stormwater Outlet

- Runoff from the north portion of the site will continue to be collected and conveyed by the existing 12" storm sewer and outlet to the existing 12" storm sewer in Starkweather Avenue:
- The outlet appears to be functioning properly and there are no known downstream flooding issues.
 - The post-development discharge and volume of runoff will be less than the pre-development condition (due to the decrease in overall imperviousness).

Runoff from the south portion of the site will continue to drain to the existing leaching basins.

| | | | | | | | | | |
|------------|---------|------------|------|------------|------|------------|------|------------|------|
| ISSUED FOR | DATE | ISSUED FOR | DATE | ISSUED FOR | DATE | ISSUED FOR | DATE | ISSUED FOR | DATE |
| REVIEW | 6/7/23 | | | | | | | | |
| PC REVIEW | 6/21/23 | | | | | | | | |

ZEIMET WOZNAK & ASSOCIATES
Civil Engineers & Land Surveyors
55000 GRAND RIVER AVE., SUITE 100
NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zeimetwoznak.com

MISS DIG SYSTEM, INC.
THREE FULL WORKING DAYS BEFORE YOU DIG. CALL THE MISS DIG SYSTEM 1-800-482-7171

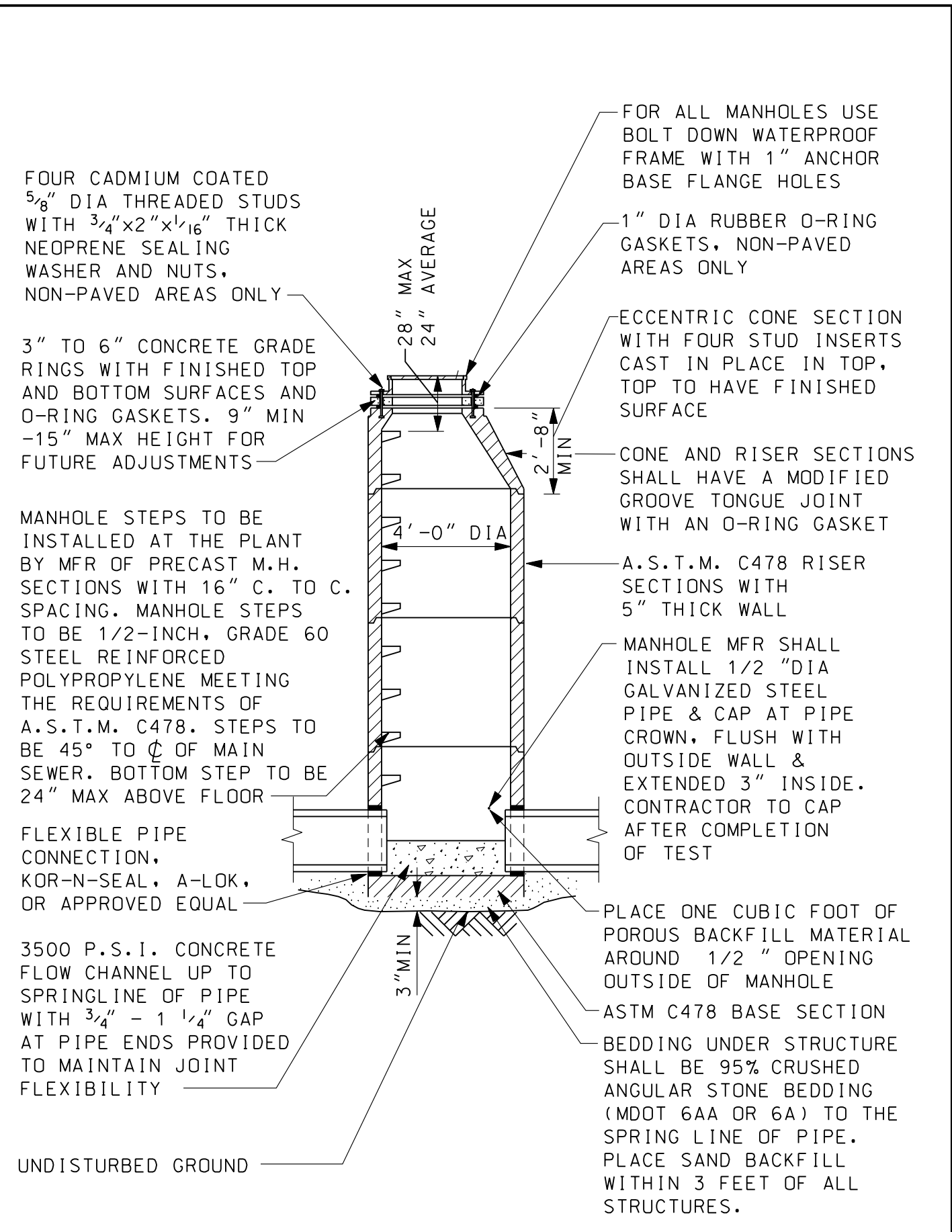
PROJECT SPONSOR:
PLYMOUTH TRACKSIDE, LLC
885 STARKWEATHER
PLYMOUTH, MI 48170

STORMWATER MANAGEMENT PLAN
RENOVATIONS AND ADDITIONS TO 885 STARKWEATHER
PLYMOUTH, MICHIGAN

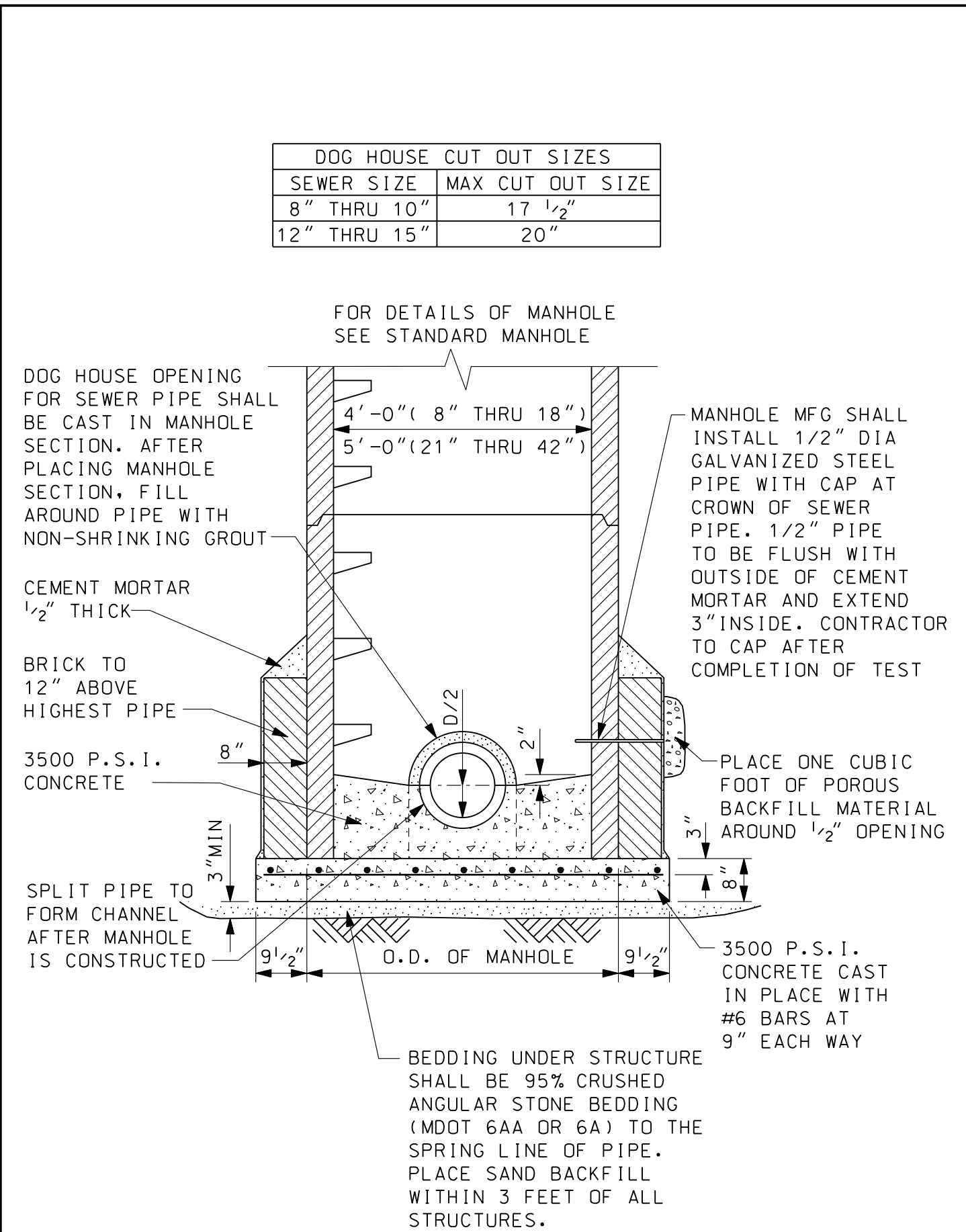
STATE OF MICHIGAN
JULIAN JAY WARGO, JR.
ENGINEER
No. 36177
Julian J. Wargo, Jr.

| | | |
|-------------|---------------|---------------|
| DATE | SCALE | HOR: 1" = 40' |
| 6/7/23 | VER: 1" = N/A | |
| DESIGNED BY | JOB NO. | 23124 |
| JJW | | |
| DRAWN BY | SHEET | C-7 |
| DAB | | |

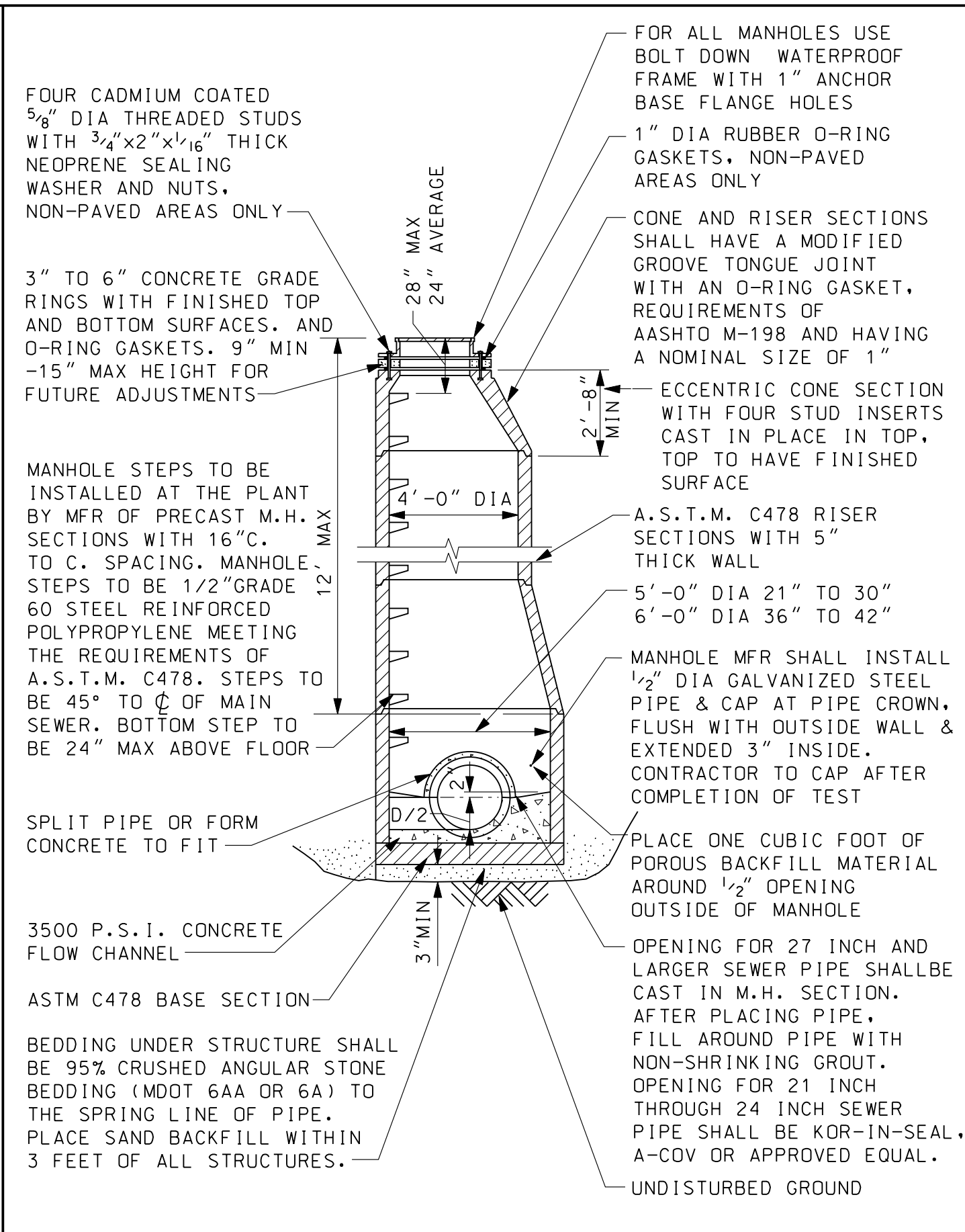
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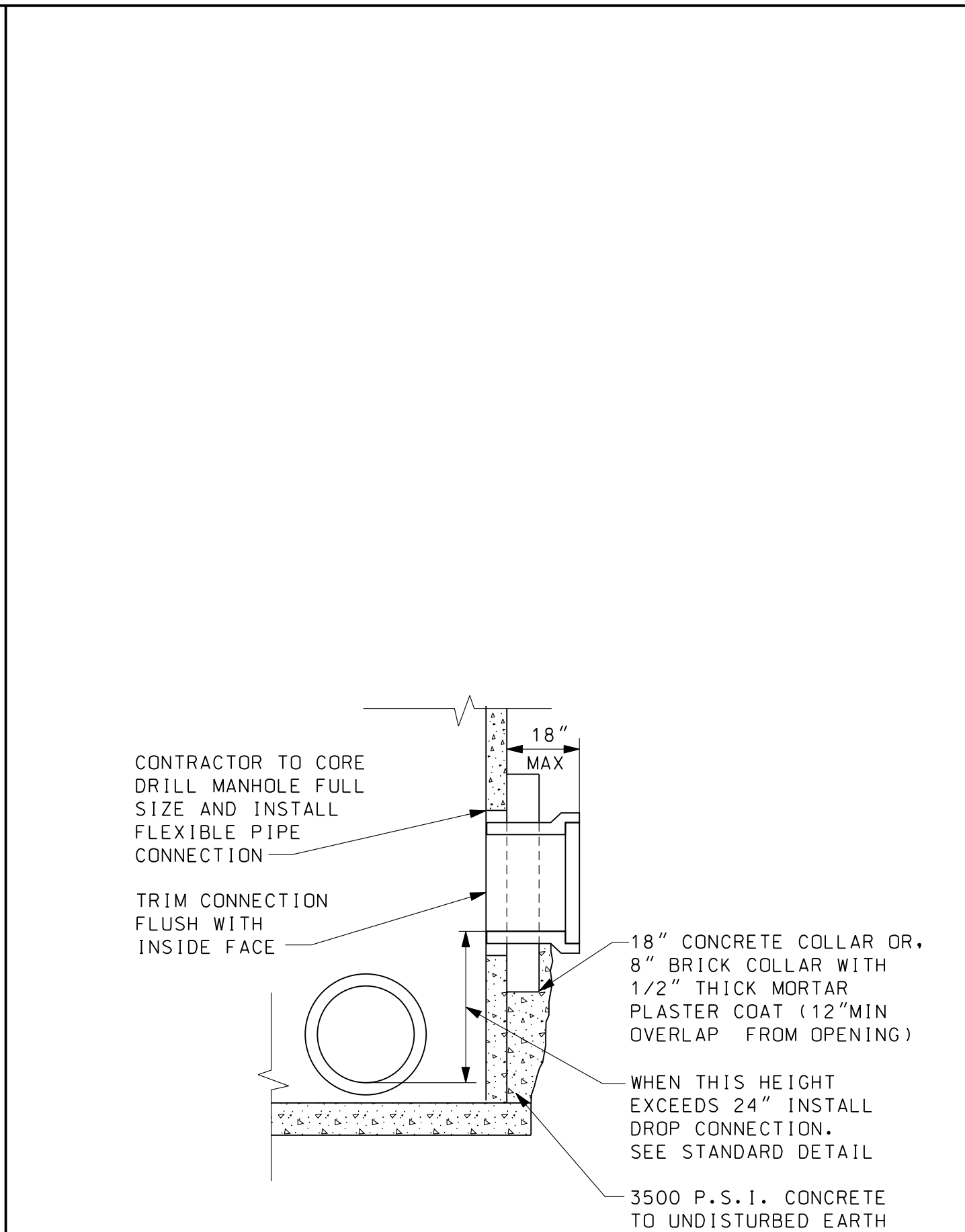
STANDARD SANITARY MANHOLE FOR SEWERS 8" THROUGH 18"



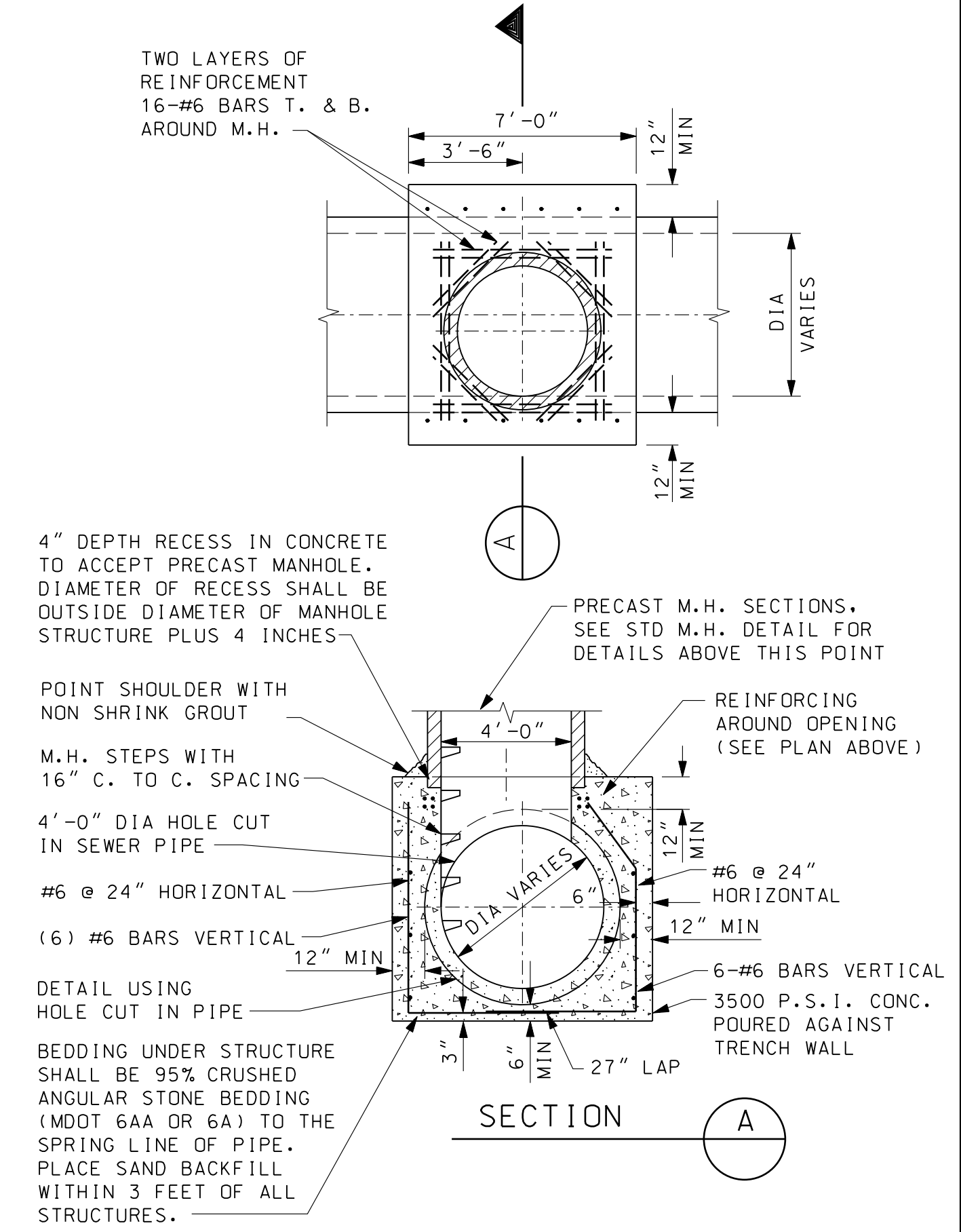
STANDARD SANITARY MANHOLE OVER EXISTING SEWERS 8" THROUGH 42"



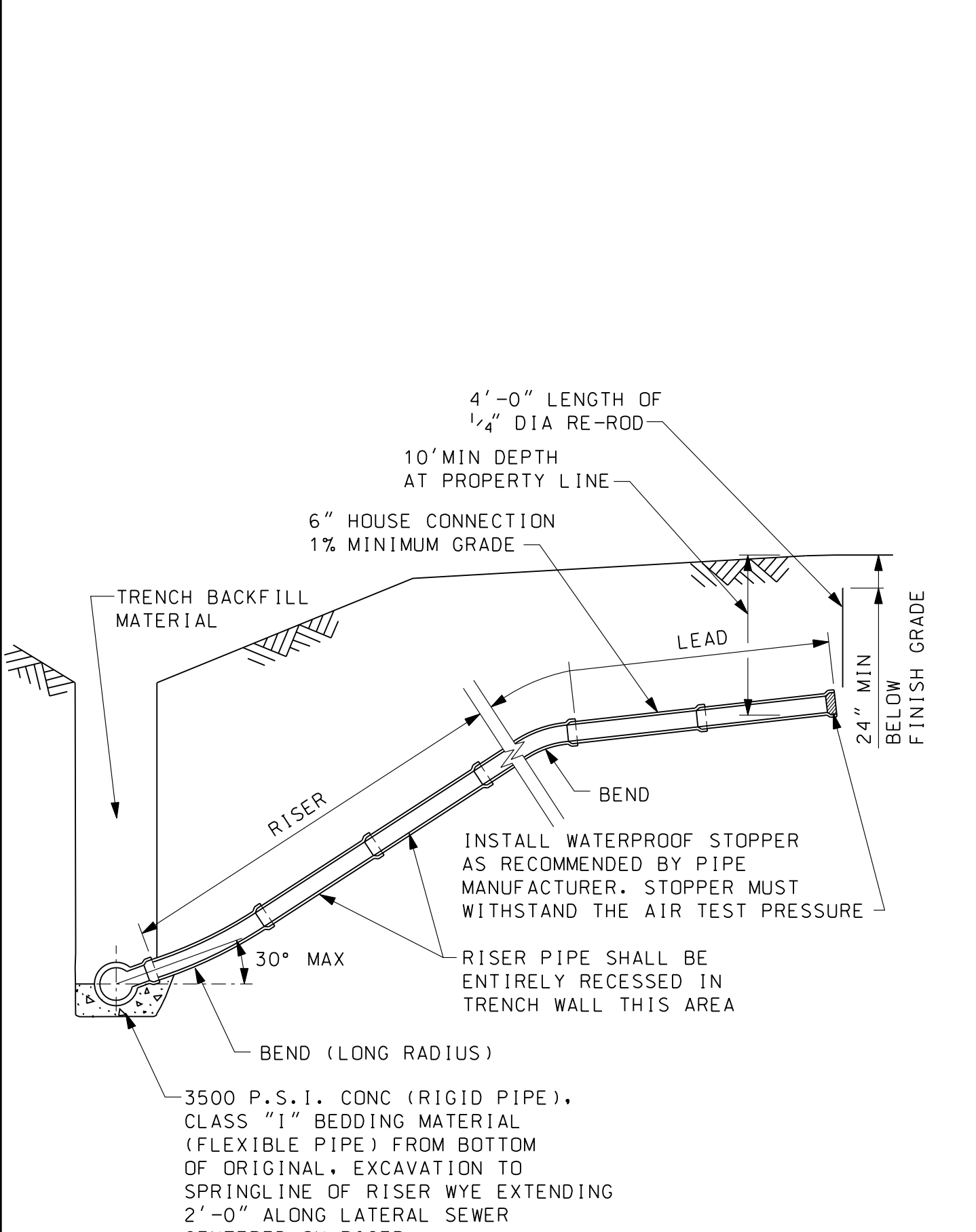
STANDARD SANITARY MANHOLE FOR SEWERS 21" THROUGH 42"



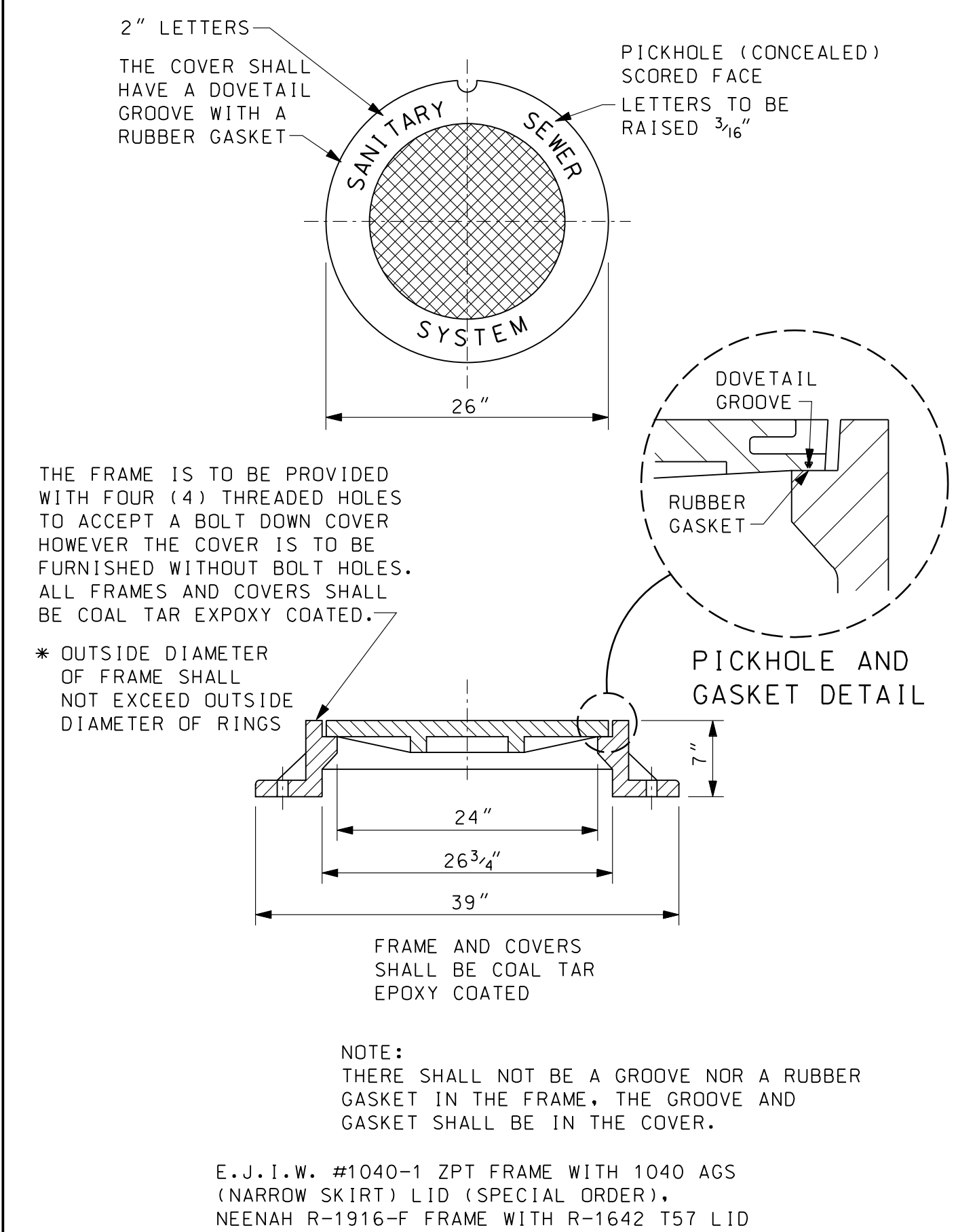
STANDARD CONNECTION TO EXISTING MANHOLE (WCD-7)



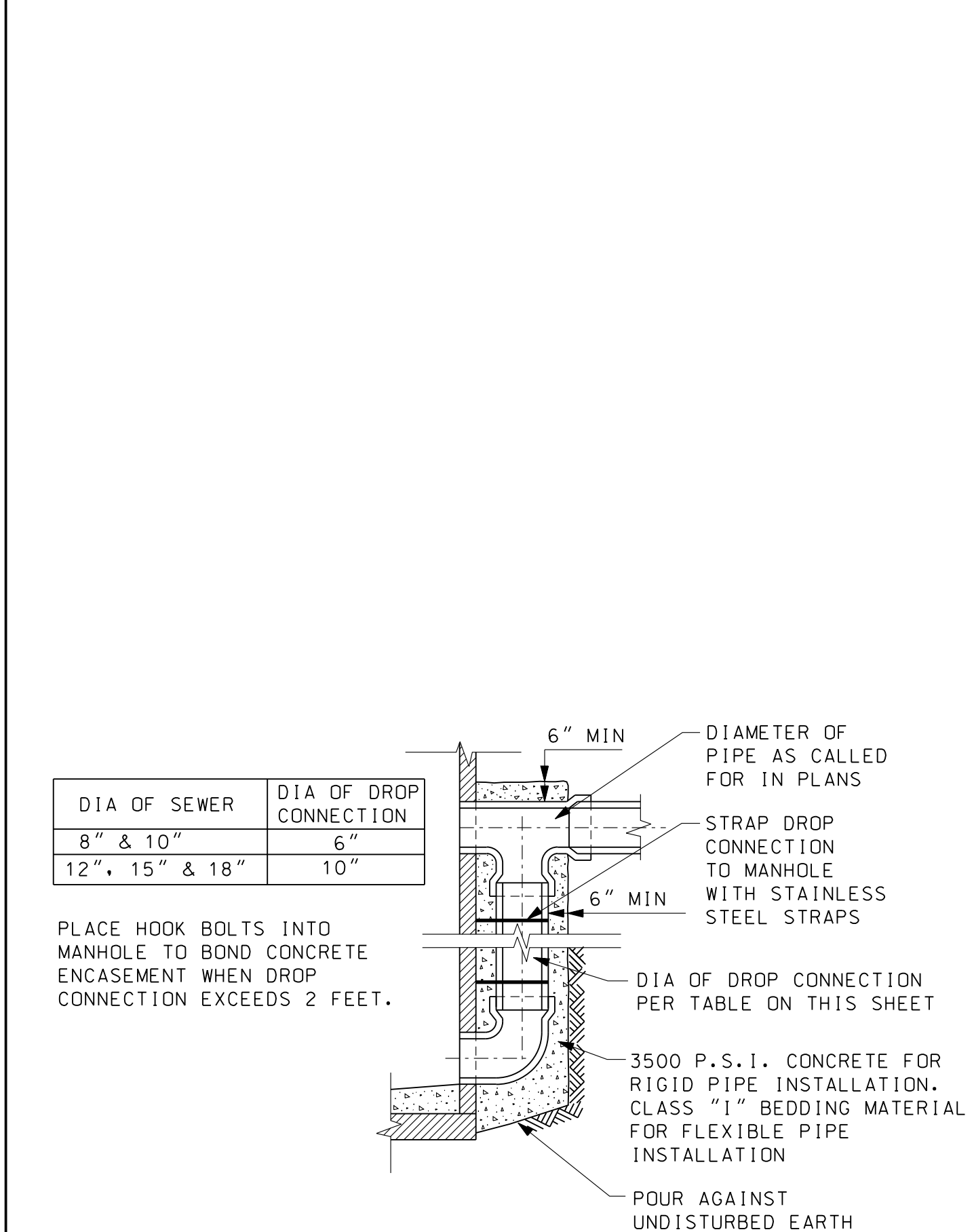
STANDARD SANITARY MANHOLE FOR 48" & LARGER SEWERS



RISER/LEAD DETAIL



STANDARD FRAME AND COVER



EXTERIOR DROP CONNECTION

PROJECT MANAGER: ... FIELD BOOK INFORMATION: ...

26251 Northline Rd.
PO Box 10
Taylor, MI 48180
www.wadetrims.com

WADE TRIM

NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND DATED

CITY OF PLYMOUTH
201 SOUTH MAIN STREET
PLYMOUTH, MICHIGAN 48170

STANDARD SANITARY SEWER DETAILS (SS-1)

ISSUED FOR: DATE: BY:

JOB NO.:

SHEET

SS-1

STANDARD SANITARY SEWER DETAILS (SS-1 OF 2)

SANITARY SEWER NOTES

- ALL SEWER SYSTEM CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND GENERAL SPECIFICATION OF THE COMMUNITY SEWER DEPARTMENT AND ANY OTHER AGENCY HAVING JURISDICTION OF THE CONSTRUCTION AREA.
- DETAILS ARE FOR STRUCTURES WITH NO MORE THAN TWO PIPES ENTERING, 180° APART. LARGER DIAMETER STRUCTURES MAY BE REQUIRED FOR DIFFERENT CONFIGURATIONS.
- THE MANHOLE STRUCTURE REQUIRES A MINIMUM OF 8 INCHES OF CONCRETE WALL BETWEEN PIPE OPENINGS. LARGER DIAMETER STRUCTURES MAY BE REQUIRED WHERE PIPE ENTERING THE STRUCTURE ARE LESS THAN 90° APART IN ANY DIRECTION.
- CONSTRUCTION SHALL NOT COMMENCE WITHOUT A REPRESENTATIVE OF THE OWNER PRESENT.
- ALL MANHOLES SHALL USE ECCENTRIC CONES PLACED WITH STEPS AWAY FROM THE ROAD UNLESS DIRECTED OTHERWISE.
- ALL MANHOLES SHALL BE PROVIDED WITH WATER TIGHT MANHOLE COVERS AND RIMS SHALL BE SET TO GRADE OR AS INDICATED ON THE PLANS.
- ALL PRECAST PRODUCTS SHALL CONFORM TO THE REQUIRMENTS OF ASTM C-478.
- DIFFERENTIAL OF EXCAVATION AROUND EXISTING MANHOLES SHALL NOT EXCEED SIX FEET.
- EXTERIOR DROP CONNECTIONS ARE REQUIRED WHENEVER A SEWER INVERT IS 2.0 FEET OR GREATER ABOVE THE MANHOLE FLOW CHANNEL INVERT. INTERIOR DROP CONNECTIONS ARE NOT ALLOWED.
- NO SEWERS SHALL BE CONSTRUCTED LESS THAN 10-INCH DIAMETER WITHOUT SPECIFIC APPROVAL OF THE COMMUNITY SEWER DEPARTMENT.
- ALL RIGID SANITARY SEWER PIPE SHALL BE CLASS "R-B" BEDDING, ALL FLEXIBLE PIPE SHALL BE CLASS "F-1" BEDDING, UNLESS OTHERWISE NOTED ON THE PLANS. SEE SHEET MD1.
- PLACE ONE 6-INCH WYE FOR EACH LOT OR PARCEL 100 FEET OR LESS IN WIDTH OR EVERY 100 FEET FOR LOTS OR PARCELS IN EXCESS OF 100 FEET ON SANITARY SEWERS UNLESS OTHERWISE NOTED.
- NO CONNECTION RECEIVING STORM WATER, SURFACE WATER, OR GROUND WATER SHALL BE MADE TO SANITARY SEWERS.
- NO FOOTING DRAINS SHALL BE CONNECTED TO THE BUILDINGS SANITARY SEWER.
- RISERS ON SANITARY SEWERS SHALL BE INSTALLED TO A DEPTH OF 10 FEET WHERE SEWER IS OVER 12 FEET.
- PRIOR TO THE BACKFILLING OF A SERVICE LEAD, A 2" BY 2" PIECE OF WOOD SHALL BE PLACED FROM A POINT IMMEDIATELY IN FRONT OF THE SERVICE CONNECTION TO 2-FOOT BELOW THE FINISH GROUND SURFACE. DO NOT REST THE MARKER ON ANY PORTION OF THE SERVICE CONNECTION OR STOPPER.

SANITARY SEWER NOTES

CONTINUED

- ALL STUBS SHALL HAVE A WATER TIGHT BULKHEAD.
- INFILTRATION FOR ANY SECTION OF SEWERS BETWEEN MANHOLES SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF SEWER PER 24 HOURS AND SHALL INCLUDE THE INFILTRATION FROM ALL MANHOLES AND OTHER APPURTENANCES.
- ALL SEWERS SHALL BE SUBJECTED TO AIR, INFILTRATION OR EXFILTRATION TESTS, OR A COMBINATION OF SAME, PRIOR TO ACCEPTANCE. ALL SEWERS OVER 24-INCH DIAMETER SHALL BE SUBJECTED TO INFILTRATION TESTS. ALL SEWERS OF 24-INCH DIAMETER OR SMALLER, WHERE THE GROUND WATER LEVEL ABOVE THE TOP OF THE SEWER IS OVER SEVEN FEET, SHALL BE SUBJECTED TO INFILTRATION TESTS. ALL SEWERS OF 24-INCH DIAMETER OR LESS, WHERE THE GROUND WATER LEVEL ABOVE THE TOP OF THE SEWER IS SEVEN FEET OR LESS, SHALL BE SUBJECTED TO AIR TESTS OR EXFILTRATION TESTS.
- THE PROCEDURE FOR AIR TESTING OF SEWERS SHALL BE IN ACCORDANCE WITH ASTM C828, ASTM C924, OR ASTM F1417 AS APPLICABLE.
- NINE POINT MANDREL TEST IS REQUIRED FOR ALL FLEXIBLE PIPES AND MAY NOT BE PERFORMED UNTIL 30 DAYS AFTER INSTALLATION.
- IF A SEWER FAILS TO PASS ANY OF THE PREVIOUSLY DESCRIBED TESTS, THE CONTRACTOR SHALL DETERMINE THE LOCATION OF THE LEAKS, REPAIR THEM, AND RETEST THE SEWER. THE TEST SHALL BE REPEATED UNTIL SATISFACTORY RESULTS ARE OBTAINED. TELEVISION INSPECTION SHALL BE CONSIDERED COMPLETED WHEN THE NECESSARY CONSTRUCTION REPAIRS HAVE BEEN MADE AND THE INSTALLATION RETELEVISIONED AND THE SYSTEM IS ACCEPTABLE FOR THE TESTING PHASE.
- THE CONTRACTOR SHALL PROVIDE FOR TELEVISION INSPECTION OF THE SANITARY SEWER LINES. ALL SANITARY LEADS FOR COMMERCIAL AND INDUSTRIAL SITES OVER 100 FEET IN LENGTH MUST BE AIR TESTED AND TELEVISION INSPECTION COMPLETED.
- ALL SEWER SHALL BE TELEVISIONED, WITH RESULTS APPROVED BY THE COMMUNITY PRIOR TO PLACING THE SEWER IN SERVICE. COPIES OF THE TELEVISION RECORDING (DVD FORMAT) NEED TO GO TO THE COMMUNITY AND THE ENGINEER PRIOR TO THE CONTRACTOR LEAVING THE SITE. THE TELEVISION INSPECTION MUST BE WITNESSED BY THE OWNERS REPRESENTATIVE.
- THE CONTRACTOR SHOULD ARRANGE FOR, ENGAGE, AND PAY ALL EXPENSES INVOLVED FOR THE SERVICES OF A COMPETENT COMPANY TO PERFORM THIS TELEVISION INSPECTION.
- THE TELEVISION INSPECTION SHALL BE OBSERVED BY REPRESENTATIVES OF THE OWNER, ENGINEER, AND THE CONTRACTOR. ANY TELEVISION VIEWING PERFORMED IN THE ABSENCE OF THE ENGINEER WILL NOT BE CONSIDERED AS A PART OF THE FINAL INSPECTION.

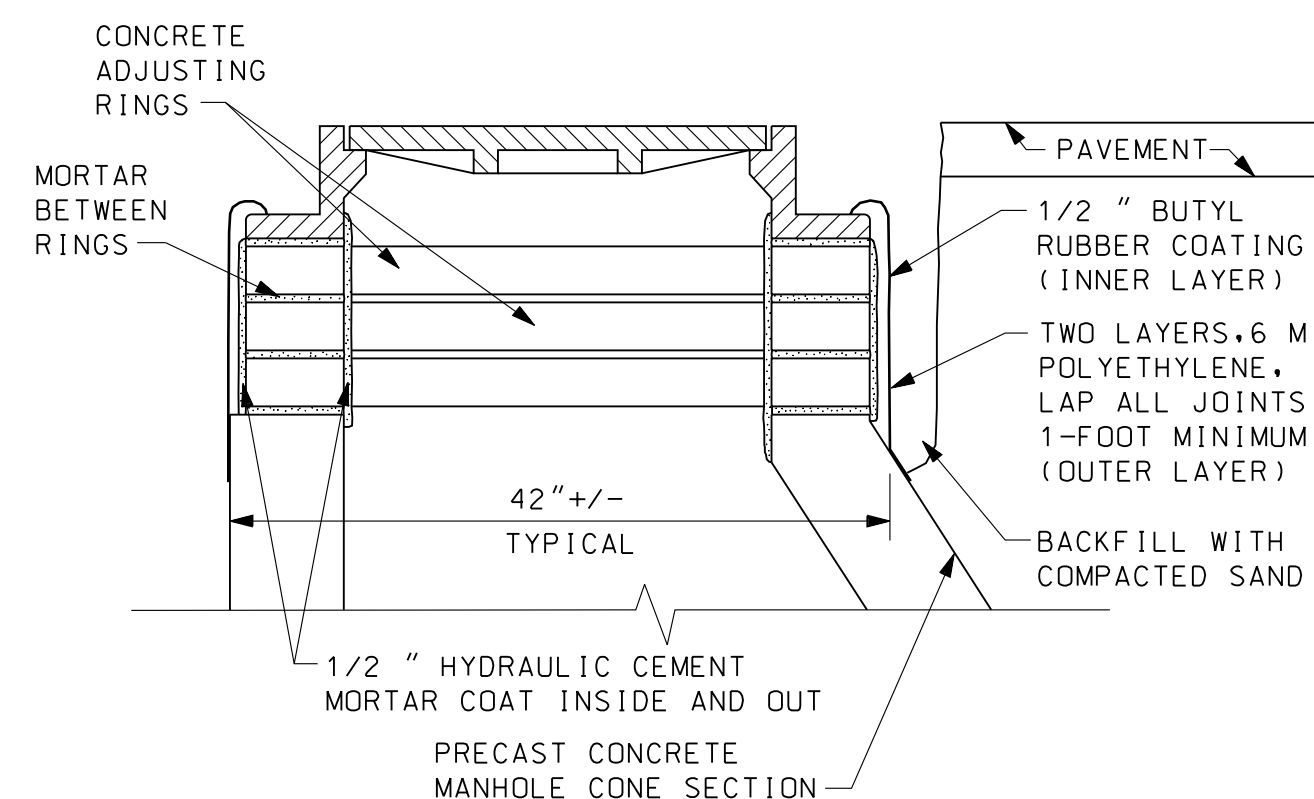
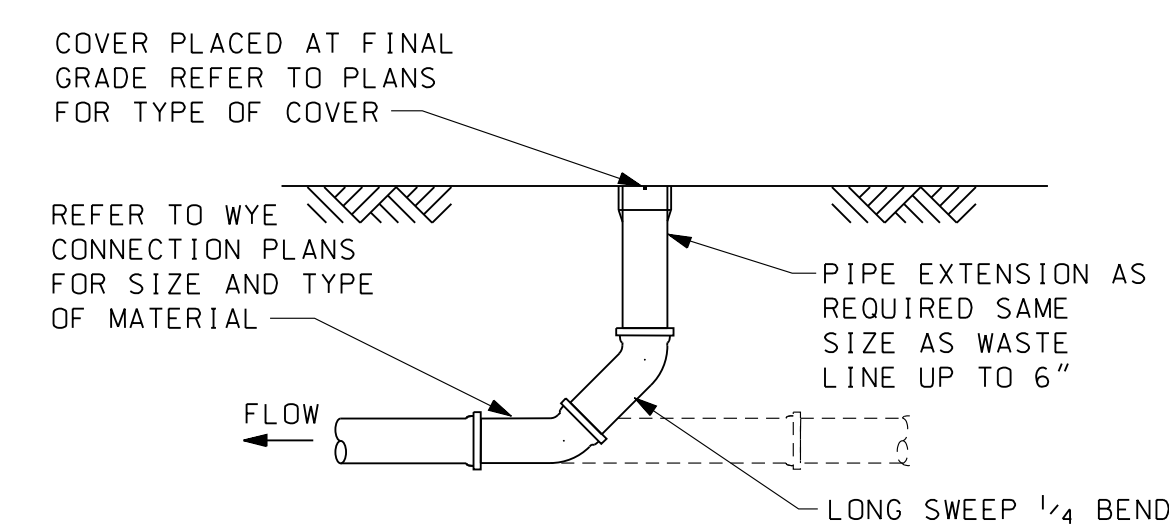
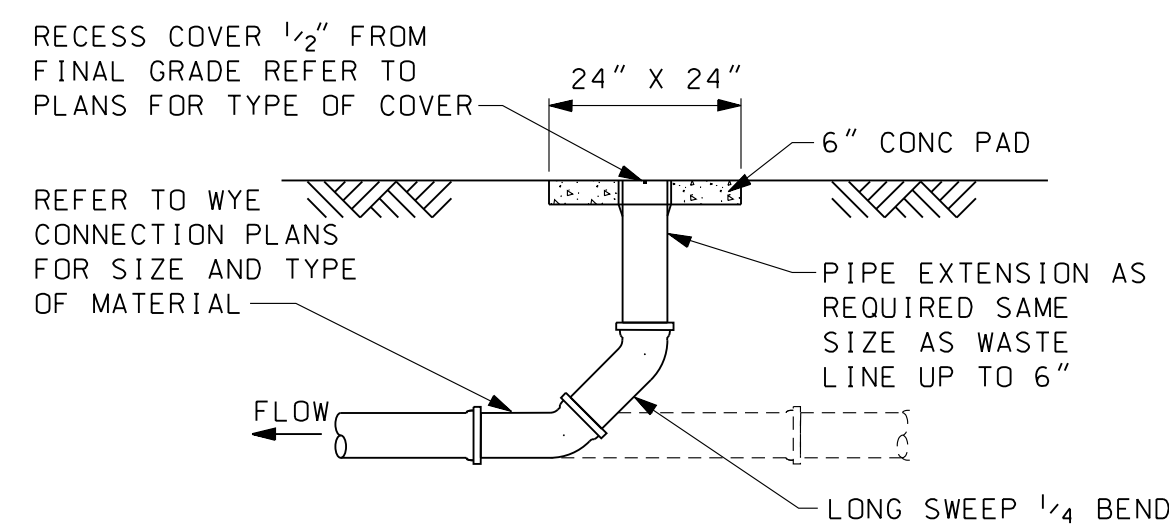
SANITARY SEWER NOTES

CONTINUED

- THE INSPECTION SHALL INVOLVE THE VISUAL OBSERVATION BY CLOSED CIRCUIT TELEVISION OF ALL SANITARY SEWER INSTALLED AS PART OF THIS CONTRACT. THE INSPECTION SHALL BE PERFORMED AT A RATE OF SPEED WHICH WILL ALLOW EXAMINATION OF ALL POINTS OF INFILTRATION, CRACKED OR CRUSHED PIPE, DEFECTIVE JOINTS, MISALIGNMENT IN LINE OR GRADE, LOCATION OF ALL WYE OPENINGS AND ANY DEFECTS OR ITEMS OF POOR WORKMANSHIP WHICH MAY APPEAR. ANY ITEMS WHICH, IN THE OPINION OF THE ENGINEER, REQUIRE REPAIR SHALL BE PRECISELY LOCATED AND PHOTOGRAPHED ALONG WITH A DETAILED STATEMENT OF THE CONDITION. THE CONTRACTOR SHALL TAKE IMMEDIATE ACTION TO REPAIR ALL SUCH DEFECTS INCLUDING EXCESSIVE INFILTRATION AT ANY SPECIFIC LOCATION. EVEN THOUGH THE INFILTRATION LIMITS AS HEREIN SPECIFIED HAVE NOT BEEN EXCEEDED FOR THE ENTIRE LENGTH OF SEWER BEING INSPECTED. FOLLOWING COMPLETION OF THE REPAIR, THE ENGINEER AT THEIR DISCRETION, MAY REQUIRE A SECOND TELEVISION INSPECTION OF ANY REPAIRED AREAS. THE CONTRACTOR SHALL ARRANGE FOR AND PAY ALL COSTS INVOLVED IN PERFORMING THIS RE-INSPECTION.
- THERE SHALL BE NO DISCHARGE OF UNTREATED SANITARY SEWAGE TO THE SURFACE WATERS OF THE STATE DUE TO CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
- CONTRACTOR SHALL NOTIFY WAYNE COUNTY DEPARTMENT OF PUBLIC SERVICES, ENGINEERING DIVISION, PERMIT OFFICE, 48 HOURS PRIOR TO START OF CONSTRUCTION [(734) 595-6504 X 2009], IF THE CONSTRUCTION IS WITHIN A WAYNE COUNTY RIGHT-OF-WAY.

PLYMOUTH NOTES

- THE SANITARY SEWER PIPE IS TO BE ASTM C-76 CL-IV R.C.P. OR C-700 E.S. V.C.P. OR FOR INDUSTRIAL USE AND PVC TRUSS WITH RUBBER GASKET JOINTS OR ABS TRUSS MEETING ASTM D2680 FOR RESIDENTIAL/COMMERCIAL USE.
- THE 6-INCH SANITARY LEAD WILL BE C-700 E.S. V.C.P. FOR INDUSTRIAL USE OR SDR 23.5 FOR RESIDENTIAL/COMMERCIAL USE.
- BULKHEADS ARE TO BE PLACED IN THE EXISTING SEWERS AND WHERE THE NEW SEWER WILL CONNECT TO IT. THE BULKHEADS ARE NOT TO BE REMOVED UNTIL THE SEWERS HAVE BEEN ACCEPTED BY THE CITY OF PLYMOUTH.



NOTE:
THIS DETAIL TO BE USED IN CONCRETE OR BITUMINOUS PAVED AREAS. ALL OTHER AREAS SHALL USE BOLT DOWN FRAMES WITH RUBBER O-RINGS AS SHOWN ON MANHOLE DETAILS.

EXTERNAL FRAME SEAL DETAIL
FOR PAVED AREAS ONLY

| REV# | DATE | DESCRIPTION | BY |
|------|------|-------------|----|
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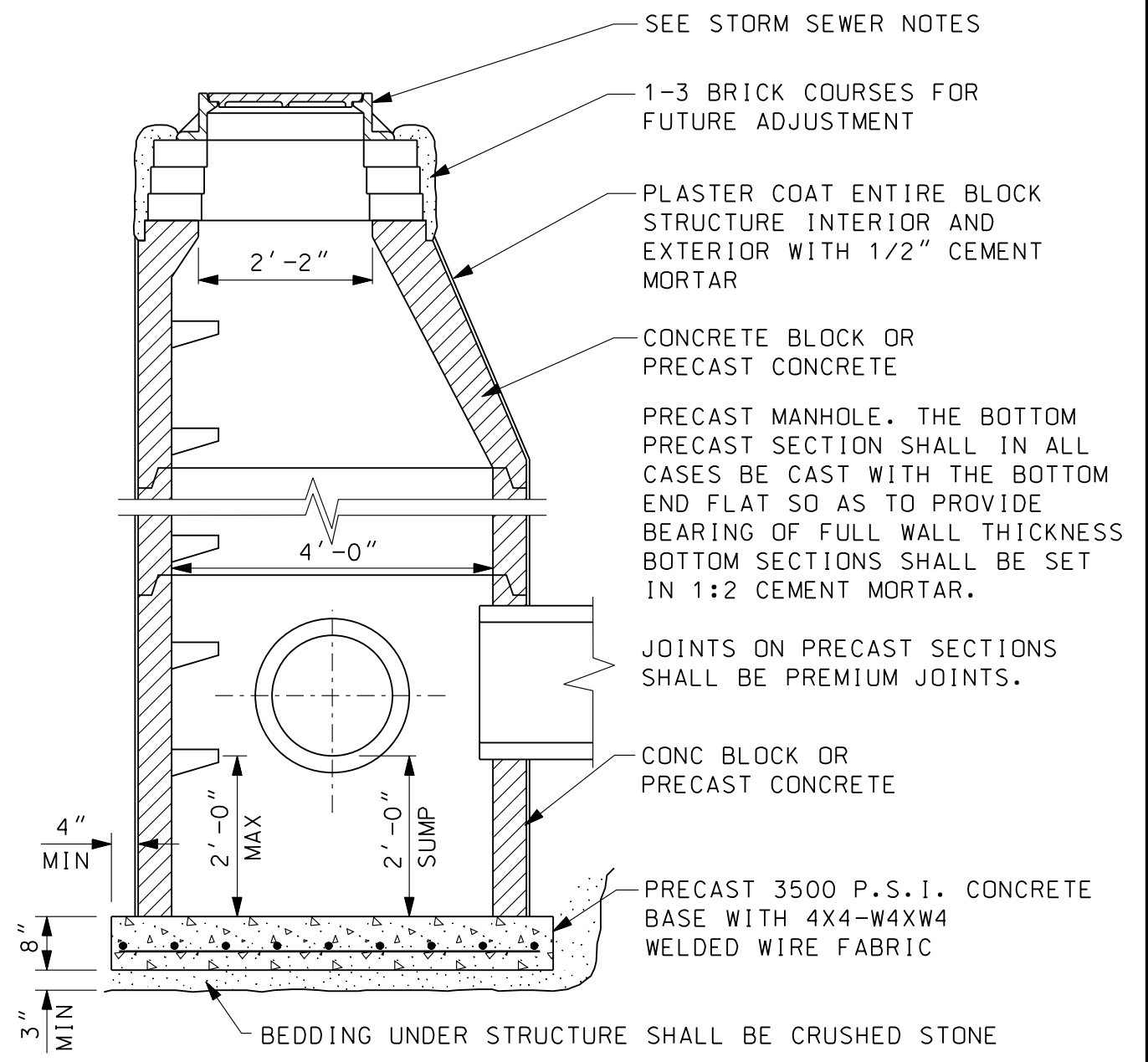
NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND DATED.

2655 Northline Rd.
Taylor, MI 48180
734.947.9700
www.wadetrिम.com

WADE TRIM

CITY OF PLYMOUTH
201 SOUTH MAIN STREET
PLYMOUTH, MICHIGAN 48170
STANDARD SANITARY SEWER DETAILS (SS-2)

| | | |
|-------------|-------|-----|
| ISSUED FOR: | DATE: | BY: |
| | | |
| JOB NO. | | |
| | | |
| SHEET | | |
| SS-2 | | |



SEE STORM SEWER NOTES

1-3 BRICK COURSES FOR FUTURE ADJUSTMENT

PLASTER COAT ENTIRE BLOCK STRUCTURE INTERIOR AND EXTERIOR WITH 1/2" CEMENT MORTAR

CONCRETE BLOCK OR PRECAST CONCRETE

PRECAST MANHOLE. THE BOTTOM PRECAST SECTION SHALL IN ALL CASES BE CAST WITH THE BOTTOM END FLAT SO AS TO PROVIDE BEARING OF FULL WALL THICKNESS. BOTTOM SECTIONS SHALL BE SET IN 1:2 CEMENT MORTAR.

JOINTS ON PRECAST SECTIONS SHALL BE PREMIUM JOINTS.

CONC BLOCK OR PRECAST CONCRETE

PRECAST 3500 P.S.I. CONCRETE BASE WITH 4X4-W4XW4 WELDED WIRE FABRIC

BEDDING UNDER STRUCTURE SHALL BE CRUSHED STONE

M.H. STEPS SHALL BE SPACED AS FOLLOWS:
 CONC BLK. M.H. 18" CENTERS
 PRECAST M.H. 16" CENTERS

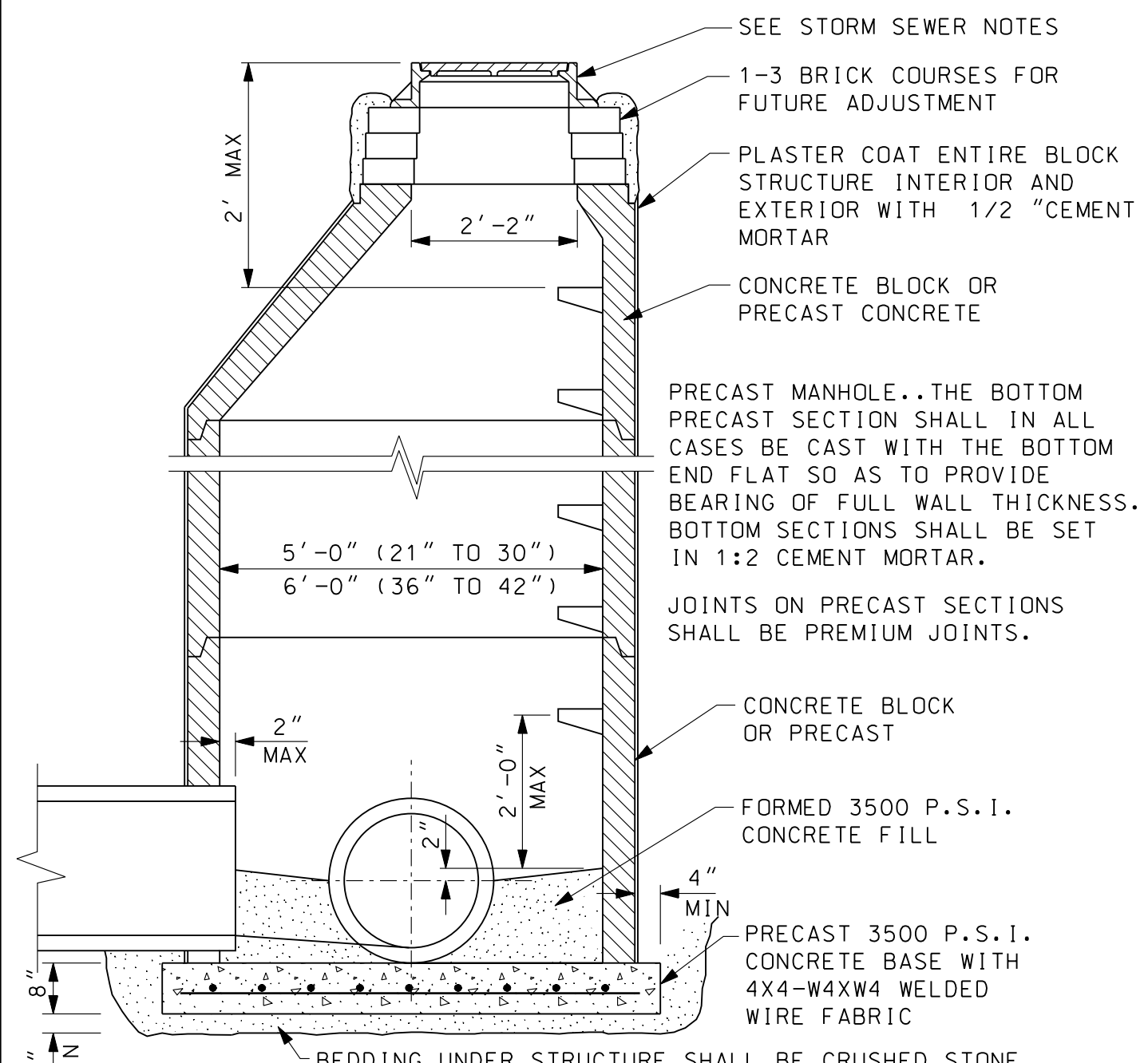
TOP STEP TO BE 24" MAX BELOW TOP OF FRAME

MIN CONE HEIGHTS AS FOLLOWS:
 BLOCK CONCENTRIC 3'-0"
 PRECAST ECCENTRIC 2'-8" OR 3'-4"

CONC BLOCK MANHOLE:
 APPROVED CONC BLOCK
 USE 6" OR 8" MIN THICK BLOCK TO 16' DEPTH USE 12" MIN THICK BLOCK TO 24' DEPTH 16" MIN BLOCK WALL BELOW 24' DEPTH

PRECAST MANHOLE:
 ASTM C-478 UP TO 32' DEEP WITH 5" MIN THICK WALL

STANDARD STORM MANHOLE FOR SEWERS WITH OUTLETS OF 18" & UNDER
N.T.S.



SEE STORM SEWER NOTES

1-3 BRICK COURSES FOR FUTURE ADJUSTMENT

PLASTER COAT ENTIRE BLOCK STRUCTURE INTERIOR AND EXTERIOR WITH 1/2" CEMENT MORTAR

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JOINTS ON PRECAST SECTIONS SHALL BE PREMIUM JOINTS.

CONCRETE BLOCK OR PRECAST

FORMED 3500 P.S.I. CONCRETE FILL

PRECAST 3500 P.S.I. CONCRETE BASE WITH 4X4-W4XW4 WELDED WIRE FABRIC

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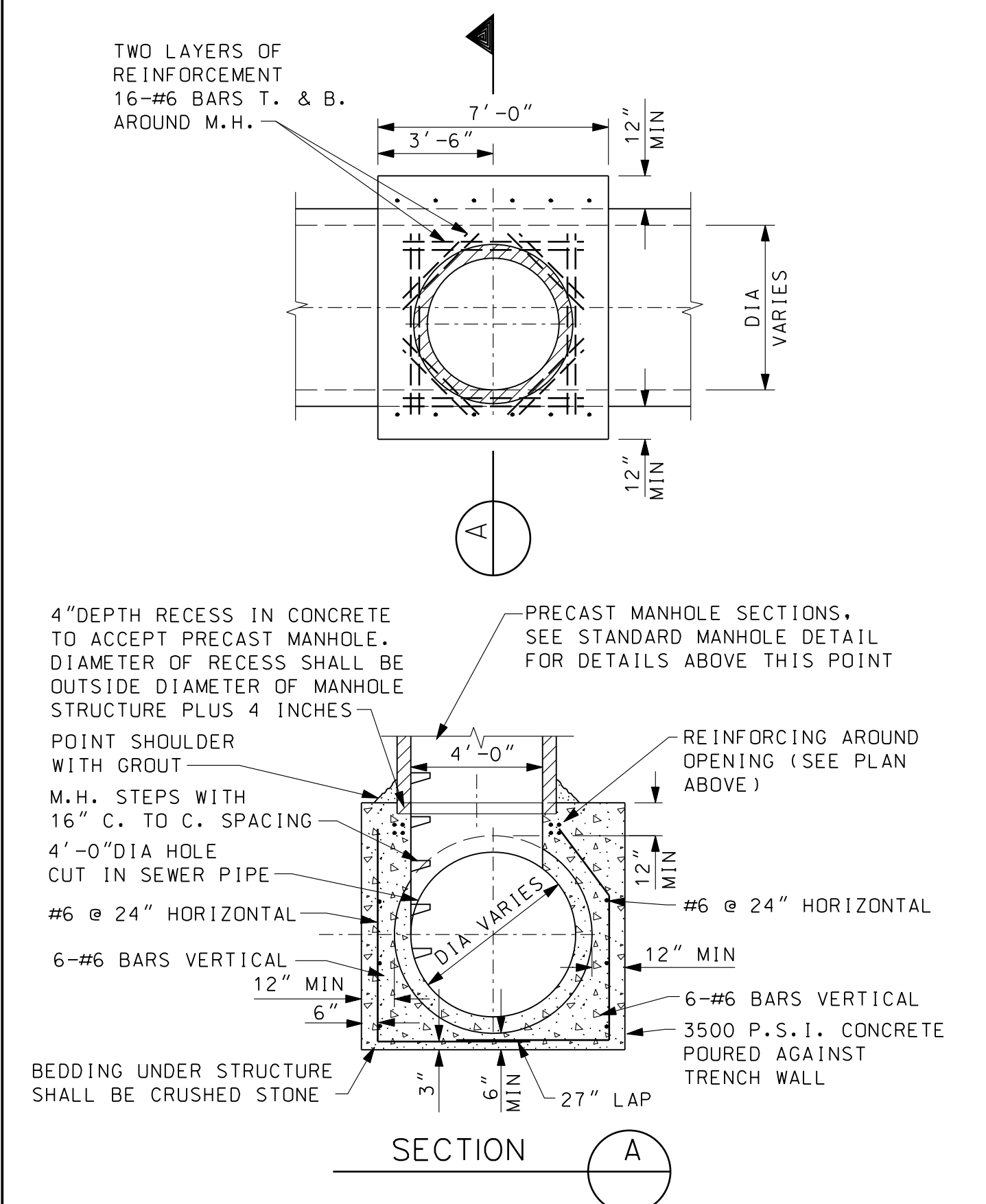
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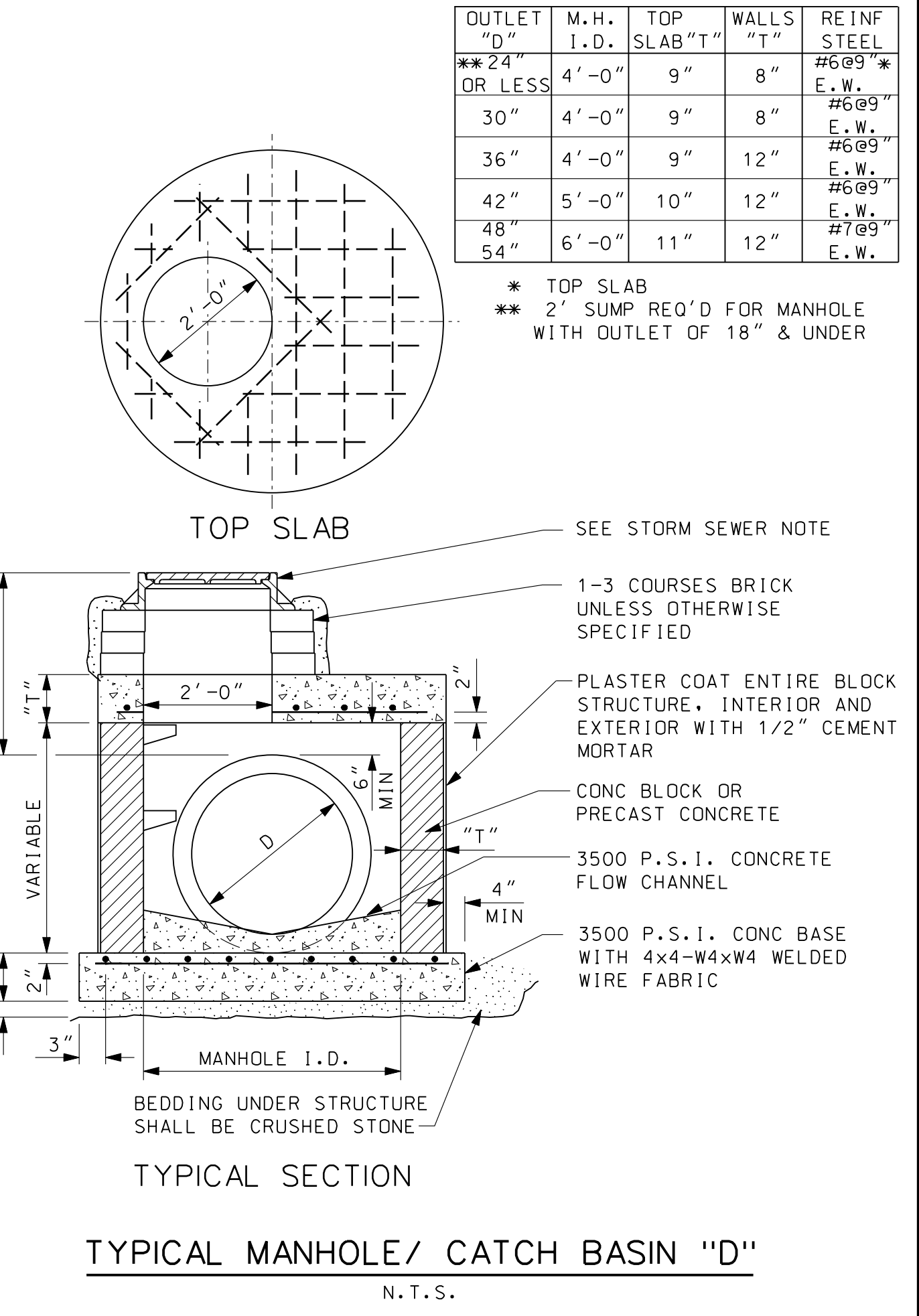
STANDARD STORM MANHOLE FOR SEWERS 21" TO 42"
N.T.S.



STANDARD STORM MANHOLE FOR 48" & LARGER SEWERS
N.T.S.

- STORM SEWER NOTES**
- ALL STORM SEWER CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND GENERAL SPECIFICATION OF THE AGENCY OR AGENCIES HAVING JURISDICTION OF THE STORM SEWER AND CONSTRUCTION AREA.
 - DETAILS ARE FOR STRUCTURES WITH NO MORE THAN TWO PIPES. 180° APART. LARGER DIAMETER STRUCTURES MAY BE REQUIRED FOR DIFFERENT CONFIGURATIONS.
 - ALL STRUCTURES REQUIRE A MINIMUM OF 8-INCHES OF WALL BETWEEN PIPE OPENINGS. LARGER DIAMETER STRUCTURES MAY BE REQUIRED WHERE PIPE ENTERING THE STRUCTURE ARE LESS THAN 90° APART IN ANY DIRECTION.
 - ALL CASTING RIMS SHALL BE SET TO GRADE OR AS SHOWN ON THE PLANS.
 - NO MANHOLES OR OTHER STRUCTURES MAY BE INSTALLED WITHIN DRIVEWAYS, DRIVE APPROACHES, OR SIDEWALKS.
 - ALL CATCH BASIN STORM PIPE SHALL BE 12-INCH DIAMETER C76, CL-IV CONCRETE UNLESS OTHERWISE NOTED.
 - MANHOLE STEPS TO BE GRAY IRON OR STEEL REINFORCED POLYPROPYLENE ASTM 2146, TYPE II, GRADE 49108.
 - CATCH BASIN AND INLET FRAME AND COVERS SHALL BE SPECIFIED AS FOLLOWS:
 - WHEN LOCATED IN PAVEMENT GUTTER LINE, FRAME AND COVER SHALL BE E.J.I.W. NO. 5080, NEENAH R-3448-C TYPE "A" (RECTANGULAR), OR EQUIV.
 - WHEN LOCATED IN PAVED AREAS OTHER THAN GUTTER LINE, FRAME SHALL BE E.J.I.W. NO. 1040 WITH TYPE "M1" COVER, NEENAH R-2370 TYPE "G" COVER, OR EQUIV.
 - WHEN LOCATED IN YARD AREAS, FRAMES SHALL BE E.J.I.W. NO. 1000 WITH TYPE "N" OR "M" COVER, NEENAH R-2370 TYPE "D" OR "B" COVER, OR EQUIV.
 - MANHOLE FRAME AND COVER SHALL BE E.J.I.W. NO. 1040 OR NEENAH R-1642 WITH SOLID COVER OR EQUAL.
 - DIFFERENTIAL OF EXCAVATION AROUND EXISTING MANHOLES SHALL NOT EXCEED SIX FEET.
 - PLACE SAND BACKFILL WITHIN THREE FEET OF ALL STRUCTURES.
 - ALL STORM SEWER PIPE SHALL HAVE CLASS "R-B" BEDDING UNLESS OTHERWISE NOTED ON THE PLANS. SEE SHEET MD1 FOR BEDDING DETAILS.
 - ALL PRECAST PRODUCTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-478.
 - ALL DRAINAGE STRUCTURES LOCATED WITHIN PAVEMENT MUST HAVE UNDER DRAIN AS SHOWN.

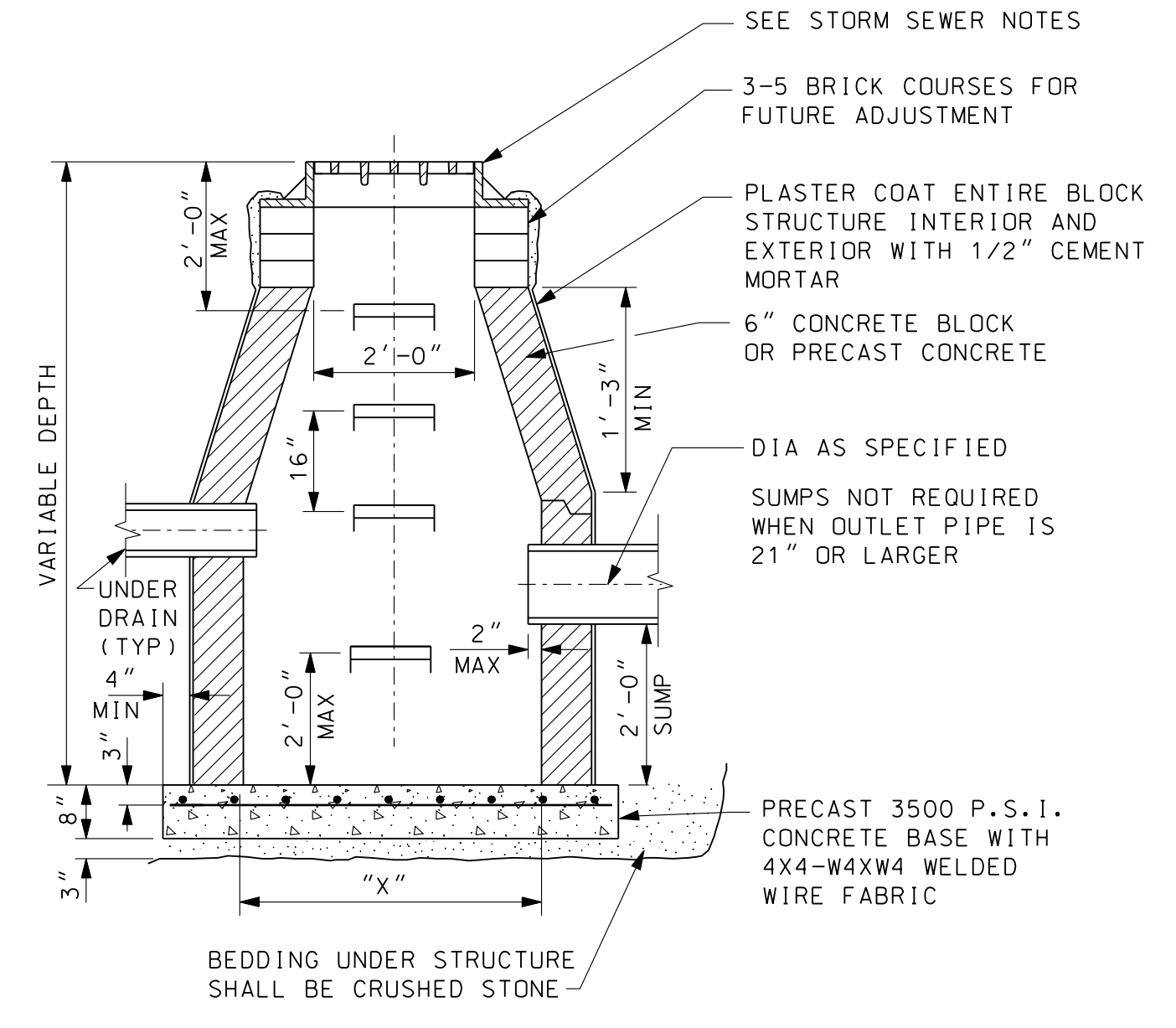
- PLYMOUTH NOTES**
- STORM SEWER THAT IS 12 INCHES AND LARGER SHALL BE C-76 R.C.P. WITH PREMIUM JOINTS.
 - THE REAR YARD STORM PIPE WHICH DOES NOT TRAVERSE PAVED AREAS MAY BE 8-INCH DIAMETER SOLID WALL, PVC OR ABS TRUSS OR PVC TRUSS PIPE.
 - BACKFILL FOR ALL REAR YARD STORM IS TO BE NATURAL BANK RUN SAND MDOT CL-II GRANULAR MATERIAL OR 3/4 INCH CRUSHED STONE TO A MINIMUM OF 12 INCHES OVER PIPE.
 - EVERY LOT IS TO HAVE DIRECT ACCESS TO A DRAINAGE STRUCTURE.
 - THE STORM SEWER WILL NOT BE CONSIDERED SUBSTANTIALLY COMPLETE UNTIL THE DETENTION POND HAS BEEN COMPLETED. THIS INCLUDES FINAL GRADING OF THE POND AND STABILIZATION OF THE SIDE SLOPES. THE SIDE SLOPES MUST BE STABILIZED BY SODDING OR BY PLACING A MULCH BLANKET PEGGED IN PLACE OVER SEED.
 - COVER FOR ON-LINE CATCH BASIN SHALL BE EJIW 1000 SERIES WITH TYPE N COVER OR NEENAH 2077-B WITH TYPE B COVER.
 - SUMP PUMP LEADS ARE TO BE A MINIMUM OF 3-INCH SCHEDULE 30 PVC.



| OUTLET "D" OR LESS | M.H. I.D. | TOP SLAB "T" | WALLS "T" | REINF STEEL |
|--------------------|-----------|--------------|-----------|-------------|
| **24" | 4'-0" | 9" | 8" | #6@9" E.W. |
| 30" | 4'-0" | 9" | 8" | #6@9" E.W. |
| 36" | 4'-0" | 9" | 12" | #6@9" E.W. |
| 42" | 5'-0" | 10" | 12" | #6@9" E.W. |
| 48" | 6'-0" | 11" | 12" | #7@9" E.W. |
| 54" | 6'-0" | 11" | 12" | #7@9" E.W. |

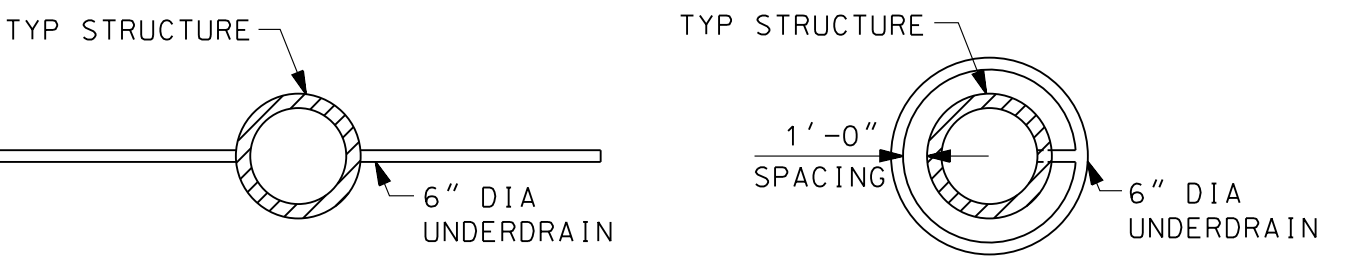
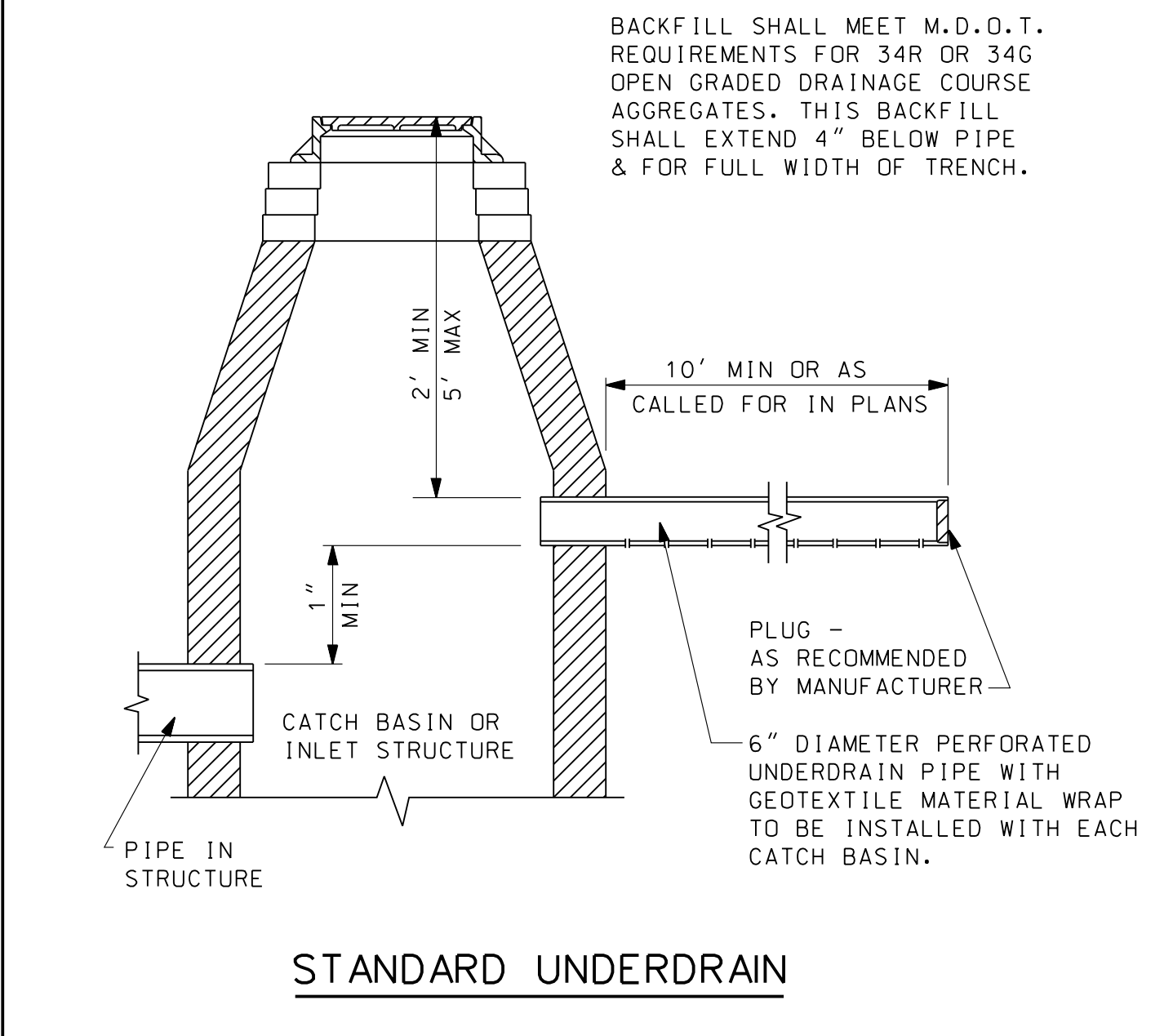
* TOP SLAB
 ** 2' SUMP REQ'D FOR MANHOLE WITH OUTLET OF 18" & UNDER

TYPICAL MANHOLE/ CATCH BASIN "D"
N.T.S.



| DIAMETER OF OUTLET PIPE | "X" INSIDE DIA. |
|-------------------------|-----------------|
| 12"-18" | 4'-0" MIN |
| 21"-30" | 5'-0" MIN |

STANDARD CATCH BASIN



TYPICAL UNDERDRAIN PARALLEL W/CURB
N.T.S.

TYPICAL UNDERDRAIN IN PARKING LOT
N.T.S.

PROJECT MANAGER: [Name] FIELD BOOK INFORMATION: [Name] STANDARD STORM SEWER DETAILS (ST-1) OF 2

26251 Northline Rd.
 PO Box 10
 Taylor, MI 48180
 www.wadeftrim.com

WADE TRIM

STANDARD STORM SEWER DETAILS (ST-1) OF 2

CITY OF PLYMOUTH
 201 SOUTH MAIN STREET
 PLYMOUTH, MICHIGAN 48170

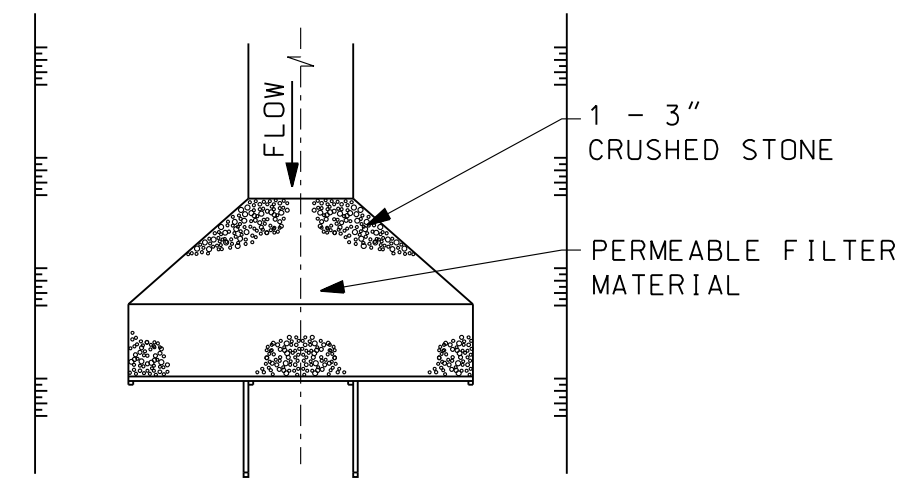
STANDARD STORM SEWER DETAILS (ST-1)

ISSUED FOR: DATE: BY:

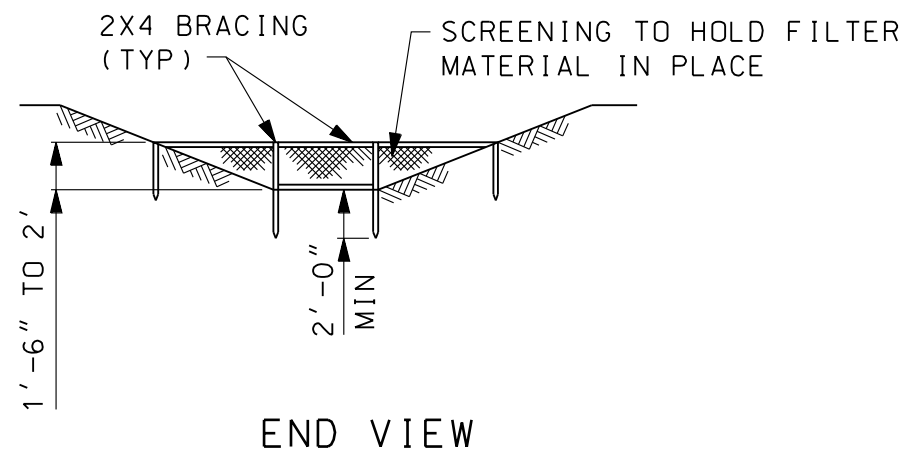
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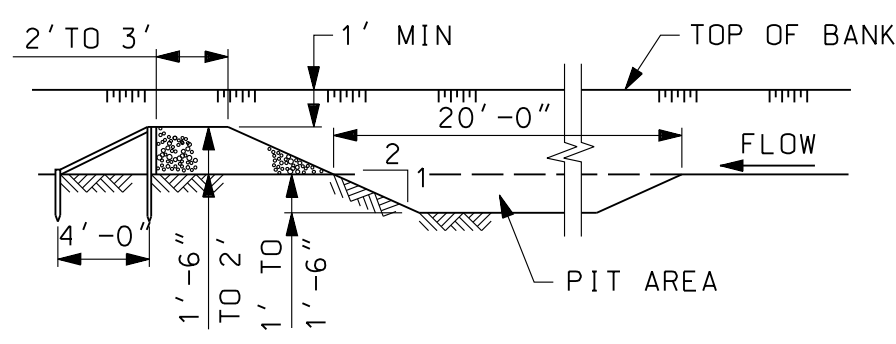
ST-1



PLAN VIEW



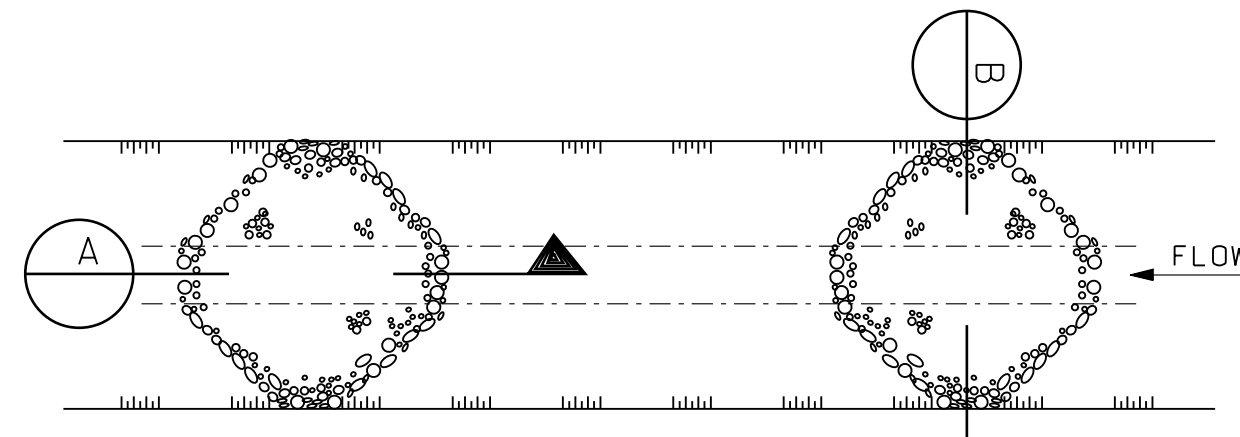
END VIEW



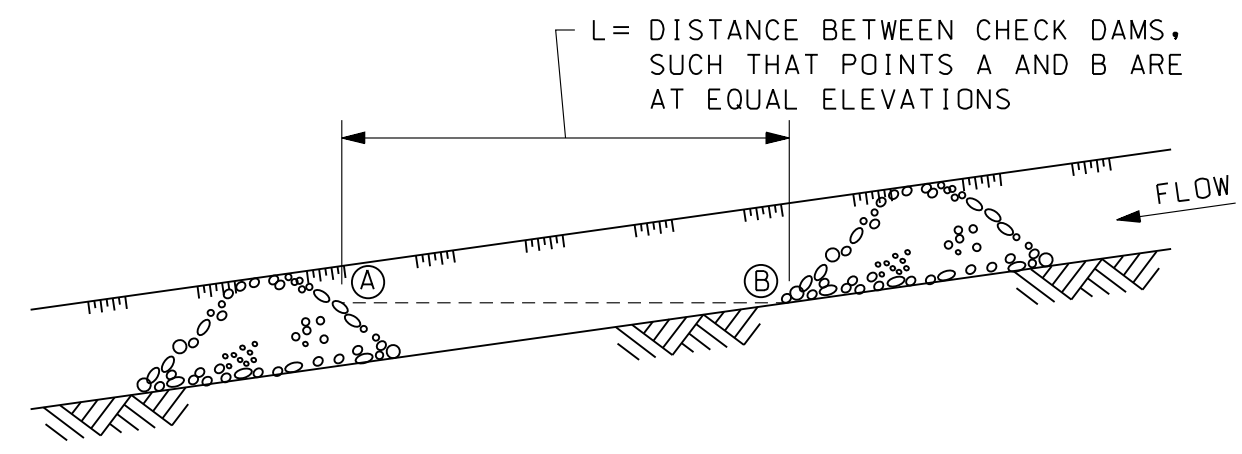
SECTION

- NOTES:
1. PLACE DITCH SEDIMENT TRAP PRIOR TO ON-SITE CONSTRUCTION WORK.
 2. MAINTAIN DITCH SEDIMENT TRAP IN GOOD OPERATION DURING PROJECT & REMOVE AT END OF PROJECT.
 3. CHANNEL TO BE RESTORED TO ORIGINAL CONDITION OR BETTER AS DIRECTED BY THE ENGINEER.
 4. CRUSHED STONE INCLUDED WITH DITCH SEDIMENT TRAP.

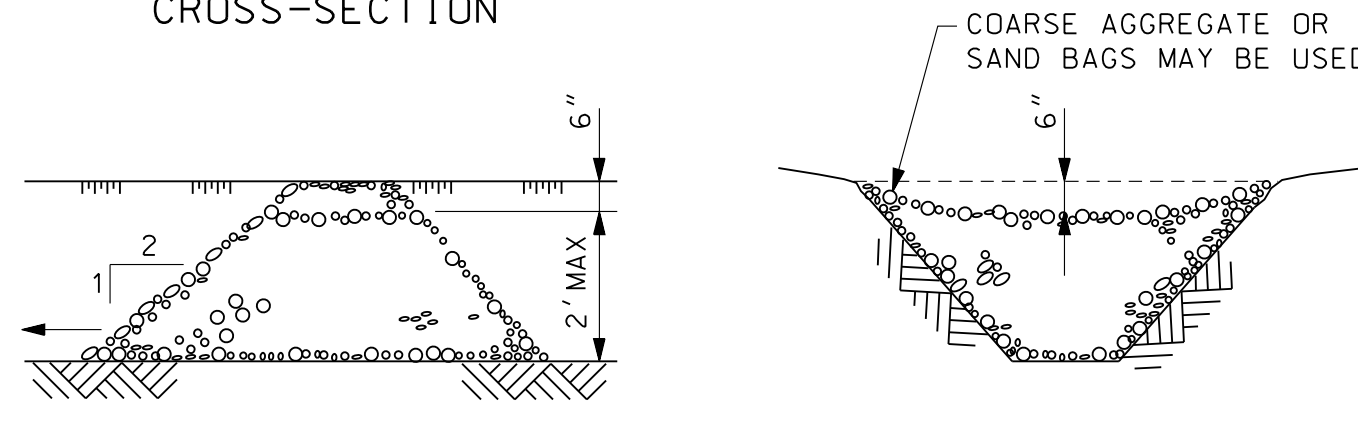
DITCH SEDIMENT TRAP
NOT TO SCALE



PLAN VIEW



CROSS-SECTION



SECTION A-A

SECTION B-B

- NOTE:
- CHECK DAMS GREATER THAN TWO FEET IN DEPTH MAY SERIOUSLY IMPACT THE FLOW CHARACTERISTICS OF THE DITCH.

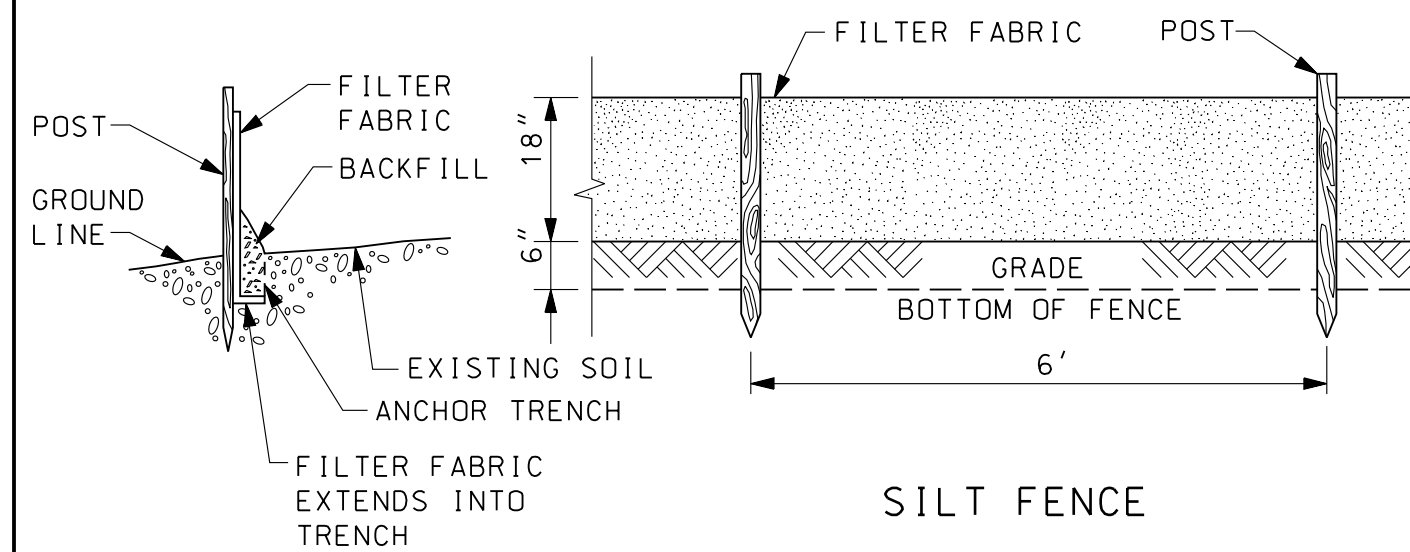
CHECK DAMS
NOT TO SCALE

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE AGENCY HAVING JURISDICTION.
2. ALL SOIL EROSION CONTROL MEASURES SHALL BE CHECKED A MINIMUM OF ONCE PER WEEK AND WITHIN A MINIMUM OF 24 HOURS AFTER EVERY RAINFALL. ANY SOIL EROSION CONTROL MEASURES DAMAGED OR RENDERED INEFFECTIVE SHALL BE IMMEDIATELY REPAIRED OR REMOVED AND REPLACED AT NO ADDITIONAL COST.
3. EROSION AND ANY SEDIMENT FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MANMADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, AND PONDS.
4. ALL SOIL EROSION AND SEDIMENTATION CONTROL (SESC) DEVICES SHALL BE INSTALLED PRIOR TO CONTRACTOR BEGINNING ANY WORK. ALL SESC DEVICES SHALL BE MAINTAINED IN AN EFFECTIVE, FUNCTIONING CONDITION AT ALL TIMES DURING THE COURSE OF THE WORK. ALL TEMPORARY SESC DEVICES SHALL BE REMOVED AND THE AREA RESTORED AFTER THE PERMANENT SESC MEASURES ARE INSTALLED AND FUNCTIONING.
5. DEBRIS FROM THE PROJECT SHALL BE LEFT ON THE SITE BY DELIVERY OR CONSTRUCTION VEHICLES THROUGH THE USE OF CLEAN STONE EXITS. SHOULD THE STONE BECOME INEFFECTIVE IT WILL BE REPLACED. ALL CONSTRUCTION TRAFFIC WILL USE THE CLEAN STONE EXITS.
6. EARTH EMBANKMENT BRIDGES PLACED OVER NEW PAVEMENT SHALL BE LOCATED ONLY AT PAVEMENT HIGH-POINTS AND SHALL HAVE STRAW BALES PLACED ALONG EACH SIDE OF THE BRIDGE FOR THE WIDTH OF THE PAVEMENT.
7. IMMEDIATELY AFTER SEEDING, MULCH ALL SEEDED AREAS WITH UNWEATHERED SMALL GRAIN STRAW OR HAY SPREAD UNIFORMLY AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE. ANCHOR MULCH WITH DISC-TYPE MULCH ANCHORING TOOL OR OTHER MEANS AS APPROVED BY THE AGENCY WITH JURISDICTION.
8. ALL MUD, DIRT, AND DEBRIS TRACKED OR SPILLED ONTO EXISTING ROADS FROM THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
9. PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 15 CALENDAR DAYS AFTER FINAL GRADING OR FINAL EARTH CHANGES HAVE BEEN COMPLETED. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED OR WHERE SIGNIFICANT EARTH CHANGE ACTIVITY EASES, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED IMMEDIATELY. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE ESTABLISHED. ALL PERMANENT SOIL EROSION CONTROL MEASURES WILL BE IMPLEMENTED AND ESTABLISHED BEFORE A CERTIFICATE OF COMPLIANCE IS ISSUED. ALL DRAIN BANKS DISTURBED BY CONSTRUCTION SHALL BE RESTORED WITHIN FIVE CALENDAR DAYS AND SOD PEGGED IN PLACE.

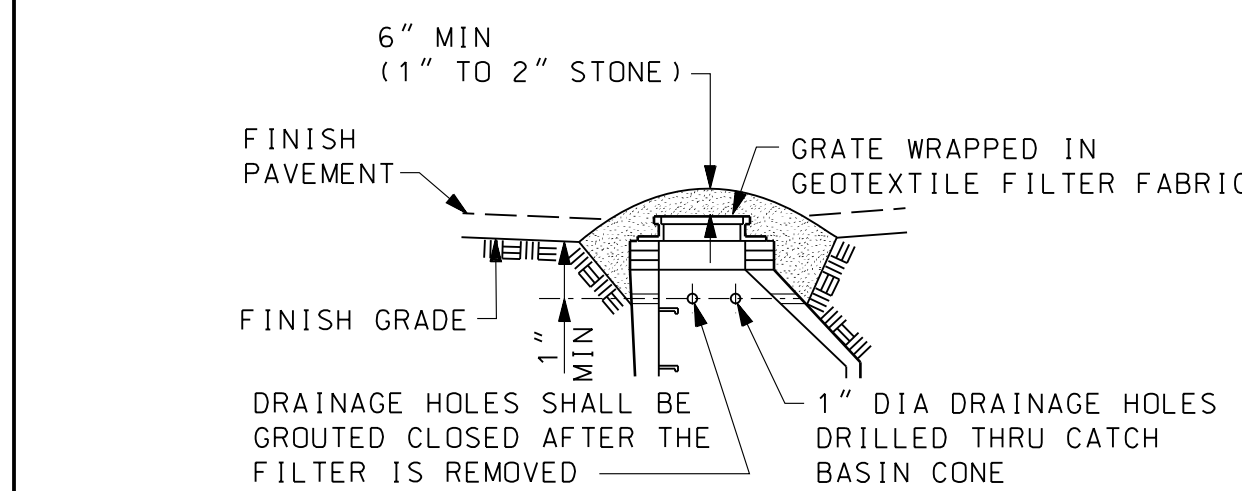
SOIL EROSION AND SEDIMENTATION CONTROL NOTES

10. PARTICULAR CARE SHOULD BE TAKEN WHEN WORKING ALONG THE PERIMETER OF THE SITE. IN NO EVENT SHALL WORK AREA EXTEND BEYOND THE LIMITS INDICATED ON THE PLANS.
11. SHOULD IT BE NECESSARY FOR THE CONTRACTOR TO DEWATER THE GROUND IN THE COURSE OF CONSTRUCTING THE PROPOSED UTILITY, THE CONTRACTOR SHALL CONSTRUCT A TEMPORARY SOIL EROSION CONTROL DEVICE IN A MANNER THAT WILL FILTER ALL DISCHARGED WATER FROM THE DEWATERING OPERATION. IN NO INSTANCE SHALL THE DEWATERING DISCHARGE BE PERMITTED TO FLOW UNFILTERED FROM THE CONSTRUCTION SITE.
12. THE CONTRACTOR SHALL CONTROL THE DUST ON THE SITE DURING THE LIFE OF THE CONTRACT. IN ACCORDANCE WITH THE SPECIFICATIONS AND THE REQUIREMENTS OF THE COMMUNITY THIS DUST CONTROL SHALL BE ACCOMPLISHED BY THE APPLICATION OF A POSITIVE DUST PICK-UP METHOD WITH WATER ON HARD SURFACES. SUCH DUST CONTROL MATERIALS SHALL BE APPLIED AS OFTEN AS IS NECESSARY IN THE OPINION OF THE COMMUNITY TO CONTROL THE DUST.
13. SHOULD THE SOIL EROSION CONTROL REQUIREMENTS BE NEGLECTED OR NOT ADEQUATELY FOLLOWED, THE COMMUNITY MAY REQUIRE THE CONTRACTOR TO CEASE CONSTRUCTION OPERATIONS AND TO APPLY HIS ENTIRE FORCE TO MEET THE REQUIREMENTS BEFORE PROCEEDING FURTHER WITH THE PROJECT.
14. SOIL EROSION AND SEDIMENTATION CONTROL SHALL BE IN ACCORDANCE WITH PART 91 SOIL EROSION AND SEDIMENTATION CONTROL (SESC), OF THE NATURAL RESOURCES AND ENVIRONMENTAL PROTECTION ACT, 1994 PA 451, AS AMENDED (NREPA).
15. AS SOON AS POSSIBLE, COMPLETE FINAL GRADING AND PLACING OF PERMANENT SOIL EROSION CONTROL DEVICES. AFTER ESTABLISHMENT OF PERMANENT VEGETATION, REMOVE ALL TEMPORARY SOIL EROSION CONTROL MEASURES.
16. SOIL EROSION AND SEDIMENTATION CONTROL IS UNDER THE JURISDICTION OF THE CITY OF PLYMOUTH.

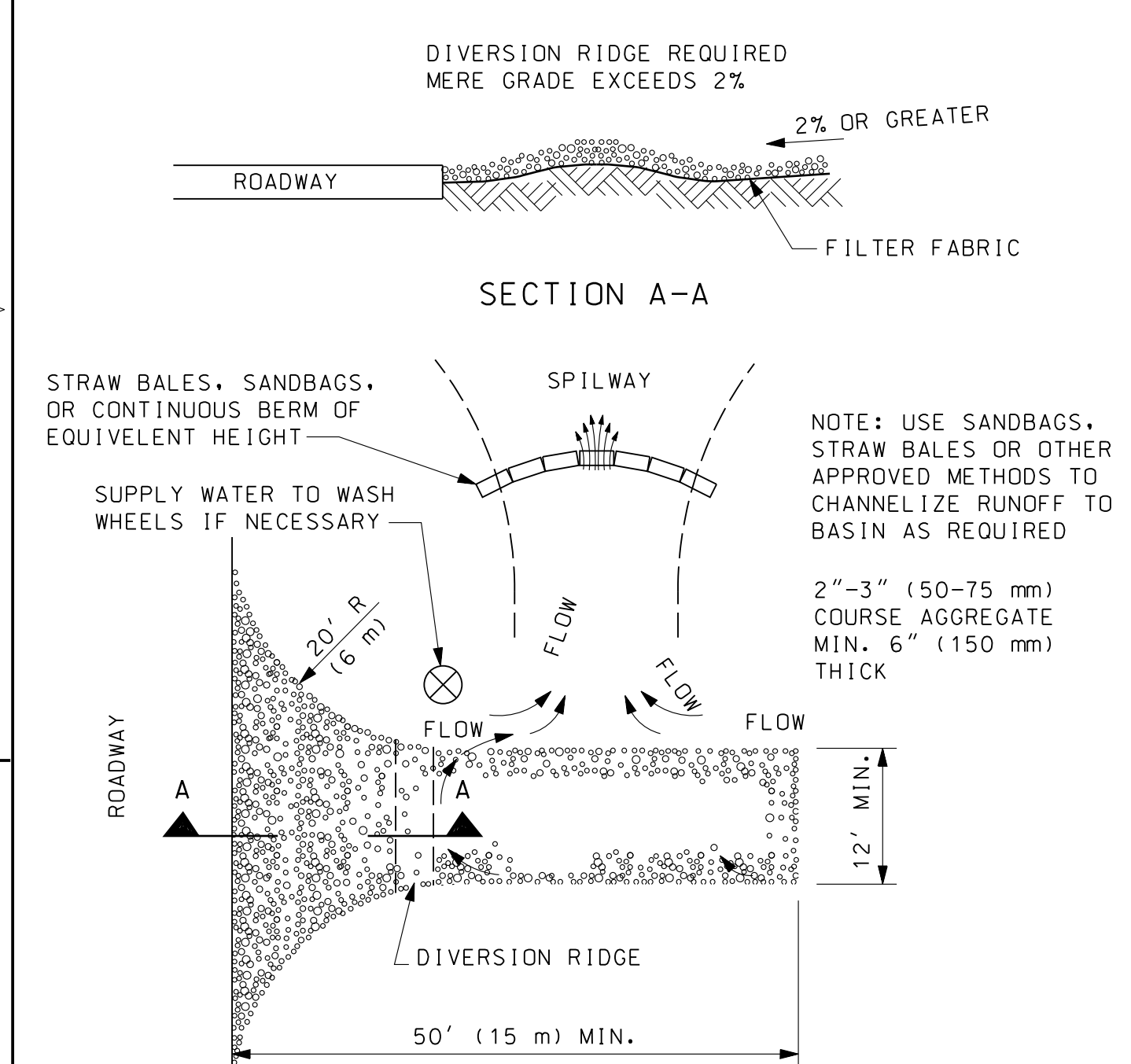


SILT FENCE

SILT FENCE
NOT TO SCALE



DRAINAGE STRUCTURE FILTER
NOT TO SCALE



- NOTE:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT
NOT TO SCALE

SEQUENCE OF CONSTRUCTION - SESC

1. INSTALL ALL TEMPORARY SOIL EROSION CONTROL MEASURES PRIOR TO DISTURBING ANY EARTH ON THE SITE.
2. INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT DRIVE PRIOR TO DISTURBING ANY EARTH ON SITE. ALL TRUCKS LEAVING THE CONSTRUCTION SITE SHALL PASS THROUGH A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT DRIVE TO REMOVE DIRT AND SEDIMENT. ANY DIRT AND ACCUMULATED SEDIMENT ON ROADS AND STREETS IN THE VICINITY OF THE PROJECT SHALL BE SWEEPED CLEAN AT LEAST TWICE DAILY WITH A VACUUM TYPE PICKUP BROOM.
3. STABILIZE SLOPES STEEPER THAN 1 ON 4, CHANNELS AND SWALES WITHIN 7 DAYS OF EARTH DISTURBANCE. INSTALL PERMANENT STABILIZATION MEASURES WITHIN 5 DAYS OF FINAL GRADING.
4. DURING STORM SEWER INSTALLATION, ALL NEWLY CONSTRUCTED DRAINAGE STRUCTURES SHALL BE PROTECTED WITH A DRAINAGE STRUCTURE FILTER. THIS WORK WILL BE INCLUDED IN THE DRAINAGE COST.
5. INSTALL TOPSOIL, SEED AND MULCH / TOPSOIL AND SOD HYDROSEED ON DISTURBED RIGHT-OF-WAY WITHIN 5 DAYS OF COMPLETING UTILITY INSTALLATION.
6. PLACE RIPRAP WITHIN 24 HOURS OF PLACING CULVERTS, HEADWALLS OR OTHER DRAINAGE INLETS/OUTLETS.
7. CLEAN ALL ACCUMULATED SEDIMENT FROM CATCH BASINS, SEWERS AND PAVEMENT AREAS AS REQUIRED FOLLOWING COMPLETION OF CONSTRUCTION.
8. THE EXACT SCHEDULE OF SOIL EROSION AND SEDIMENTATION CONTROL EVENTS (WITH DAYS AND/OR DATES OF THE VARIOUS ACTIVITIES) SHALL BE SUBMITTED TO (WAYNE COUNTY DEPARTMENT OF ENVIRONMENT, AND LAND RESOURCE MANAGEMENT DIVISION) BY THE CONTRACTOR, FOR REVIEW AND APPROVAL, PRIOR TO OBTAINING A PERMIT.

PROJECT MANAGER: FIELD BOOK INFORMATION: PROJECT: 201 SOUTH MAIN STREET PLYMOUTH, MICHIGAN 48170 DATE: 12/25/2023 12:55:50 PM BY: m/omagan

| REV. | DATE | DESCRIPTION | BY |
|------|------|-------------|----|
| | | | |
| | | | |
| | | | |

26251 Northline Rd.
PO Box 10
Taylor, MI 48180
www.wadeftrim.com

NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND DATED

WADE TRIM

CITY OF PLYMOUTH
201 SOUTH MAIN STREET
PLYMOUTH, MICHIGAN 48170

STANDARD SOIL EROSION AND SEDIMENTATION CONTROL DETAILS (SE-1)

ISSUED FOR: DATE: BY:

JOB NO. -

SHEET SE-1

© Wade Trim Group, Inc. STANDARD SOIL EROSION AND SEDIMENTATION CONTROL DETAILS (SE-1 OF 1)

Irrigation Notes:

IRRIGATION SYSTEM
 MECHANICAL TRADES WILL PROVIDE A WATER SOURCE WITH BACKFLOW PREVENTER TO 5'-0" OUTSIDE THE BUILDING FOUNDATION.
 ALL LAWN AND PLANT BED AREAS WILL BE IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
 ZONING TO BE BASED ON PLANT MATERIAL TYPE AND EXPOSURE. ZONE VALVES TO BE LOCATED WITHIN LAWN AREAS WHERE POSSIBLE.
 LAWN AREAS WILL BE IRRIGATED USING SPRAY HEAD SPRINKLERS. PLANT BEDS TO BE IRRIGATED USING DRIP LINES.
 PIPING SHALL BE POLYETHYLENE FOR LATERALS AND CLASS 200 PVC FOR MAINLINE. ALL PIPING BENEATH PAVING SHALL BE INSTALLED IN PVC CONDUIT.
WATER SOURCE
 THE PRIMARY WATER SOURCE FOR THE IRRIGATION SYSTEMS SHALL BE DOMESTIC WATER SUPPLY. ALL IRRIGATION EQUIPMENT INCLUDING BUT NOT LIMITED TO THE TAP, BACKFLOW PREVENTER, AND BOOSTER PUMP (IF REQUIRED) SHALL BE LOCATED IN A MECHANICAL ROOM WITHIN THE BUILDING.
CONTROL SYSTEM
 THE CONTROL SYSTEM WILL BE A TWO-WIRE SYSTEM CAPABLE OF WIRE-BASED SMART TECHNOLOGY SYSTEM MONITORING AND CONTROL. A FLOW METER AND MASTER VALVE AND RAIN SENSOR WILL BE REQUIRED.

Legend:

- PROPERTY LINE, TYP.
- SS --- EXISTING UTILITY LINES, TYP.
- W --- PROPOSED UTILITY LINES, TYP.
- ⊙ EXISTING LIGHT POLE TO REMAIN
- ⊙ EXISTING SIGN - REFER TO CIVIL PLANS
- ⊙ EXISTING UTILITY POLE, TYP.
- ⊙ PROPOSED UTILITY POLE - EXACT LOCATION TO BE COORDINATED WITH DTE
- OH --- EXISTING OVERHEAD LINE, TYP.
- OH --- PROPOSED OVERHEAD LINE, TYP.
- ⬢ SITE LIGHTING - REFER TO LIGHTING PLANS
- FL PARKING LOT INTERIOR ISLAND REQUIRED TREE, TYP.

Note Key:

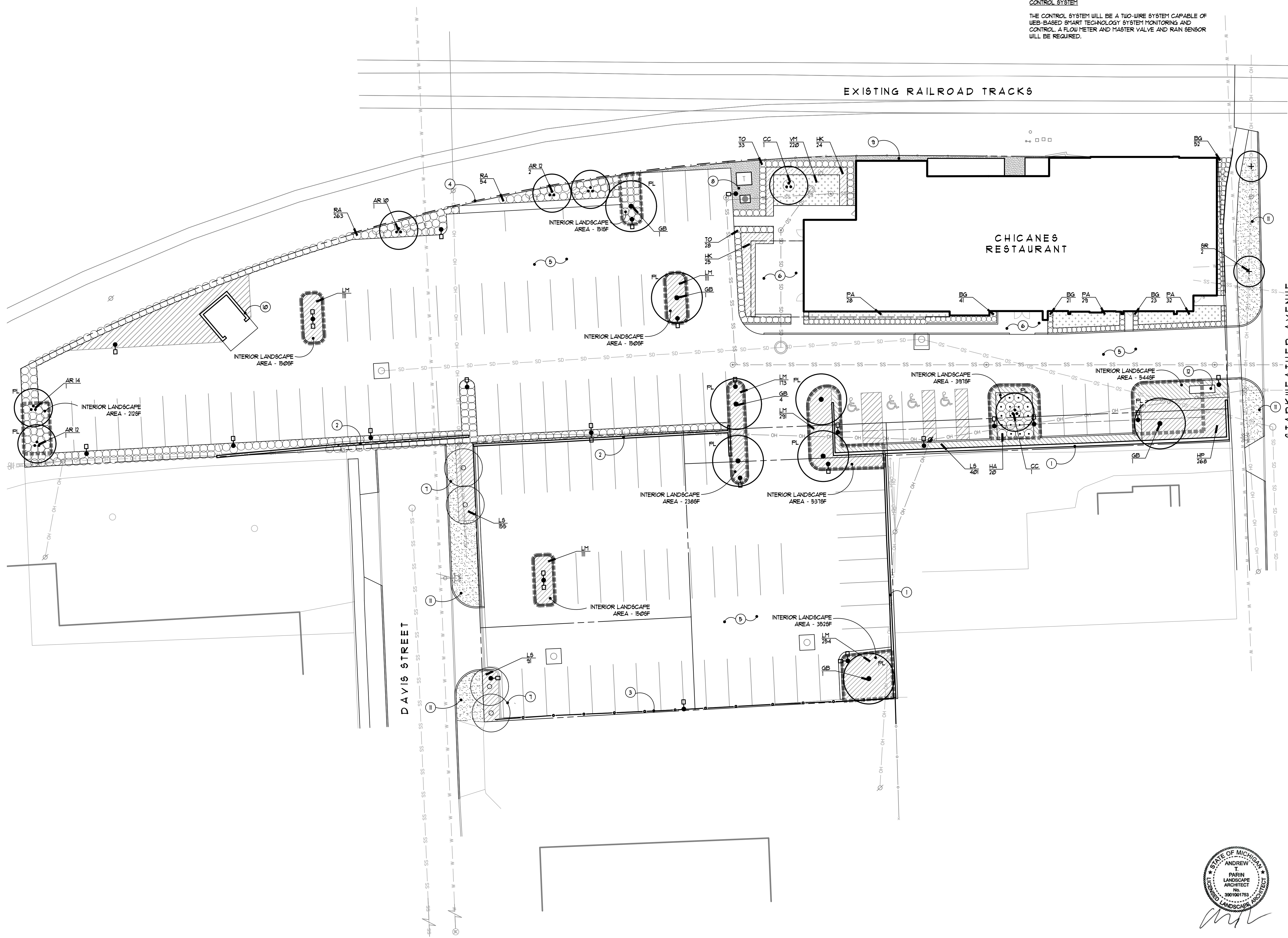
- 1 EXISTING WALL TO BE CLEANED AND PAINTED CHARCOAL TO MATCH BUILDING - PROJECT SIDE ONLY.
- 2 EXISTING WALL TO REMAIN UNDISTURBED, TYP.
- 3 EXISTING CHAINLINK FENCE TO HAVE BLACK PLASTIC SLATS INSTALLED
- 4 NEW CHARCOAL COLORED VINYL FENCE (6'-0" HT) TO BE INSTALLED ON LOT LINE
- 5 NEW PARKING LOT PAVING AND STRIPING - REFER TO CIVIL PLANS
- 6 NEW CONCRETE PAVING - REFER TO CIVIL PLANS
- 7 EXISTING MAPLE TREES TO REMAIN, TYP.
- 8 TRANSFORMER AND GREASE TRAP WITH STONE MULCH
- 9 STONE MULCH, TYP.
- 10 TRASH WITH ENCLOSURE - REFER TO ARCHITECTURAL PLANS
- 11 SODDED LAWN, TYP.
- 12 SIGN

Landscape Requirements

| ORDINANCE REQUIREMENT | REQUIRED | PROPOSED |
|-----------------------------------|----------|----------|
| PARKING LOT INTERIOR ISLAND AREA | 2875F | 2885F |
| PARKING LOT INTERIOR ISLAND TREES | 10 TREES | 10 TREES |

Plant List

| Canopy Trees | | | | |
|---|------|--|--------------------|--|
| CODE | QTY. | DESCRIPTION | SIZE | COMMENTS |
| GB | 8 | Ginkgo biloba Ginkgo | 3" cal | Matched, Male only, Branched to 6' ht. |
| SR | 2 | Syringa reticulata Japanese Tree Lilac | 2.5" cal | Matched, single stem Branched to 6' ht |
| Ornamental Trees | | | | |
| CODE | QTY. | DESCRIPTION | SIZE | COMMENTS |
| AR 10 | 1 | Acer rubrum 'Autumn Blaze' Autumn Blaze Maple | 10" ht. | Specimen, multi-stem 5 stems min. |
| AR 12 | 3 | Acer rubrum 'Autumn Blaze' Autumn Blaze Maple | 12" ht. | Specimen, multi-stem 5 stems min. |
| AR 14 | 1 | Acer rubrum 'Autumn Blaze' Autumn Blaze Maple | 14" ht. | Specimen, multi-stem 5 stems min. |
| CC | 2 | Cercis canadensis Eastern Redbud | 4" cal. | Specimen, multi-stem 3-5 stems min. |
| Shrubs, Groundcover, Vines and Perennials | | | | |
| CODE | QTY. | DESCRIPTION | SIZE | COMMENTS |
| BG | 137 | Buxus x spp. 'Green Mountain' Green Mountain Boxwood | 30" ht. 24" spd | Grown as Hedge, not pyramidal, plant 24" o.c. Hedge to 24" ht. |
| HA | 20 | Hydrangea arborescens 'Annabelle' Annabelle Hydrangea | 42" ht/spd | plant 42" o.c. |
| HK | 49 | Hosta x 'Krossa Regal' Krossa Regal Hosta | 1 gal. | plant 36" o.c. |
| HP | 268 | Heemerocallis 'Purple D'Oro' Purple D'Oro Daylily | 1 gal. | plant 18" o.c. |
| LM | 1051 | Liriope muscari 'Monroe White' Monroe White Liriope | 1 gal. | plant 15" o.c. |
| LS | 647 | Liriope spicata Creeping Liriope | 1 gal. | plant 15" o.c. |
| PA | 89 | Perovskia atriplicifolia Russian Sage | 3 gal. | plant 30" o.c. |
| RA | 317 | Rhus aromatica 'Gro-Low' Gro-Low Fragrant Sumac | 3 gal. | plant 36" o.c. |
| TO | 61 | Thuja occidentalis 'Emerald Green' Emerald Green Arborvitae | 7" ht. | hedged to 6' ht, plant 30" o.c. |
| VM | 220 | Vinca minor Periwinkle | 1 gal. | plant 10" o.c. |



**GRISSIM
 METZ ASSOCIATES
 ANDRIESE**

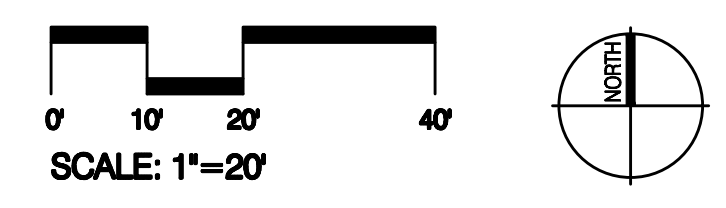
Landscape Architecture
 15000 Edward N. Hines Dr., Suite A
 Plymouth, MI 48170
 Ph: 248-347-7010

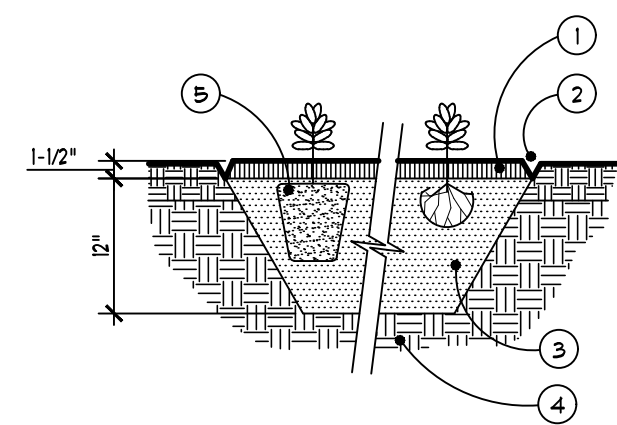
Project:
Chicane's Restaurant
 Plymouth, Michigan

Sheet:
Landscape Plan

Job Number: **M14-231**
 Drawn: **TFW**
 Checked: **ATP**
 Scale: **As Shown**

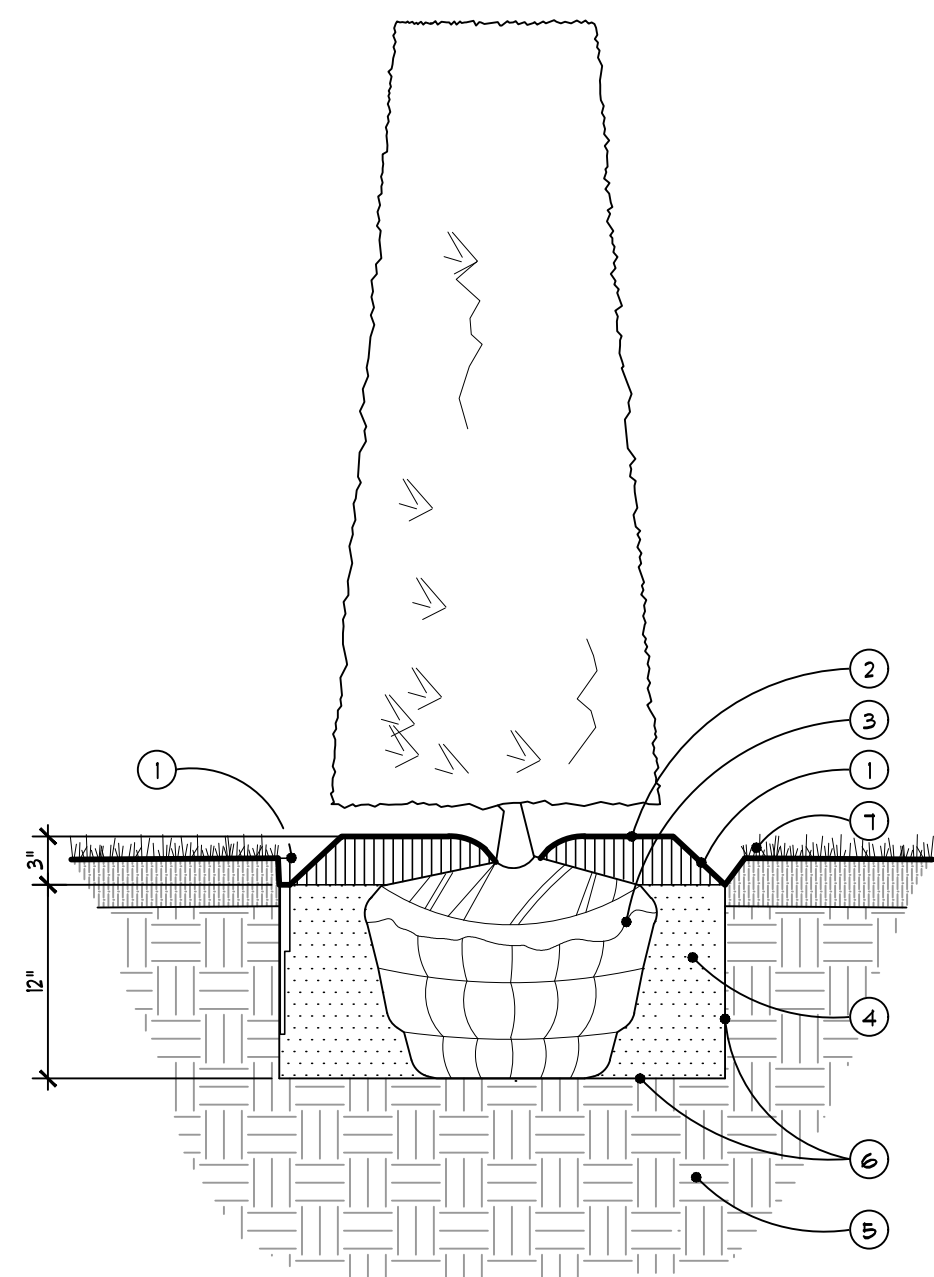
Date: **06/21/23** Issued for: **PC Review**





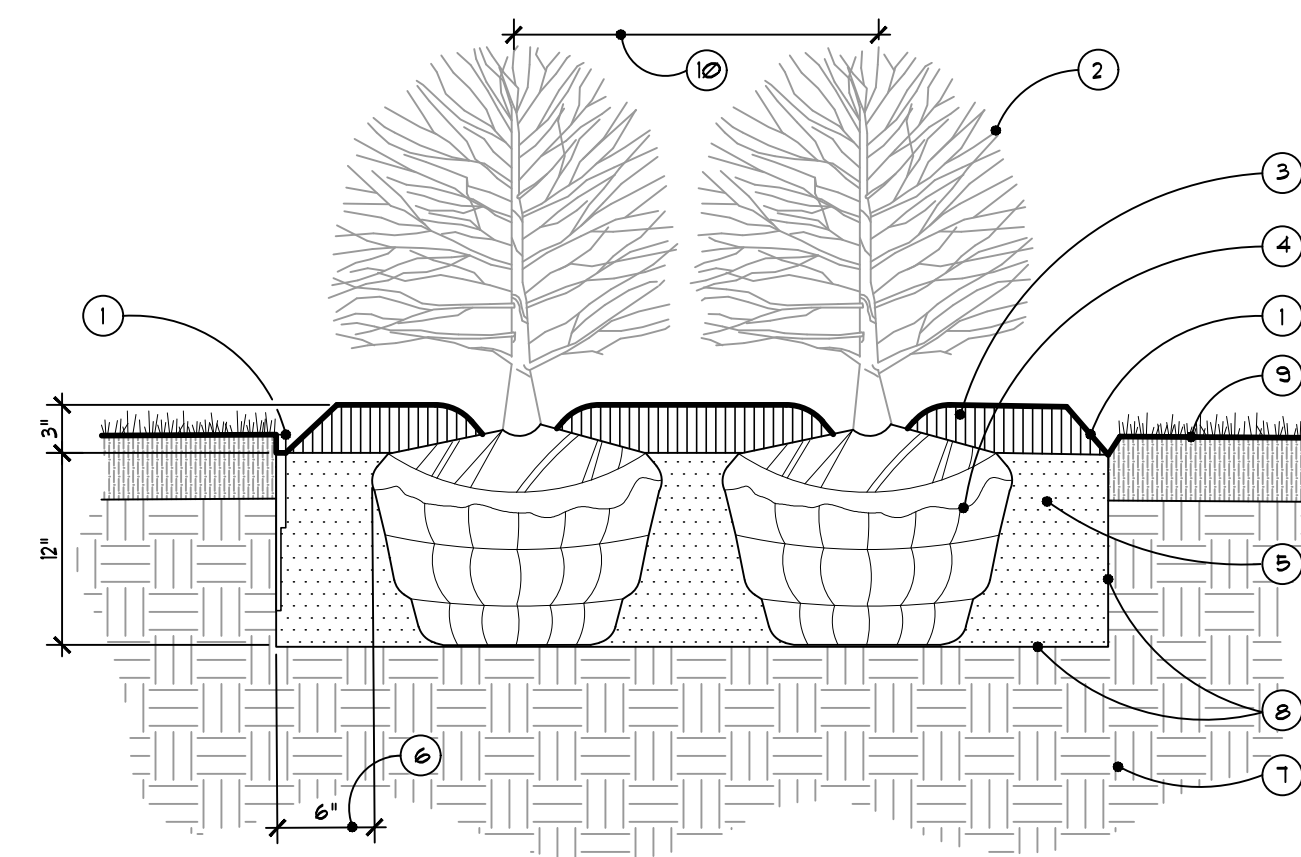
- NOTES:
 1. IN MASS PLANTINGS ENTIRE BED SHALL BE EXCAVATED
 2. CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION
 3. SEE PLANS FOR SPACING
- 1 1-1/2" DEPTH DOUBLE PROCESSED SHREDDED BARK MULCH
 - 2 SHOVEL CUT EDGE OR ALUM. EDGE, SEE PLAN
 - 3 EXCAVATE EXISTING SOIL 12" DEEP FILL WITH PLANT MIX AND FERTILIZER (SEE SPECS.) CUT PLANTING PIT SIDES @ 60° ANGLE
 - 4 UNDISTURBED SUBGRADE
 - 5 REMOVE CONTAINER

4 Perennial / Groundcover Planting Detail
 NOT TO SCALE



- NOTE:
 1. CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION AND PROVIDE RESULTS TO LANDSCAPE ARCHITECT FOR APPROVAL.
- 1 SHOVEL CUT EDGE OR METAL EDGING, SEE PLANS AND SPECS
 - 2 DOUBLE PROCESSED SHREDDED BARK MULCH 3" DEPTH TYPICAL, DO NOT PLACE MULCH UP AGAINST TRUNK
 - 3 REMOVE BURLAP & CUT TWINE FROM TOP 1/3 OF BALL
 - 4 MASS EXCAVATE PLANT BED TO 12" DEPTH AND BACKFILL WITH APPROVED PLANT MIX AND FERTILIZER
 - 5 UNDISTURBED SUBGRADE
 - 6 SCARIFY BOTTOM AND SIDES OF PLANT BED
 - 7 4" TOPSOIL AND LAWN, REFER TO PLANS AND SPECS

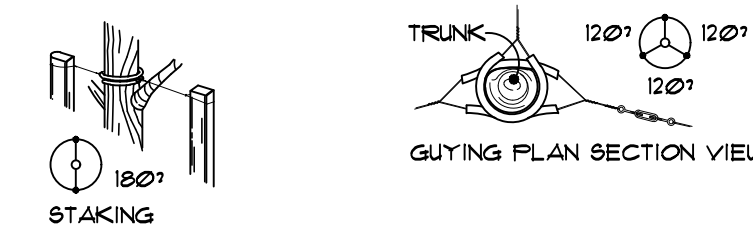
3 Hedge Planting Detail
 SCALE: 1" = 1'-0"



- NOTE:
 1. CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION AND PROVIDE RESULTS TO LANDSCAPE ARCHITECT FOR APPROVAL.
- 1 SHOVEL CUT EDGE OR METAL EDGING, SEE PLANS AND SPECS
 - 2 SHRUB PLANTS
 - 3 DOUBLE PROCESSED SHREDDED BARK MULCH 3" DEPTH TYPICAL, DO NOT PLACE MULCH UP AGAINST TRUNK
 - 4 REMOVE BURLAP & CUT TWINE FROM TOP 1/3 OF BALL
 - 5 MASS EXCAVATE PLANT BED TO 12" DEPTH AND BACKFILL WITH APPROVED PLANT MIX AND FERTILIZER
 - 6 6" MIN BETWEEN ROOTBALL AND EDGE OF PLANT PIT
 - 7 UNDISTURBED SUBGRADE
 - 8 SCARIFY BOTTOM AND SIDES OF PLANT BED
 - 9 4" TOPSOIL AND LAWN, REFER TO PLANS AND SPECS
 - 10 SEE PLAN FOR SPACING

2 Typical Shrub Planting Detail
 SCALE: 1" = 1'-0"

GENERAL NOTES:
 STAKE TREES 4" CALIPER AND UNDER, 2 PER TREE.
 GUY TREES OVER 4" CALIPER, 3 PER TREE.
 CONTRACTOR TO VERIFY PERCOLATION AND COMPACTION OF PLANTING PIT PRIOR TO INSTALLATION.
 SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING PLANTING STANDARDS AND PROCEDURES.



- 1 POLYPROPYLENE GUYING FABRIC, LOCATE ABOVE FIRST BRANCH, TYP. - REFER TO SPECS
- 2 2" x 2" x 12' LONG UNTREATED HARDWOOD STAKES, STAKES TO EXTEND 18" BELOW TREE PIT IN UNDISTURBED SOIL, SET VERTICALLY PLUMB AND EVENLY SPACED, TYP.
- 3 INSTALL TREE WRAP FOR THIN SKINNED TREES, REMOVE AFTER FIRST YEAR, TYP. - REFER TO SPECS
- 4 ROOT FLARE - (AREA OF RAPID TAPER), REMOVE ALL SOILS ABOVE THIS LINE AND SET BOTTOM OF ROOT FLARE FLUSH TO ADJACENT FINISH GRADE - ROOT FLARE SHOULD NOT HAVE MULCH OVER TOP OF IT AND SHOULD REMAIN VISIBLE AT THE COMPLETION OF PLANTING, TYP.
- 5 BACKFILL WITH PULVERIZED EXCAVATED NATIVE SOIL UNTIL 1/3 OF THE TREE PIT IS FILLED, HAND COMPACT BY FOOT OR TAMPER TO STABILIZE AND PLUMB TREE - REFER TO SPECS
- 6 12" MINIMUM BETWEEN ROOT BALL AND EDGE OF PLANT PIT, CUT PIT SIDES @ 60° ANGLE, TYP.
- 7 ADJACENT FINISH GRADE - ENSURE BOTTOM OF ROOT FLARE IS SET FLUSH TO THIS ELEVATION, TYP.
- 8 CUT AND REMOVE BURLAP TO 6" BELOW GRADE OR 1/3 OF THE ROOT BALL WHICHEVER IS GREATER AND REMOVE TWINE FROM ROOT FLARE, IF PRESENT CUT WIRE BASKET AND REMOVE 6"-8" BELOW GRADE, DISPOSE OF LEGALLY NOT IN PIT, TYP.
- 9 3" DEPTH DOUBLE PROCESSED SHREDDED BARK MULCH - MULCH SHALL NOT COVER ROOT FLARE, PROVIDE 1" DEPTH MULCH OVER THE ROOT BALL - WHEN PLANTED IN LAWN AREAS, EXTEND MULCH CIRCLE TO A 60° RADIUS AROUND THE TREE UNLESS NOTED OTHERWISE, TYP.
- 10 PROVIDE 3"-4" HIGH SOIL SAUCER AROUND TREE PIT IF NO IRRIGATION IS PRESENT, HAND HAMM TO PREVENT EROSION, TYP.
- 11 COMPACT BOTTOM OF PLANTING PIT TO PREVENT SETTLING, TYP.
- 12 DIG TREE PIT 2X BALL DIA. MIN, LIGHTLY SCARIFY THE SIDES OF THE TREE PIT TO ALLOW FOR ROOT GROWTH INTO ADJACENT SOILS, TYP.
- 13 SHOVEL CUT EDGE OR EDGING AROUND TREE, TYP. - REFER TO PLANS
- 14 BACKFILL TOP 2/3 OF TREE PIT WITH APPROVED TOPSOIL - WATER IN AND REMOVE AIR POCKETS, CONTINUE TO FILL WITH TOPSOIL IF SETTLEMENT HAS OCCURRED UNTIL CORRECT ELEVATIONS ARE ACHIEVED, DO NOT FILL ON ROOT FLARE - REFER TO SPEC

1 Deciduous Tree Planting Detail
 NOT TO SCALE

GRISSIM METZ ASSOCIATES ANDRIESE

Landscape Architecture
 15000 Edward N. Hines Dr., Suite A
 Plymouth, MI 48170
 Ph: 248-347-7010

Project:
 Chicanos Restaurant
 Plymouth, Michigan

Sheet:
 Landscape Details

Job Number: M14-231
 Drawn: TFW
 Checked: ATP
 Scale: As Shown

Date: 06/21/23 Issued for: PC Review



Sheet Number:
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ISSUE DATE

03-15-2023 ZBA SUBMISSION
04-19-2023 CONCEPTUAL P.C.
06-21-2023 P.C. REVIEW

NOT FOR CONSTRUCTION

M
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3RD FLOOR
NORTHVILLE, MICHIGAN 48167
PHONE 248.349.9708
marchitects.com

PROJECT
RENOVATIONS AND
ADDITIONS TO:
CHICANE,
885 STARKWEATHER
FOR:
Starkweather 885, LLC

PROJECT ADDRESS
885 Starkweather
Plymouth, MI

PROJECT NUMBER
22.30

SHEET NAME
EXISTING PHOTOGRAPHS

SHEET NUMBER
A100



EXISTING LOOKING NORTHEAST

IMAGE NUMBER
E-6.0



EXISTING LOOKING NORTHEAST

IMAGE NUMBER
E-5.0



EXISTING LOOKING NORTH

IMAGE NUMBER
E-4.0



EXISTING LOOKING NORTHWEST

IMAGE NUMBER
E-3.0



EXISTING LOOKING WEST

IMAGE NUMBER
E-2.0



EXISTING LOOKING SOUTHWEST

IMAGE NUMBER
E-1.0

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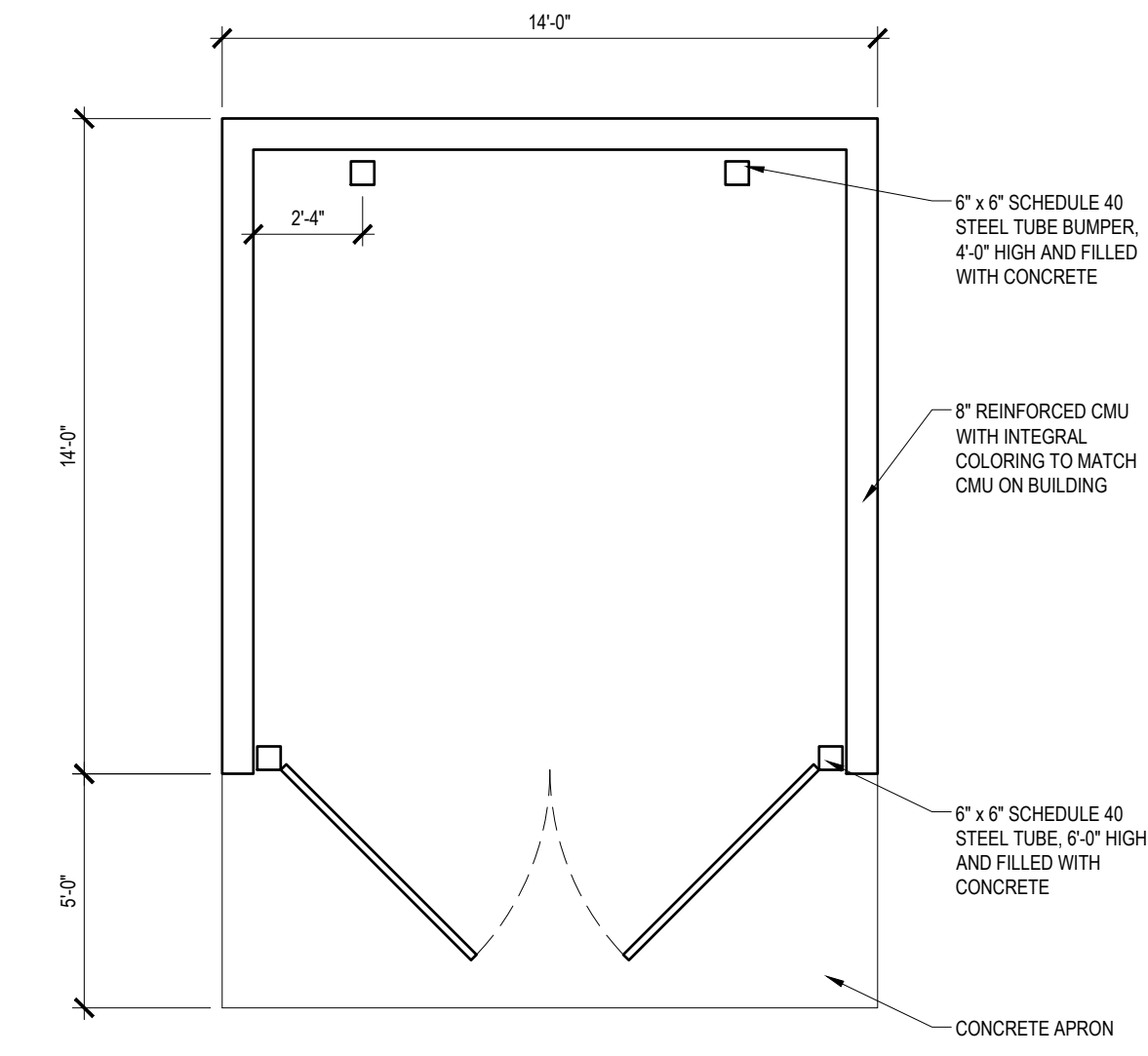
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RENOVATIONS AND
ADDITIONS TO:
CHICANE,
885 STARKWEATHER
FOR:
Starkweather 885, LLC

PROJECT ADDRESS
885 Starkweather
Plymouth, MI

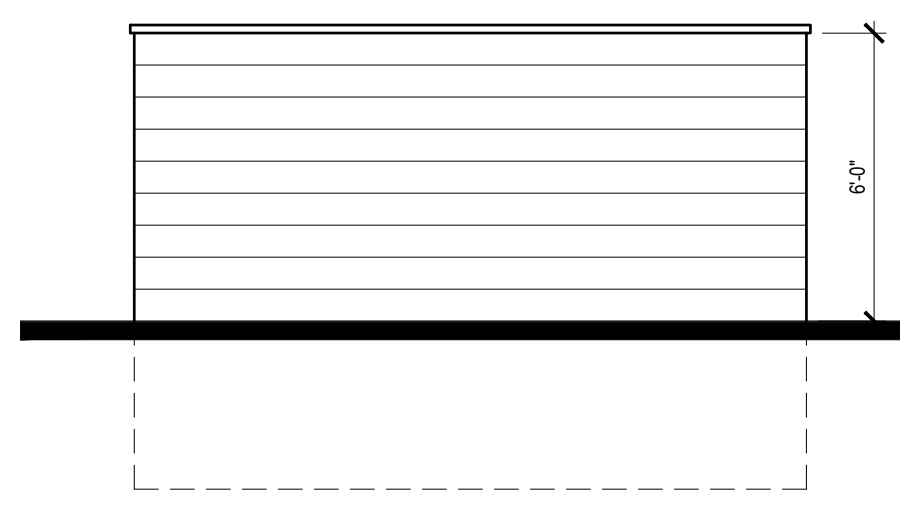
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SHEET NAME
ARCHITECTURAL SITE PLAN
AND DUMPSTER ENCLOSURE
DRAWINGS

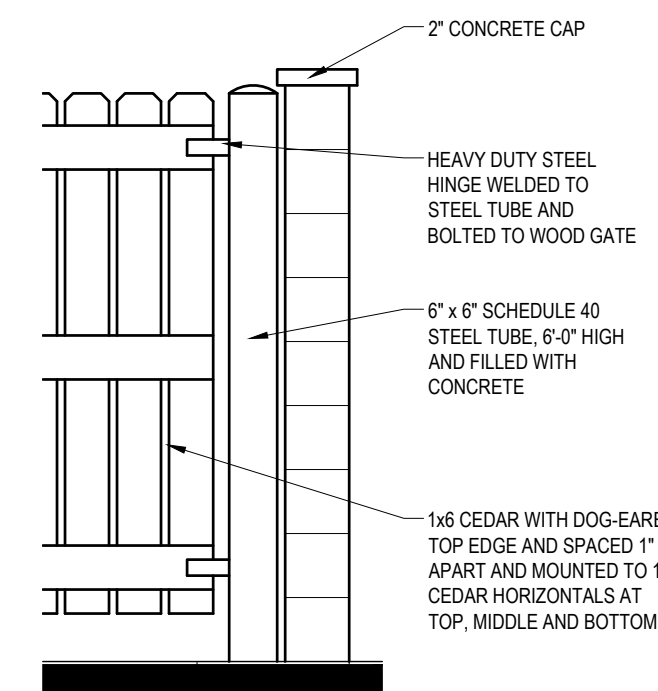
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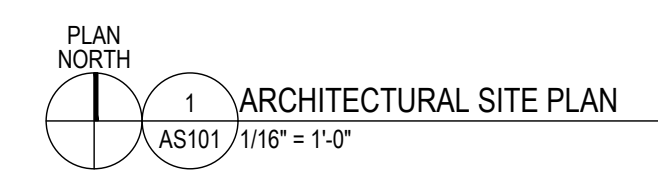
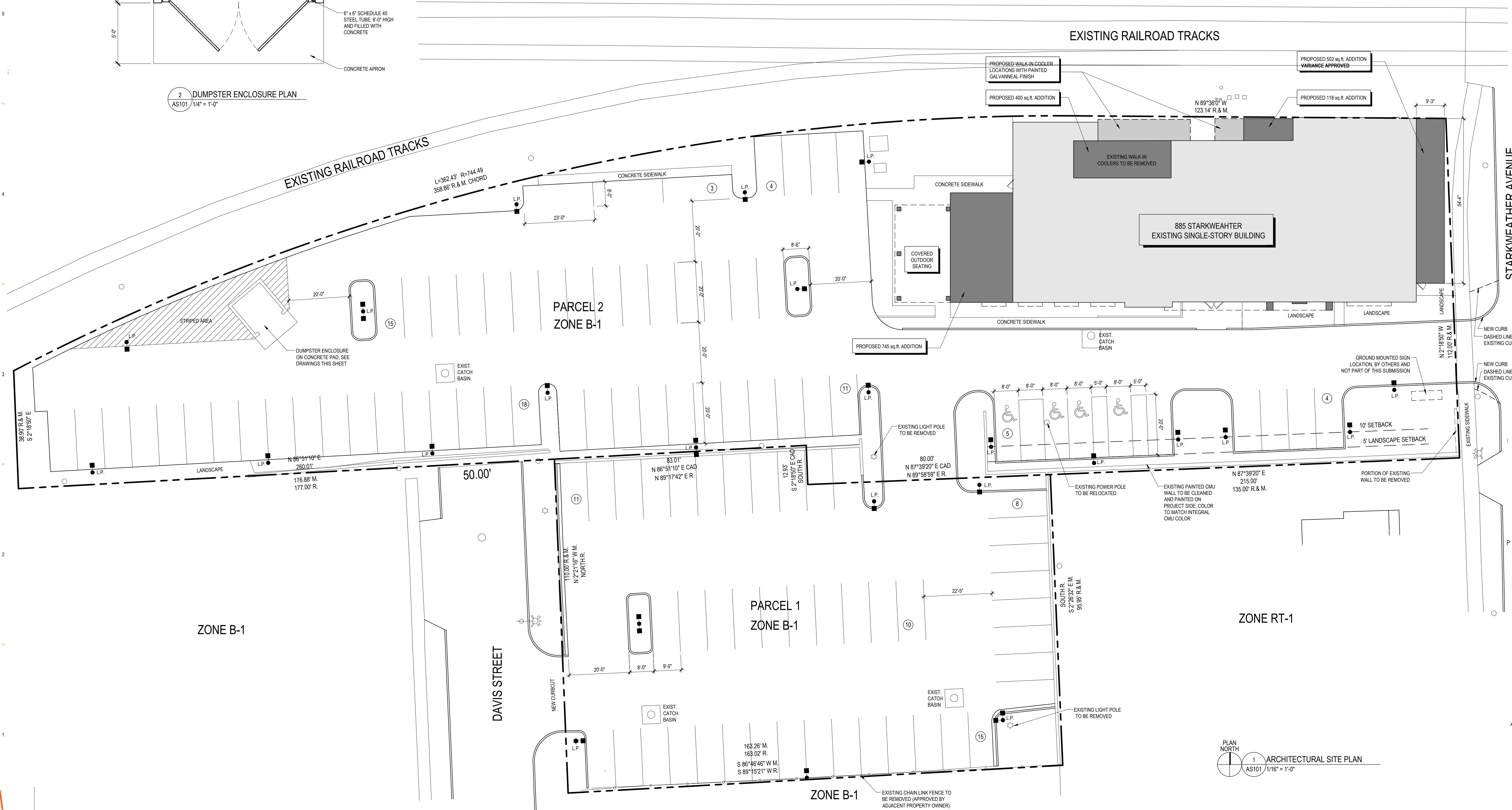
2 DUMPSTER ENCLOSURE PLAN
AS101 1/4\" = 1'-0"



3 DUMPSTER ENCLOSURE ELEVATION
AS101 1/4\" = 1'-0"



4 DUMPSTER ENCLOSURE ELEVATION
AS101 1/4\" = 1'-0"



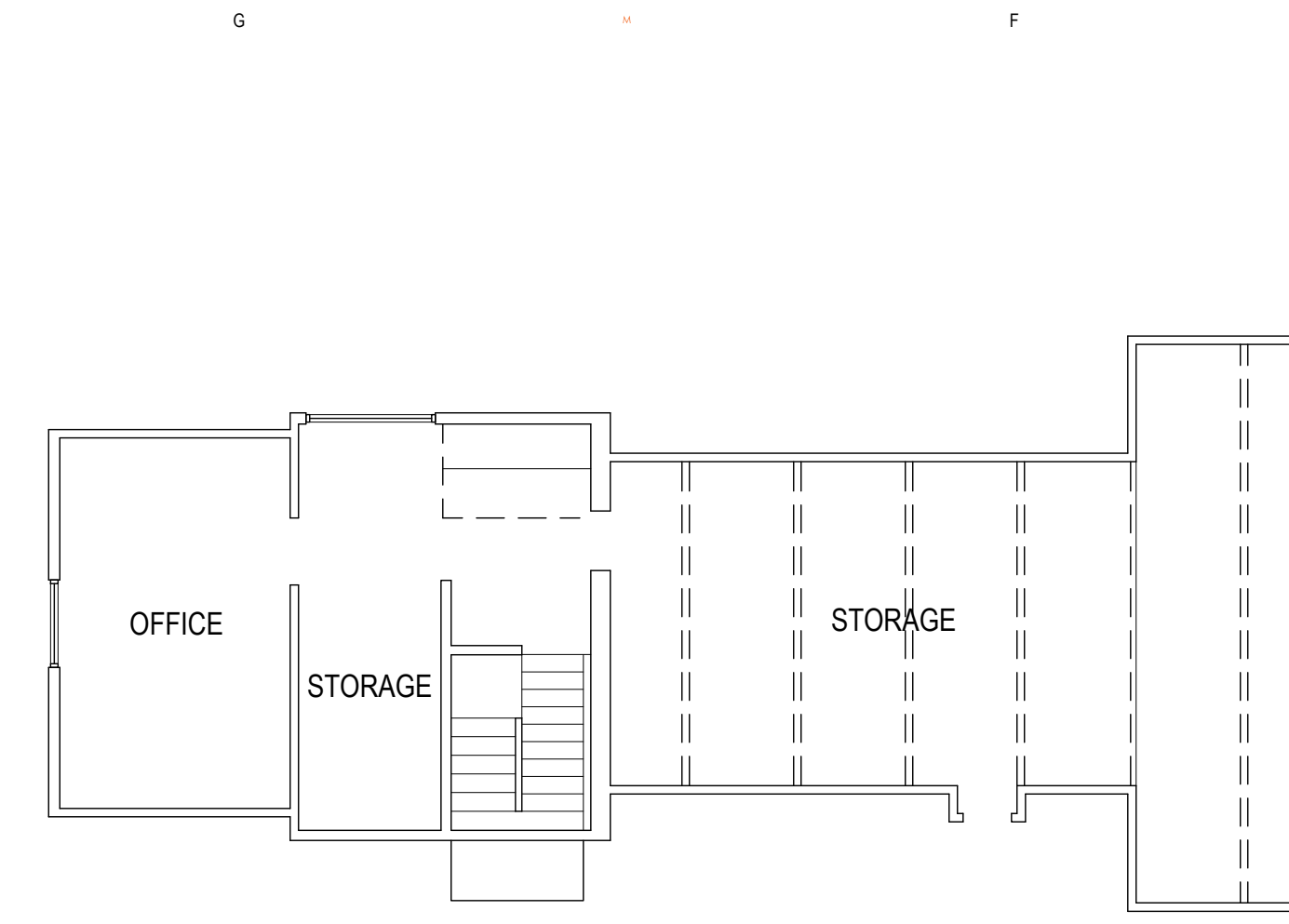
DO NOT SCALE DRAWINGS; USE NOTED DIMENSIONS ONLY.

THIS DRAWING IS THE PROPERTY OF M ARCHITECTS. UNAUTHORIZED USE OF ANY KIND, INCLUDING USE ON OTHER PROJECTS, IS PROHIBITED.

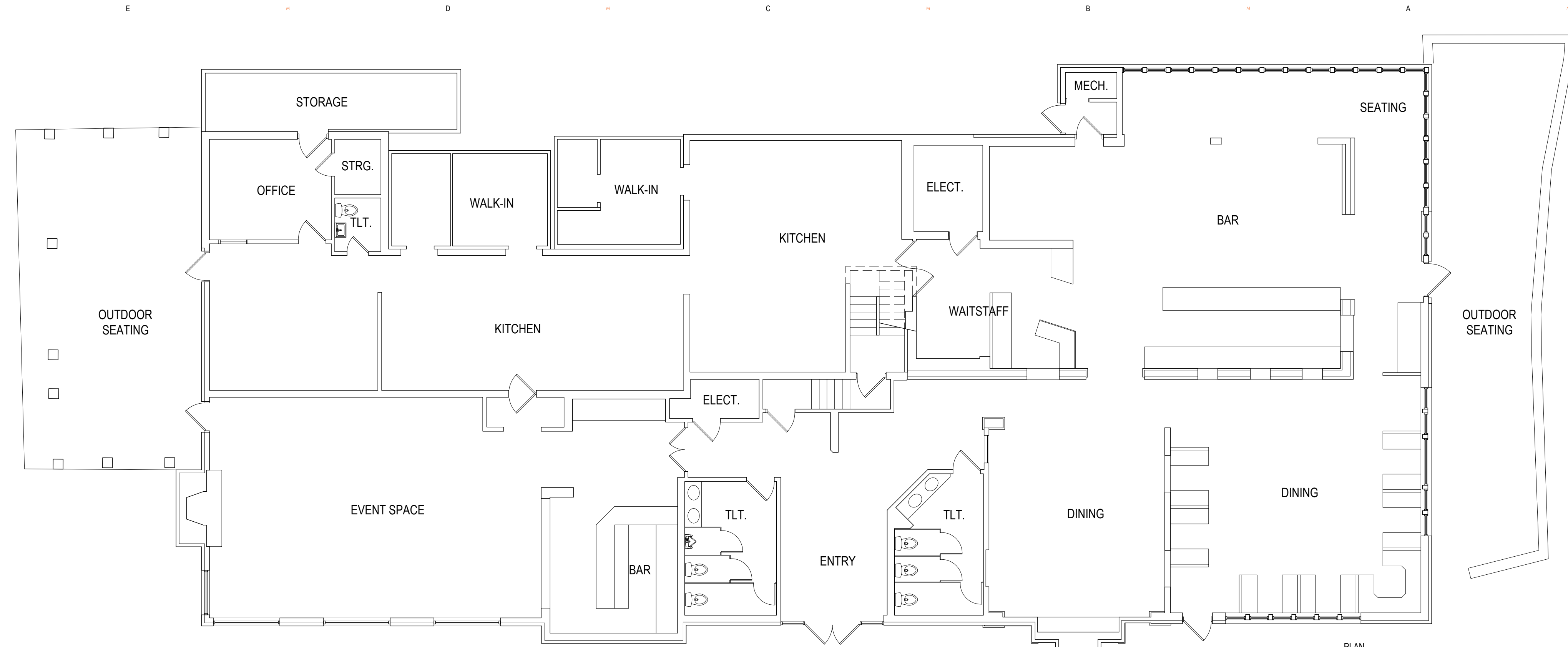
ISSUE DATE

03-15-2023 ZBA SUBMISSION
04-19-2023 CONCEPTUAL P.C.
06-21-2023 P.C. REVIEW

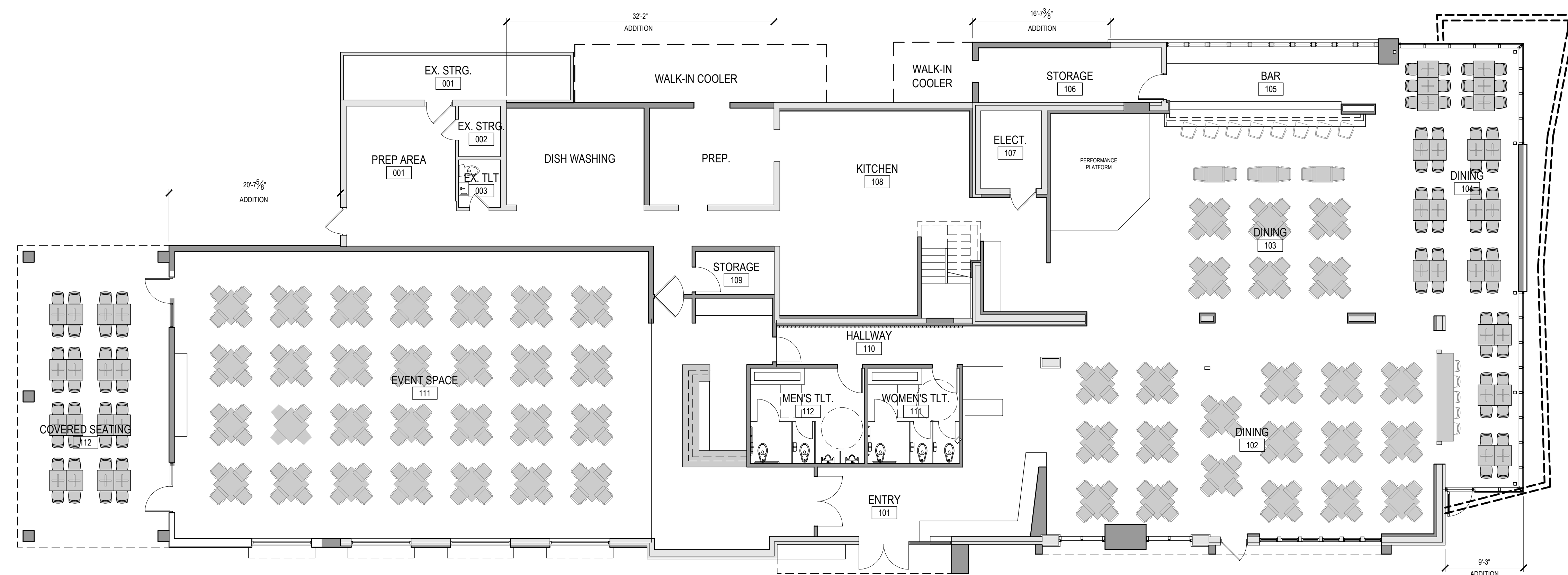
NOT FOR CONSTRUCTION



PLAN NORTH
3
A101
EXISTING SECOND FLOOR PLAN
1/8" = 1'-0"



PLAN NORTH
2
A101
EXISTING FLOOR PLAN
1/8" = 1'-0"



PLAN NORTH
1
A101
PROPOSED FLOOR PLAN
1/8" = 1'-0"

M
ARCHITECTS
114 E MAIN STREET
3RD FLOOR
NORTHVILLE, MICHIGAN 48167
PHONE 248.349.9708
marchitects.com

PROJECT
RENOVATIONS AND
ADDITIONS TO:
CHICANE,
885 STARKWEATHER
FOR:
Starkweather 885, LLC

PROJECT ADDRESS
885 Starkweather
Plymouth, MI

PROJECT NUMBER
22.30

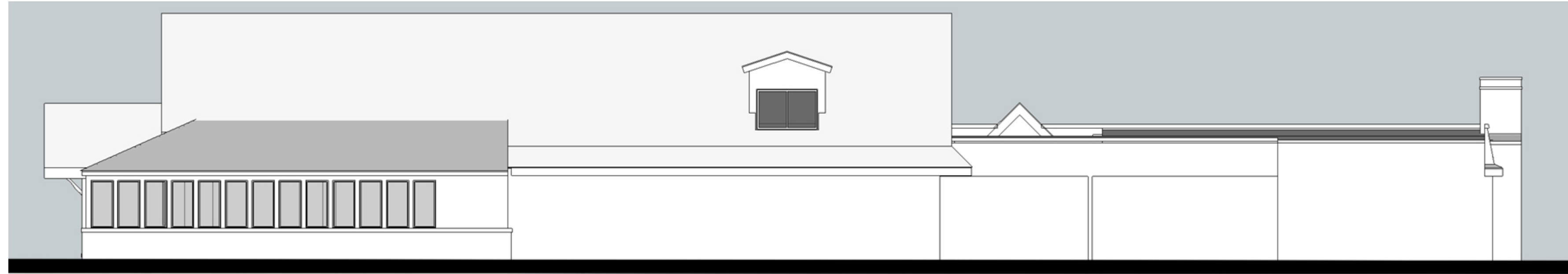
SHEET NAME
EXISTING AND PROPOSED
FLOOR PLANS

SHEET NUMBER
A101

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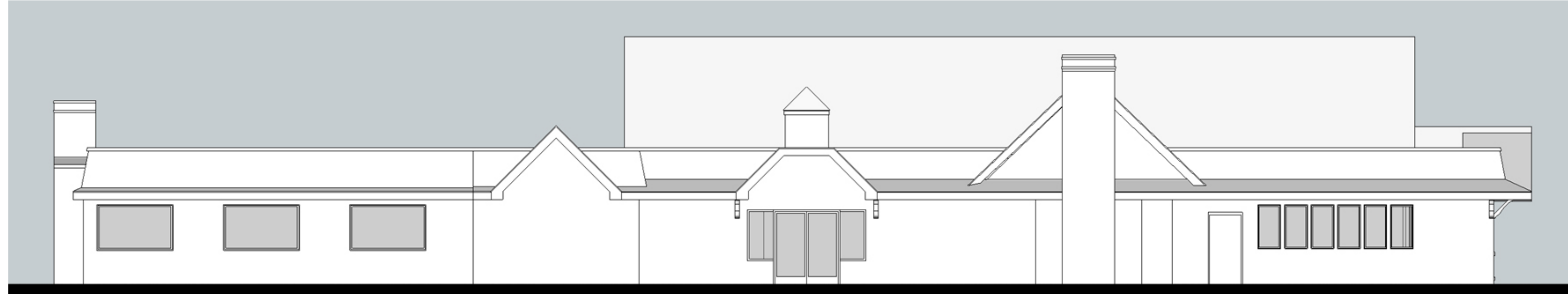
NOT FOR CONSTRUCTION



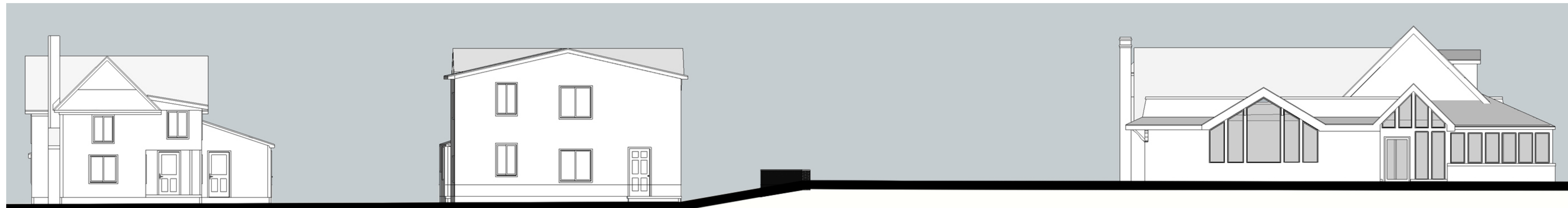
EXISTING NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EXISTING WEST ELEVATION
SCALE: 1/8" = 1'-0"



EXISTING SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EXISTING EAST ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



PROJECT
RENOVATIONS AND
ADDITIONS TO:
885 STARKWEATHER
FOR:
Starkweather 885, LLC

PROJECT ADDRESS
885 Starkweather
Plymouth, MI

PROJECT NUMBER
22.30

SHEET NAME
EXISTING ELEVATIONS

SHEET NUMBER
A301



DO NOT SCALE DRAWINGS; USE NOTED DIMENSIONS ONLY.



BRICK DETAIL 1



BRICK DETAIL 2

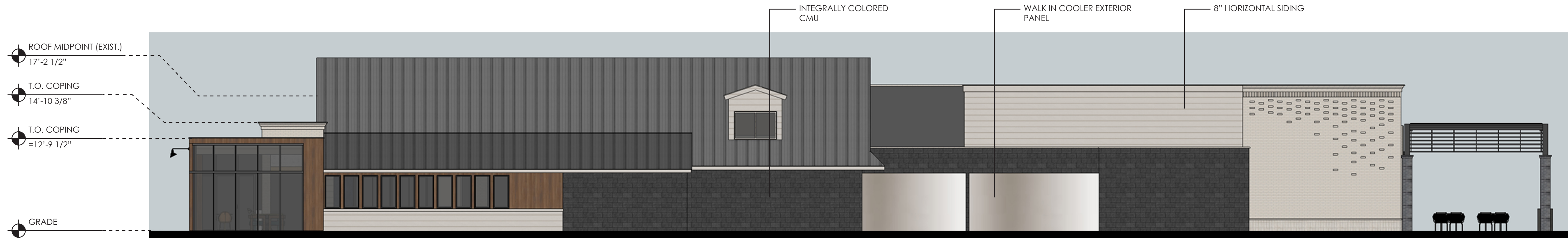


BRICK DETAIL 3

- ROOF MIDPOINT (EXIST.) = 17'-2 1/2"
- T.O. COPING = 14'-10 3/8"
- T.O. COPING = 12'-0 1/2"
- ROOF MIDPOINT = 10'-11 3/4"
- GRADE

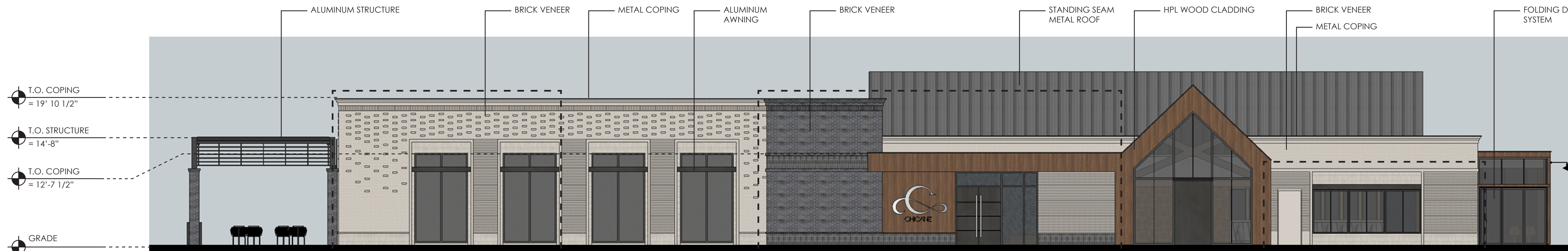


WEST ELEVATION
SCALE: 1/8" = 1'-0"



- ROOF MIDPOINT (EXIST.) = 17'-2 1/2"
- T.O. COPING = 14'-10 3/8"
- T.O. COPING = 12'-9 1/2"
- GRADE

NORTH ELEVATION
SCALE: 1/8" = 1'-0"



- T.O. COPING = 19'-10 1/2"
- T.O. STRUCTURE = 14'-8"
- T.O. COPING = 12'-7 1/2"
- GRADE

NOTE: ALL ROOF TOP MOUNTED MECHANICAL UNITS TO BE SCREENED BY PARAPETS.

BRICK DETAIL 1

BRICK DETAIL 2

BRICK DETAIL 3

SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



- ROOF MIDPOINT (EXIST.) = 17'-3"
- T.O. COPING = 14'-10 3/8"
- T.O. COPING = 12'-9 1/2"
- GRADE

ADJACENT HOUSE

ADJACENT HOUSE

EAST ELEVATION
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION



PROJECT
RENOVATIONS AND ADDITIONS TO:
885 STARKWEATHER
FOR:
Starkweather 885, LLC

PROJECT ADDRESS
885 Starkweather
Plymouth, MI

PROJECT NUMBER
22.30

SHEET NAME
PROPOSED ELEVATIONS

SHEET NUMBER
A302

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EXTERIOR RENDERING
LOOKING NORTHEAST



EXTERIOR RENDERING
LOOKING WEST



EXTERIOR RENDERING
LOOKING NORTH



EXTERIOR RENDERING
LOOKING NORTHWEST

ISSUE DATE

03-15-2023 ZBA SUBMISSION
04-19-2023 CONCEPTUAL P.C.
6-21-2023 P.C REVIEW

NOT FOR CONSTRUCTION

M
ARCHITECTS
114 E MAIN STREET
NORTHVILLE, MICHIGAN 48167
PHONE 248.349.2708
marchitects.com

PROJECT
RENOVATIONS AND
ADDITIONS TO:
885 STARKWEATHER
FOR:
Starkweather 885, LLC

PROJECT ADDRESS
885 Starkweather
Plymouth, MI

PROJECT NUMBER
22.30

SHEET NAME
CONCEPTUAL RENDERINGS

SHEET NUMBER
A303

DO NOT SCALE DRAWINGS; USE NOTED DIMENSIONS ONLY.

THIS DRAWING IS THE PROPERTY OF M ARCHITECTS. UNAUTHORIZED USE OF ANY KIND, INCLUDING USE ON OTHER PROJECTS, IS PROHIBITED.



EXTERIOR RENDERING
LOOKING NORTHWEST
FOLDING DOOR SYSTEM OPEN



EXTERIOR RENDERING
LOOKING NORTHWEST
FOLDING DOOR SYSTEM CLOSED

ISSUE DATE

03-15-2023 ZBA SUBMISSION
04-19-2023 CONCEPTUAL P.C.
6-21-2023 P.C REVIEW

NOT FOR CONSTRUCTION

M
ARCHITECTS
114 E MAIN STREET
NORTHVILLE, MICHIGAN 48167
PHONE 248.349.2708
marchitects.com

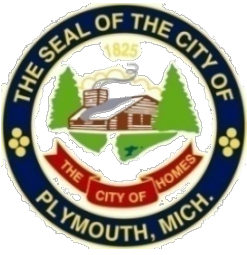
PROJECT
RENOVATIONS AND
ADDITIONS TO:
885 STARKWEATHER
FOR:
Starkweather 885, LLC

PROJECT ADDRESS
885 Starkweather
Plymouth, MI

PROJECT NUMBER
22.30

SHEET NAME
CONCEPTUAL RENDERINGS

SHEET NUMBER
A304



City of Plymouth Community Development Department Special Land Use and Site Plan Review

City of Plymouth
201 S. Main
Plymouth, Michigan 48170

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

Applicant: Joseph Philips – 915 Wing Street Plymouth Michigan, 48170
Location: 525 W. Ann Arbor Trail
Zoning: B-1 – Local Business District
Action Requested: Special Land Use and Site Plan Approval
Review Date: July 10, 2023

Project And Site Description:

The applicant is proposing to build a single-family residential home on the subject site, which is 0.21 acres (or 9,089 s.f.). A single-family home (or one-family detached dwelling) in the B-1, Local Business District is a Special Land Use.

The previous owner demolished the two-unit duplex which had previously occupied the site. The proposed building is diagrammatic only: two stories tall, or 24.1-feet to the midpoint of the roof. The proposed living space is 3,284 s.f., with a covered front porch at 390 s.f., a back landing 25 s.f., a back deck at 116 s.f. and a detached two-car garage at 624 s.f.

An aerial of the subject site is shown in Figure 1 below.



Figure 1

Special Land Use Status:

The proposed residential use shall be reviewed by the Planning Commission in terms of the special land use standards stated in section 78-281. The Planning Commission shall establish that the use and the proposed location...

- (1) Will be harmonious and in accordance with the general objectives or any specific objectives of the City of Plymouth Master Plan.**

Community Development Comment:

Residential Use: This property is identified in the 2018 Master plan as “Mixed Use – Low Density.” This designation states that the following is appropriate:

“... to have a low-impact commercial use adjacent to single family or multi-family residential areas. The land use allows for single and multi-family uses to continue and be established, while encouraging lower-intensity commercial and office uses that can serve the residential areas. The Mixed-Use Low-Density land use designation is generally detached buildings with the character of single-family residences that are no more than two stories. Parking in this land use should be located at the rear of the property.”

This section of the Master Plan describes the current conditions of commercial uses being next door to existing single-family residential uses. It also states that single and multi-family uses should be allowed to continue and “be established.” We would interpret this to mean “new” single and multi-family uses are desired with the Mixed Use – Low Density designation, which is consistent with this proposal. However, we believe that this property is better suited for the “low-impact commercial use” to be established or multi-family residential use to be re-established.

Residential Character: Chapter 3 Goals of the Master Plan identifies several goals that, in our opinion, are relevant to this request. These goals include the following:

- Encourage appropriate home sizing & massing
- Create lifelong neighborhoods of diverse housing for various income levels

Chapter 4, Future Land Use Plan, also includes a Residential Vision Statement, as follows:

“Homes in the City of Plymouth shall contribute to the character and desirability of the City. They shall maintain the walkable character of the neighborhoods, with appropriate heights relative to the street, and appropriate distance from sidewalks. They shall be built size-appropriate to their lots, allowing adequate space and sunlight to neighboring homes. They shall maximize green space and trees and minimize concrete surfaces to allow for both the continued forestation of Plymouth and allow for the City’s infrastructure stormwater management.”

The Residential Vision Statement in the Master Plan would be accomplished if the proposed structure met the R-1, Single-Family Residential District standards.

- (2) Will be designed, constructed, operated, and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and will not change the essential character of the area.**

Community Development Comment: We consider the appearance of the proposed single-family structure to be consistent with the residential character in the general vicinity. We believe that the proposed two-story single-family residential building with parking in the rear would not change the essential character of the area.

- (3) Will not be hazardous or disturbing to existing or future nearby uses.**

Community Development Comment: Given the scale of the proposed structure, we don't believe single-family use on this site would be hazardous or disturbing to nearby users.

- (4) Will be compatible with adjacent uses of land and will promote the use of land in a socially and economically desirable manner.**

Community Development Comment: This area of the city is a mixed-use area, that includes commercial, multi-family and some single-family uses. We would consider the subject property to be more compatible with commercial or multi-family use, due to the location between retail/office uses to the West, veterinary/medical use to the East, and assembly/personal service to the North. The trend to build single-family homes within proximity of the downtown will reduce the area available for commercial uses. It is our opinion that the change of use for a commercially zoned property to single-family residential is not economically desirable, nor is it compatible with the adjacent uses of land.

- (5) Will be served adequately by essential public services and facilities or that the persons responsible for the establishment of the proposed use will provide adequately any such service or facility**

Community Development Comment: The City's utilities can serve the proposed residential use.

- (6) Will not create excessive additional public costs and will not significantly decrease property values of surrounding properties.**

Community Development Comment: We don't expect the proposal to create excessive additional public costs. The existing building was used for multi-family residential, and constructing a new single-family building on this site will likely preclude any commercial uses on this site in the future. It is our opinion that the change of use will not significantly decrease property values of surrounding properties.

- (7) Will meet all the requirements and standards of this chapter and any other applicable laws, standards, ordinances, and/or regulations.**

Community Development Comment: The proposed building meets almost all the R-1 Single-Family Residential requirements, except items to be addressed in the following sections.

In summary, the single-family residential use is supported by the Master Plan, however, we would prefer a low-impact commercial or multi-family residential use proposed, and, in our opinion, meets most of the Special Land Use criteria.

Site Plan Review:

The following note was included on the site plan drawings: "Note: The proposed site development, location, and size of structures and design of structures is intended to be diagrammatic. The development of the project in all respects will conform to the requirements of R-1 zoning."

Per Sec. 78-281, a Special Land Use must submit a site plan prepared in accordance with article XX, Site Plan Review.

The remaining sections of this review evaluate the proposal against the R-1, Single-Family Residential District requirements.

Schedule of Regulations:

We have applied the schedule of regulations for the R-1 residential use in the table on the following page.

| Ordinance Criteria | | Required | Provided |
|------------------------------|-------|--------------------------|-----------------------|
| Minimum lot size | | 7,200 s.f. | 9,089 s.f. |
| Minimum lot width | | 60 feet | 69.1 feet |
| Height of buildings | | 2 stories / 25 ft max. | 2 stories/ 24.1 ft |
| Minimum yard setback | Front | FYSBW | 15 feet |
| | Sides | 6 ft least / 12 ft total | 6 feet / No dimension |
| | Rear | 35 feet | No dimension |
| Max. % lot coverage | | 35% | 30.8% |
| Max. floor area ratio | | 0.40 | .36 |
| Min. landscape area % of lot | | 35% | Not provided |

Items to be Addressed: Dimensional information should be provided for both side yard setbacks, the rear yard setback, and landscaping area. The dimension provided by the front yard setback worksheet needs to be recalculated only including properties within 200 feet of the subject property.

Parking:

The ordinance requires two parking spaces per single-family residence. The site plan shows a two-car attached garage, meeting this requirement.

Items to be Addressed: None.

Architectural Evaluations:

The applicant has provided elevations of the building facades in the submission. As this structure is designed to meet the R-1 Single-Family Residential standards, we have no concerns regarding the residential appearance of this building.

Items to be Addressed: None.

Recommendation:

The proposed single-family land use meets most of the special land use criteria. The proposed single-family land use meets the overall “mix” of commercial, multi-family, and single-family uses in the vicinity of the project site as stated in the Master Plan, however, in our opinion, a low-impact commercial or multi-family residential use is more compatible.

If the Planning Commission votes to approve the special land use, we recommend that the Special Land Use approval include the condition that the proposed structure shall meet all the land use requirements in the R-1, Single-Family Residential District.

The elevations and building drawings are diagrammatic. We would recommend the Planning Commission postpone approval of the site plan until final building plans have been selected and dimensional details are confirmed.

CITY OF PLYMOUTH
SITE PLAN REVIEW APPLICATION

Community Development Department
 201 S. Main Street Plymouth, MI 48170
 Ph. 734-453-1234 ext. 232
www.plymouthmi.gov

I. Site/Project Information

| | | |
|---|--|--|
| Site Address 525 W. ANN ARBOR TRAIL | Current Zoning Classification B1 | Date of Application 06/19/23 |
| Name of Property Owner EVERGREEN DEVELOPMENT NV LLC | Phone Number (248) 866-5131 | |
| Mailing Address 485 S. MAIN STREET | Email Address (Required) mattffthurber@aol.com | |
| City PLYMOUTH | State MI | Zip Code 48170 |

II. Applicant and Contact Information

| | | | | |
|--|---------------------------------------|------------------------------------|-----------------------------------|---------------------------------|
| Indicate Who the Applicant Is. If Property Owner, Skip to Section III. <input checked="" type="checkbox"/> | <input type="checkbox"/> Architect | <input type="checkbox"/> Developer | <input type="checkbox"/> Engineer | <input type="checkbox"/> Lessee |
| Applicant/Company Name JOSEPH PHILIPS - ARCHITECT, LLC | Phone Number (734) 455-8354 | | | |
| Applicant/Company Address 915 WING STREET | City PLYMOUTH | State MI | Zip Code 48170 | |
| Email Address (Required) josephphilipsarchitect@gmail.com | | | | |

III. Site Plan Designer and Contact Information

| | | | | |
|---|---------------------------------------|---|--------------------------|--|
| Site Plan Designer Company Name JEKABSON & ASSOCIATES, P.C. | Phone Number (734) 414-7200 | | | |
| Company Address 1320 GOLDSMITH | City PLYMOUTH | State MI | Zip Code 48170 | |
| Registration Number 19836 | Expiration Date 01/01/2014 | Email Address (Required) JGE@jekabson.com | | |

IV. Type of Project (Please Select All that Apply)


V. Historic District

| | | | | | |
|-------------------------------------|---------------------------------------|---|--|--|--|
| <input type="checkbox"/> Commercial | <input type="checkbox"/> Multi-Family | <input checked="" type="checkbox"/> New | <input type="checkbox"/> Remodel | <input type="checkbox"/> Change of Use | Is this project located in the Historic District? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| <input type="checkbox"/> Mixed Use | <input type="checkbox"/> Industrial | <input type="checkbox"/> Addition | <input type="checkbox"/> Interior Finish | <input checked="" type="checkbox"/> Special Land Use | |

VI. Description of Work

| |
|--|
| CONSTRUCT A NEW SINGLE FAMILY RESIDENCE ON A LOT ZONED B1 |
| |
| |
| |

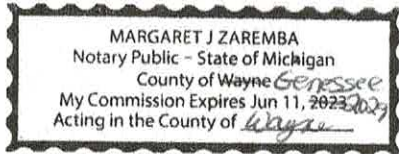
VII. Applicant Signature

| | |
|---|------------------|
| Signature of Applicant  | Date 06/19/23 |
|---|------------------|

VIII. Property Owner Signature

| | |
|---|-----------------|
| Signature of Property Owner Matt Cusker - Evergreen Developments LLC | Date 6/19/23 |
|---|-----------------|

Subscribed and sworn before me this 19th day of June, 2023.



Notary Public: 

My Commission expires: June 11, 2023

For Office Use Only

| | YES/DATE | NO | N/A |
|--|----------|----|-----|
| 1. Pre-Application Meeting | | | |
| 2. Digital Copy of Application Package | | | |
| 3. Public Hearing Notice | | | |
| 4. CWA Review | | | |
| 5. Municipal Services Review | | | |
| 6. Fire Department Review | | | |
| 7. Engineering Review | | | |

IX. Site Plan Review Checklist

| Please include the following applicable information on the site plan. | | YES | NO | N/A |
|---|---|-------------------------------------|-------------------------------------|-------------------------------------|
| 1. | Correct scale | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. | Name of person preparing plan* | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. | Date, north point | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. | Property line dimension | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 5. | Street right-of-way widths | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 6. | Existing utilities (sewer, water, gas, etc.) and easements | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 7. | Show adjacent property and buildings, including zoning | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 8. | Existing topography, trees and other features | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 9. | Off-site ground, parking lot, roadway, driveway and/or structure elevations for minimum distance of 50 feet | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 10. | On-site grid of maximum 100 feet intervals each way (closer where rolling terrain warrants) and minimum 2.0 feet contours | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 11. | Location of new structures including side and front yard setbacks and building length and width (show a general floor plan) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 12. | Number of dwelling units per building | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 13. | Height of structure | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 14. | Percent one room apartments (efficiencies) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 15. | Total number of rooms if multiple-family | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 16. | Parking requirements met (See Section 78-720) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 17. | Number of units and bedrooms each building | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 18. | Parking lot layout (showing paved area) including ingress and egress and service area | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 19. | Parking lot space dimensions | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 20. | Loading and unloading space | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 21. | Site grading and drainage plan (on-site elevations for pavements, drives, parking lots, curbs, sidewalks and finish grade at bldg.) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 22. | Utility connections (sanitary sewer, water, storm sewers) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 23. | On-site storm water retention | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. | Fire hydrants within 300 feet (on- and off-site) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. | Sidewalks and elevations | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 26. | Sedimentation and erosion control plan | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. | Landscape plan showing plant materials to be used | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. | Sign requirements met | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 29. | Require walls and fences or greenbelts | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 30. | Corner clearance | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 31. | Service drive needed | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 32. | Acceleration lanes and traffic pattern | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 33. | Trash receptacle locations including screening type and height | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 34. | Mail box locations | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

| Please include the following applicable information on the site plan. | | YES | NO | N/A |
|---|---|-------------------------------------|--------------------------|-------------------------------------|
| 35. | Air conditioner unit locations | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 36. | Special site features (play areas, pools, etc.) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 37. | Handicapped facilities | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 38. | Building elevation drawings | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

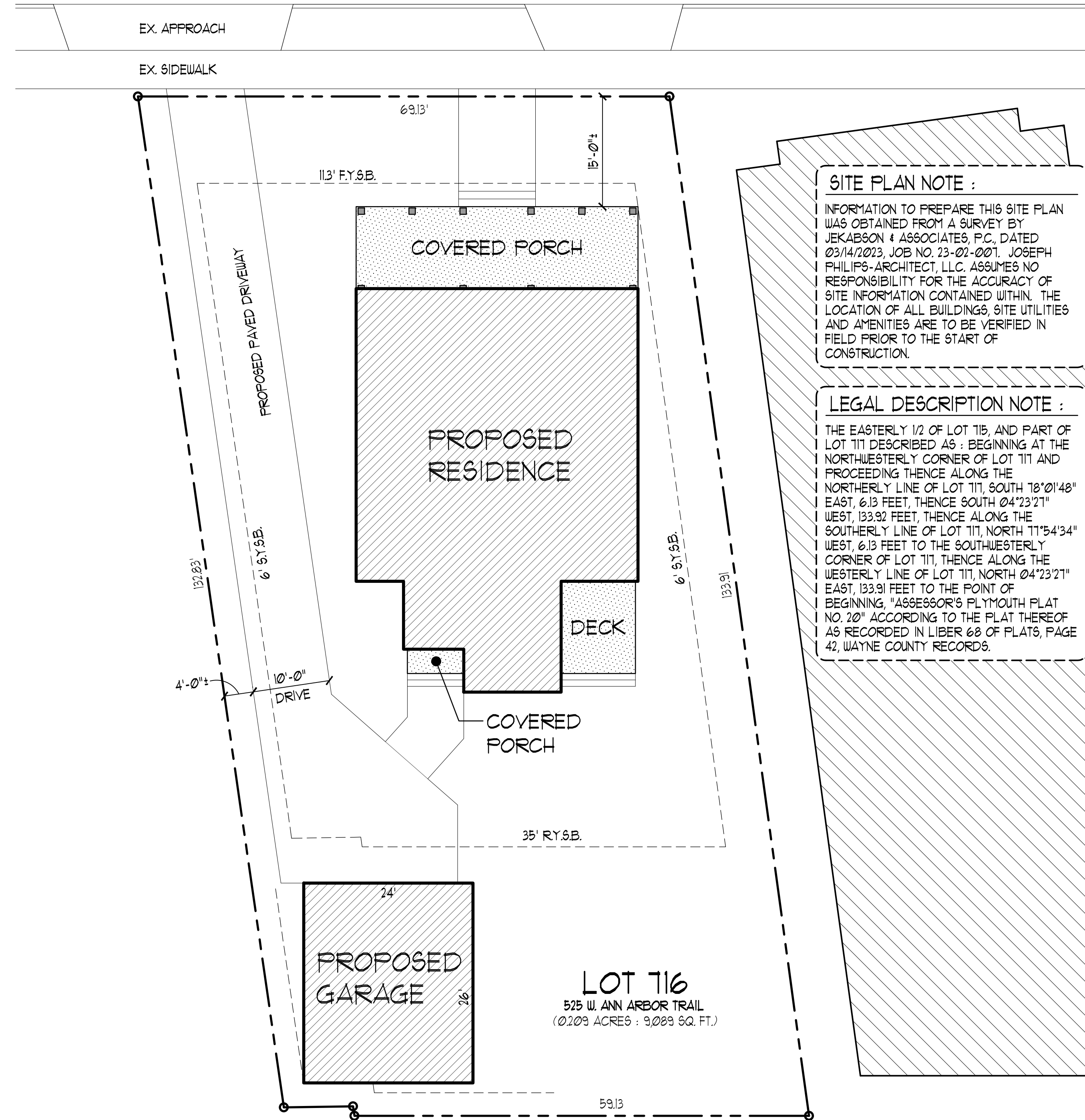
*Where property line surveys, topography, sewer, water or storm drains are shown, the name of the registered engineer or land surveyor preparing such elements of the plan shall be indicated on the plan.

525 W. ANN ARBOR TRAIL - CUSTOM HOME

525 W. ANN ARBOR TRAIL

PLYMOUTH, MICHIGAN

W. ANN ARBOR TRAIL



SITE PLAN NOTE :
 INFORMATION TO PREPARE THIS SITE PLAN WAS OBTAINED FROM A SURVEY BY JEKABSON & ASSOCIATES, P.C., DATED 03/14/2023, JOB NO. 23-02-001. JOSEPH PHILIPS-ARCHITECT, LLC. ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF SITE INFORMATION CONTAINED WITHIN. THE LOCATION OF ALL BUILDINGS, SITE UTILITIES AND AMENITIES ARE TO BE VERIFIED IN FIELD PRIOR TO THE START OF CONSTRUCTION.

LEGAL DESCRIPTION NOTE :
 THE EASTERLY 1/2 OF LOT 115, AND PART OF LOT 111 DESCRIBED AS: BEGINNING AT THE NORTHWESTERLY CORNER OF LOT 111 AND PROCEEDING THENCE ALONG THE NORTHERLY LINE OF LOT 111, SOUTH 18°01'48" EAST, 6.13 FEET, THENCE SOUTH 04°23'21" WEST, 133.92 FEET, THENCE ALONG THE SOUTHERLY LINE OF LOT 111, NORTH 11°54'34" WEST, 6.13 FEET TO THE SOUTHWESTERLY CORNER OF LOT 111, THENCE ALONG THE WESTERLY LINE OF LOT 111, NORTH 04°23'21" EAST, 133.91 FEET TO THE POINT OF BEGINNING, "ASSESSOR'S PLYMOUTH PLAT NO. 20" ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 68 OF PLATS, PAGE 42, WAYNE COUNTY RECORDS.

B-1 ZONING SUMMARY :

| | |
|----------------------------|--------------------|
| 1. ZONING DISTRICT : | B-1 LOCAL BUSINESS |
| 2. MINIMUM SETBACKS : | |
| FRONT : | 10 FT. |
| SIDE : | 0 FT. |
| REAR : | 35 FT. |
| 3. BUILDING RESTRICTIONS : | |
| MAX. HEIGHT : | 25 FT. / 2 STORIES |

PROPOSED R-1 ZONING CONFORMANCE :

| | |
|---|----------------------|
| 1. PRINCIPAL BUILDING MINIMUM SETBACKS & RESTRICTIONS : | |
| FRONT (AVG.) : | 113 FT. |
| SIDE (LEAST ONE) : | 6 FT. |
| SIDE (TOTAL OF TWO) : | 12 FT. |
| REAR : | 35 FT. |
| MAX. HEIGHT : | 25 FT. / 2 STORIES |
| 2. ACCESSORY BUILDING MINIMUM SETBACKS & RESTRICTIONS : | |
| SIDE : | 3 FT. |
| REAR : | 3 FT. |
| FROM PRINCIPAL BUILDING : | 10 FT. |
| MAX. HEIGHT : | 15 FT. / 1.5 STORIES |
| MAX. AREA : | 35% OF REAR YARD |
| (R.Y.S.B. x FRONTAGE) 35% : | 841± SQ. FT. |
| MAX. NO. OF DETACHED ACCESSORY BUILDINGS : | 2 BUILDINGS |
| 3. LOT SIZE : | |
| FRONTAGE : | 69.13 FT. |
| DEPTH (AVG.) : | 132.6± FT. |
| LOT SIZE : | 9,089 SQ. FT. |

NOTE : THE PROPOSED SITE DEVELOPMENT, LOCATION & SIZE OF STRUCTURES AND DESIGN OF STRUCTURES IS INTENDED TO BE DIAGRAMMATIC. THE DEVELOPMENT OF THE PROJECT IN ALL RESPECTS WILL CONFORM TO THE REQUIREMENTS OF "R-1" ZONING.

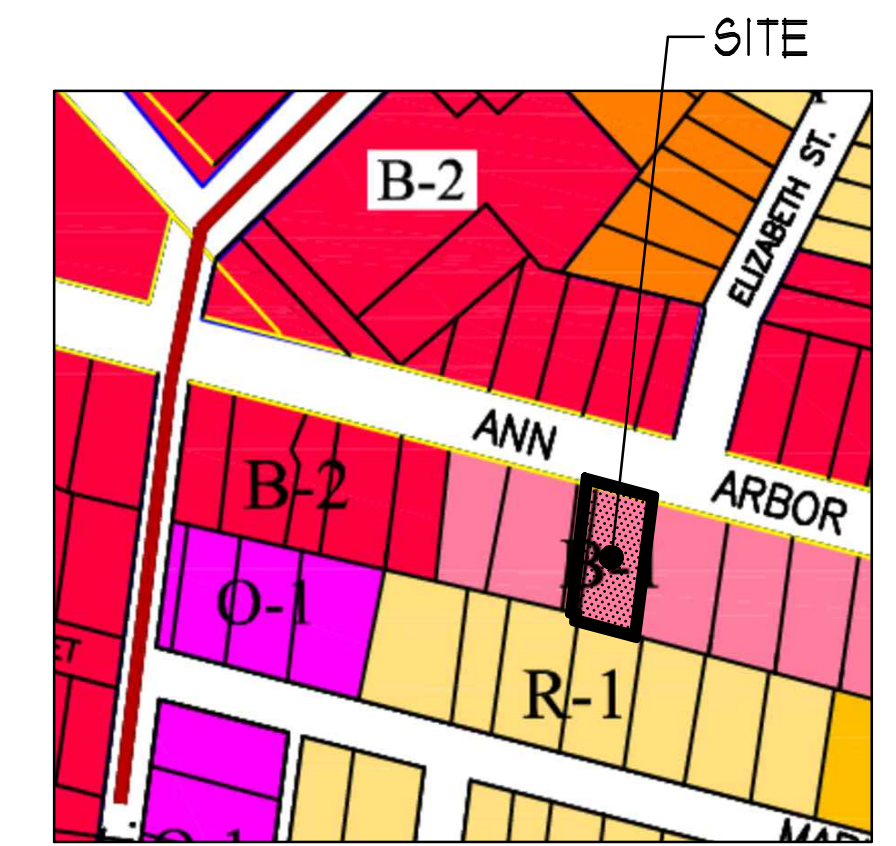
| | |
|---------------------------------|----------------------|
| 4. PROPOSED BUILDING AREAS : | |
| FIRST FLOOR : | 1,642± SQ. FT. |
| SECOND FLOOR : | 1,642± SQ. FT. |
| GARAGE (DETACHED) : | 624± SQ. FT. |
| FRONT PORCH (COVERED) : | 390± SQ. FT. |
| REAR PORCH (COVERED) : | 25± SQ. FT. |
| DECK : | 116± SQ. FT. |
| 5. LOT COVERAGE : | |
| MAX. LOT COVERAGE : | 35% (3,181 SQ. FT.) |
| FIRST FLOOR : | 1,642± SQ. FT. |
| GARAGE (DETACHED) : | 624± SQ. FT. |
| FRONT PORCH (COVERED) : | 390± SQ. FT. |
| REAR PORCH (COVERED) : | 25± SQ. FT. |
| DECK : | 116± SQ. FT. |
| TOTAL SQUARE FOOTAGE AT GRADE : | 2,791± SQ. FT. |
| 2,791 SQ. FT. / 9,089 SQ. FT. : | 30.8% |
| 6. FAR : | |
| MAX. FAR : | 0.40 (3,636 SQ. FT.) |
| FIRST FLOOR : | 1,642± SQ. FT. |
| SECOND FLOOR : | 1,642± SQ. FT. |
| TOTAL SQUARE FOOTAGE : | 3,284± SQ. FT. |
| 3,284 SQ. FT. / 9,089 SQ. FT. : | 0.36 |

ISSUED FOR :

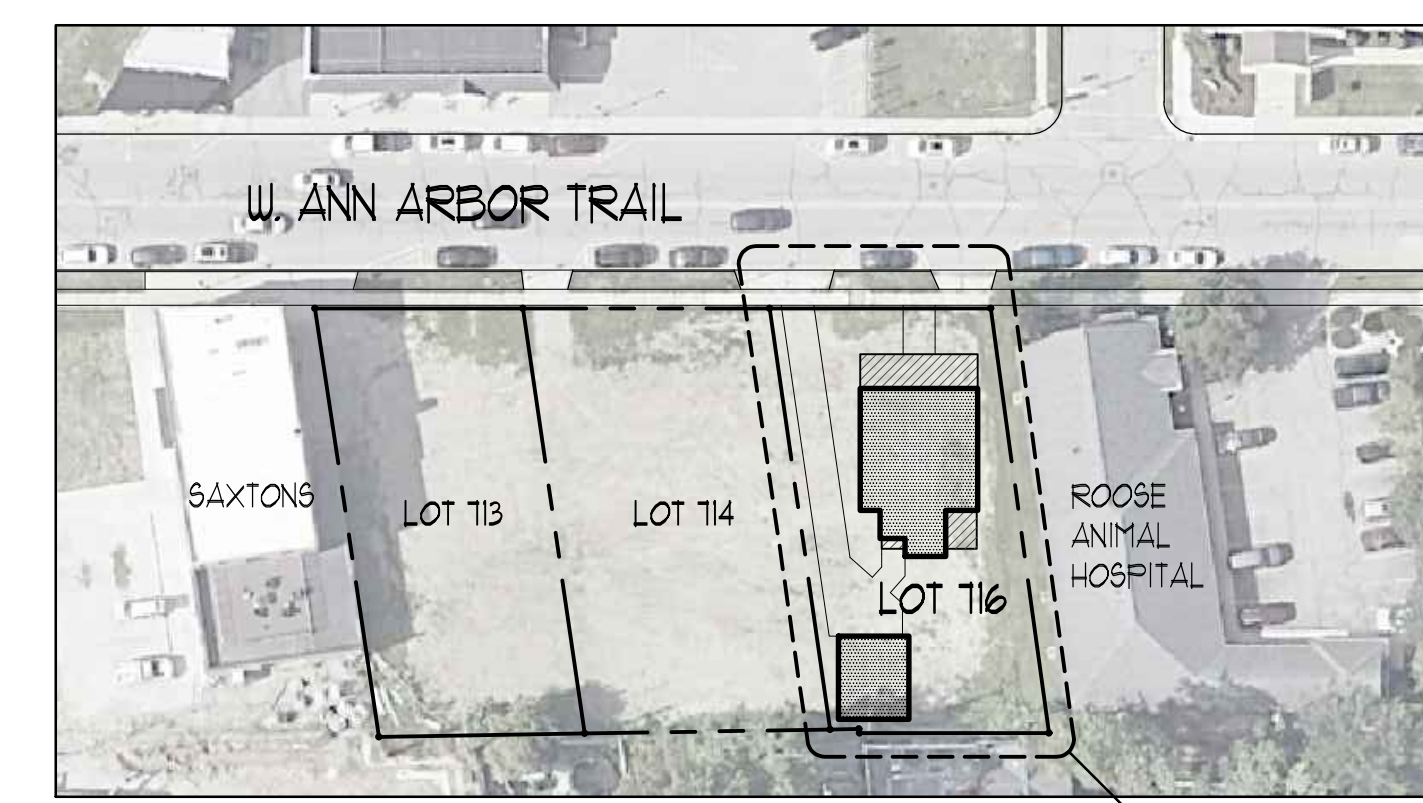
06/19/23 DRAWINGS ARE BEING ISSUED THIS DATE FOR SUBMISSION TO THE CITY OF PLYMOUTH PLANNING COMMISSION TO OBTAIN SPECIAL LAND USE APPROVAL.

DRAWING INDEX:

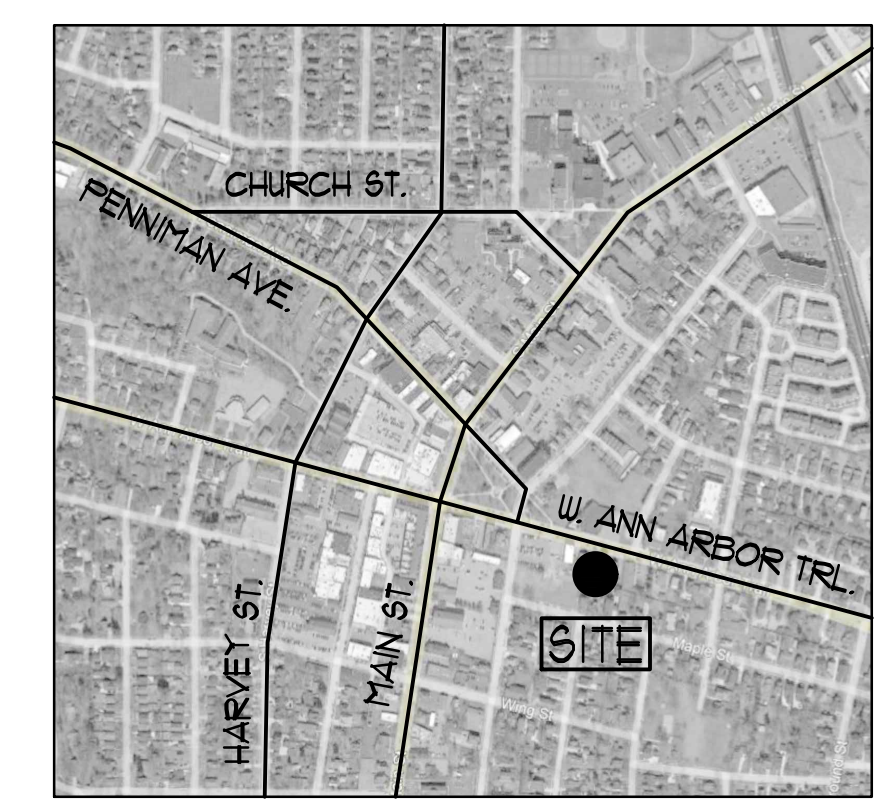
| SHEET | TITLE | ISSUE DATE |
|-------|---------------------|------------|
| 1 | PROPOSED PLANS | 06/19/23 |
| 2 | PROPOSED ELEVATIONS | 06/19/23 |



PARTIAL ZONING MAP
 NOT TO SCALE



KEY PLAN
 SCALE: 1" = 60'-0"



LOCATION MAP
 NOT TO SCALE

PROPOSED SITE PLAN
 SCALE: 1" = 10'-0"

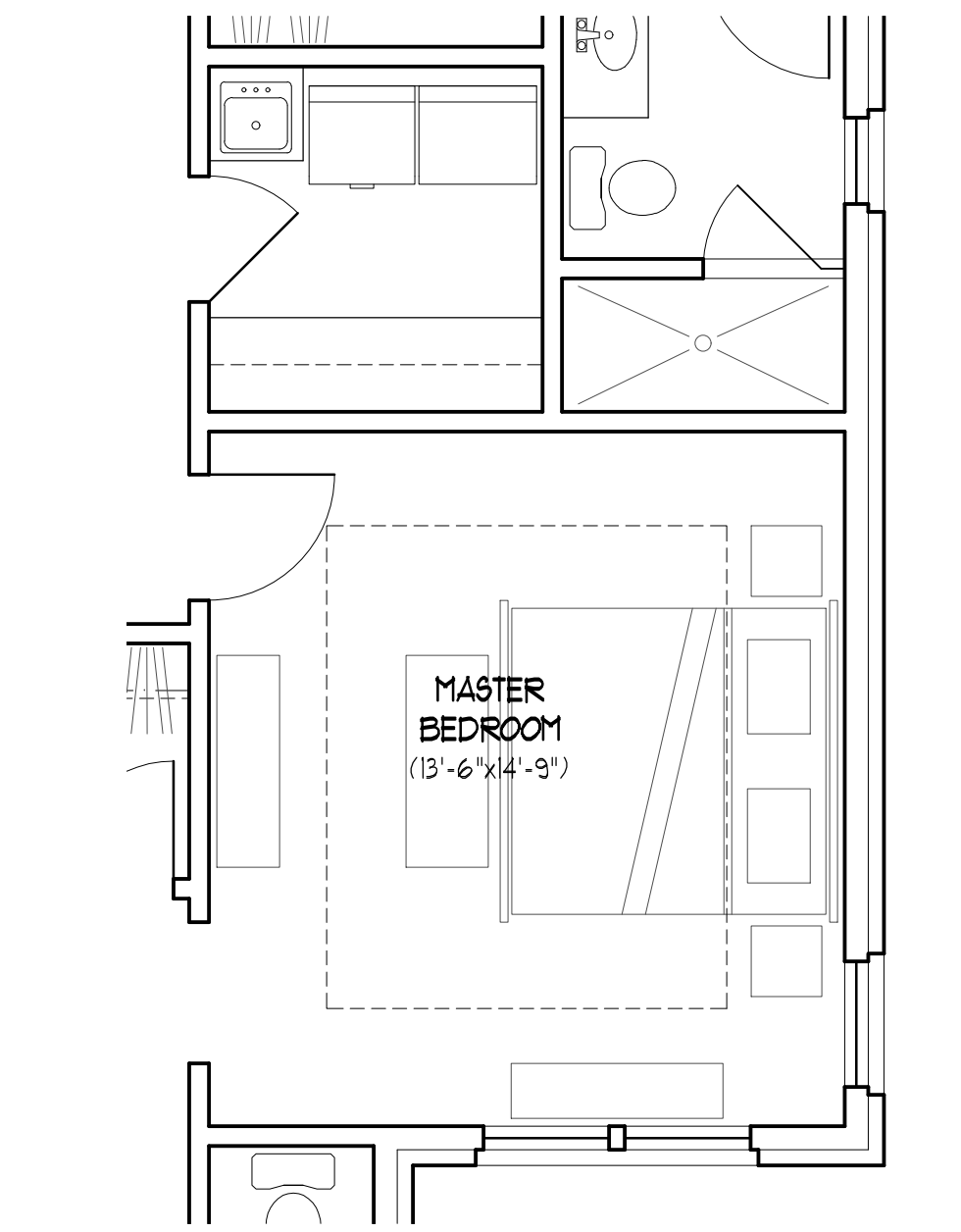
JOSEPH PHILIPS ARCHITECT, LLC

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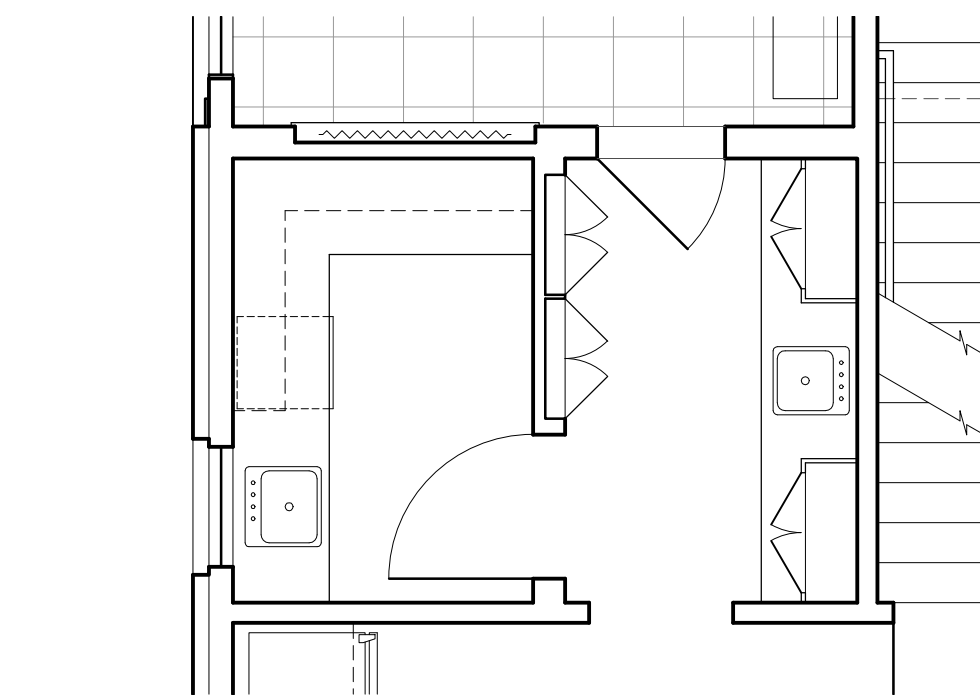
PROJECT: 525 W. ANN ARBOR TRAIL - CUSTOM HOME
 525 W. ANN ARBOR TRAIL, PLYMOUTH, MICHIGAN
 TITLE SHEET

PRELIMINARY
 JOB NO: 23916a
 DATE: 06/19/23
 SHEET NO: 10
 TITLE: 525
 916_PD_09

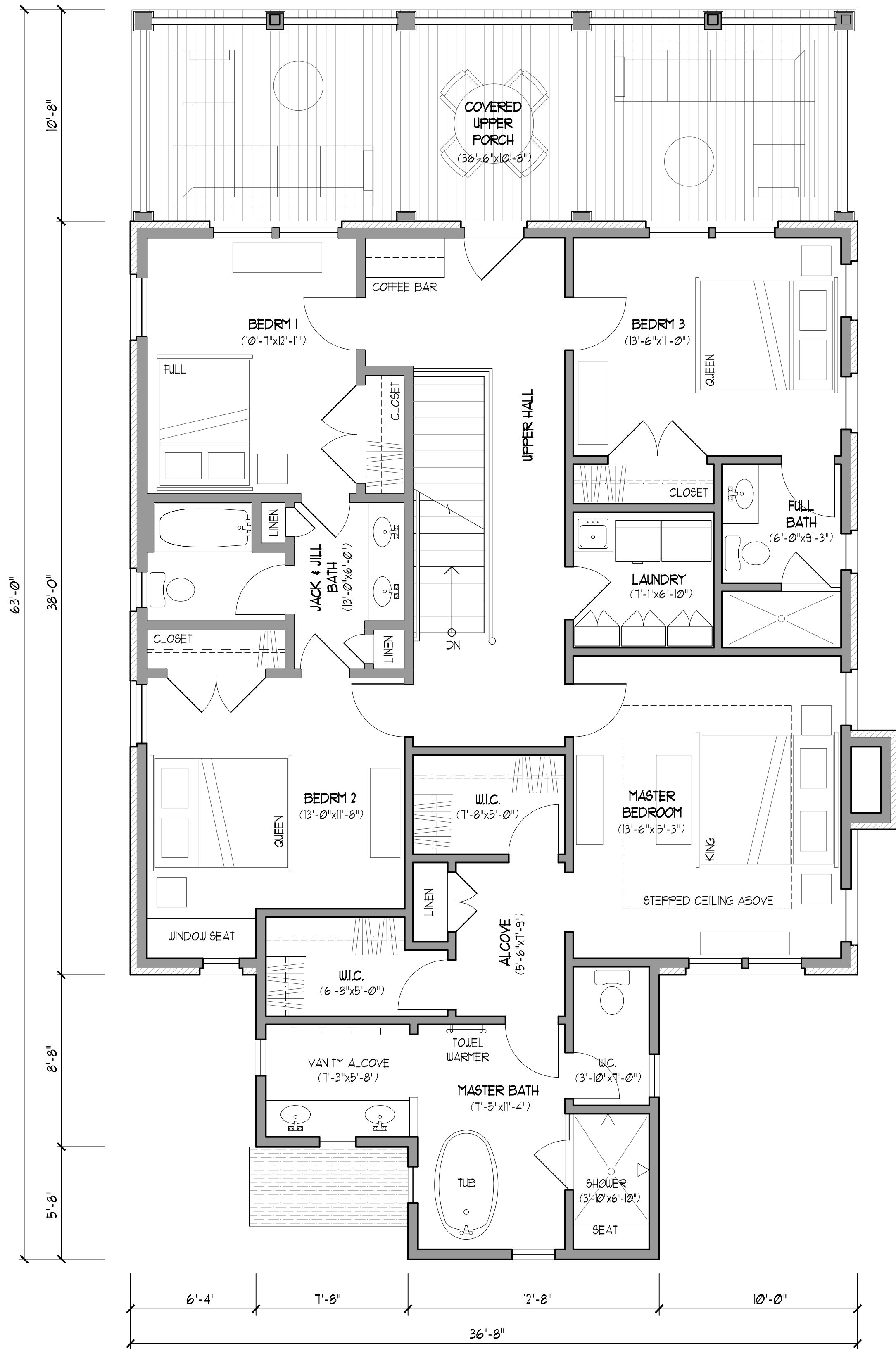
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SECOND FLOOR ALT.
SCALE: 1/4" = 1'-0"

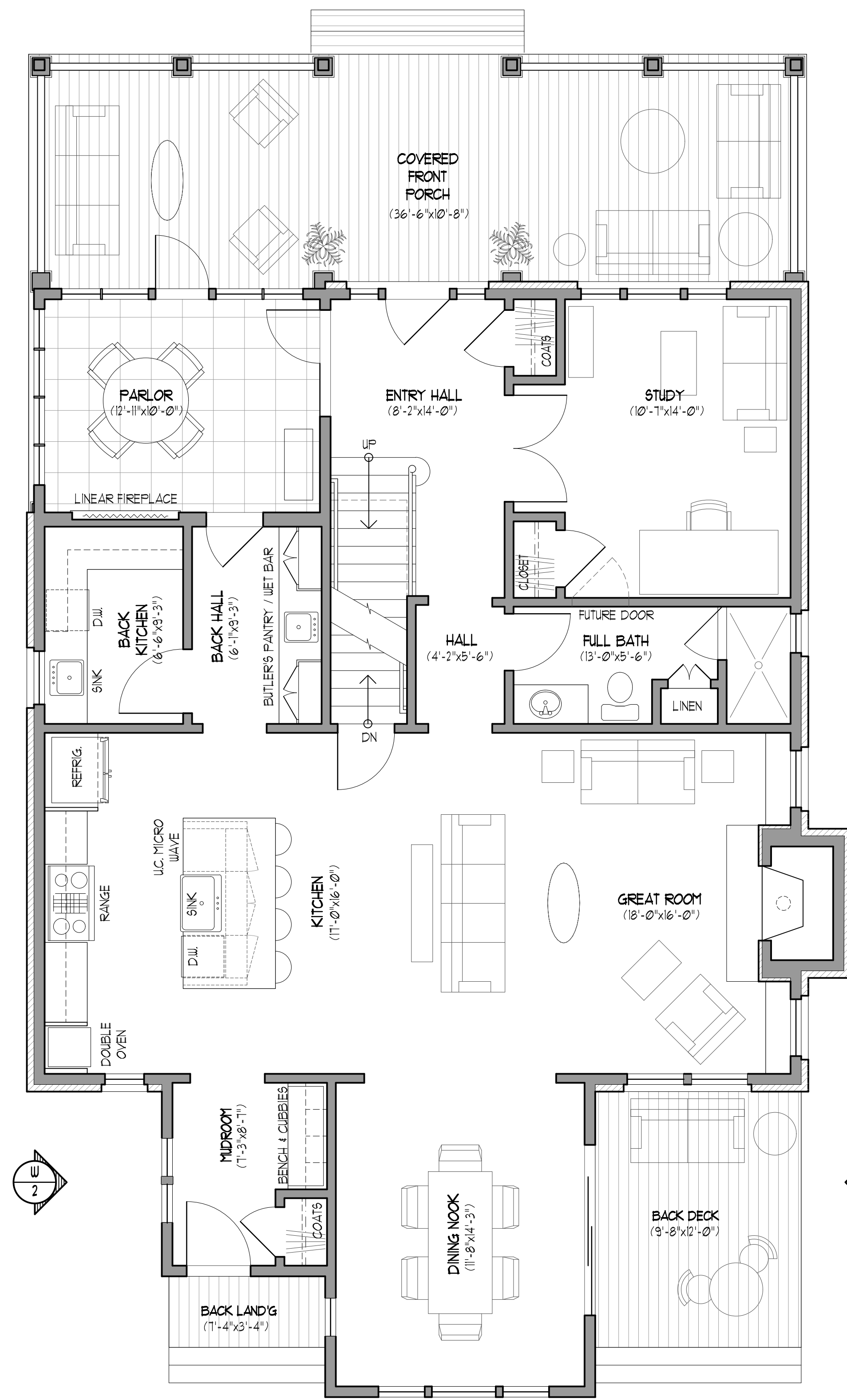


FIRST FLOOR ALT.
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

SECOND FLOOR 1,642 sq.ft.
COVERED UPPER PORCH 390 sq.ft.



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FIRST FLOOR 1,642± sq.ft.
COVERED FRONT PORCH 390± sq.ft.
BACK LAND'G 25± sq.ft.
BACK DECK 116± sq.ft.
TWO CAR GARAGE 624± sq.ft.
TOTAL 2,791± sq.ft.

NOT FOR CONSTRUCTION
UNLESS CIRCUMSTANCES IN THIS
DOCUMENT TO BE USED FOR
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PROJECT:
525 W. ANN ARBOR TRAIL - CUSTOM HOME
525 W. ANN ARBOR TRAIL, PLYMOUTH, MICHIGAN
PROPOSED PLANS - 525 W. ANN ARBOR TRL.

PRELIMINARY

JOB NO:
23916a
SHEET NO:
1

DATE:
06/19/23
916_PD_09

525

JOSEPH PHILIPS
ARCHITECT, LLC

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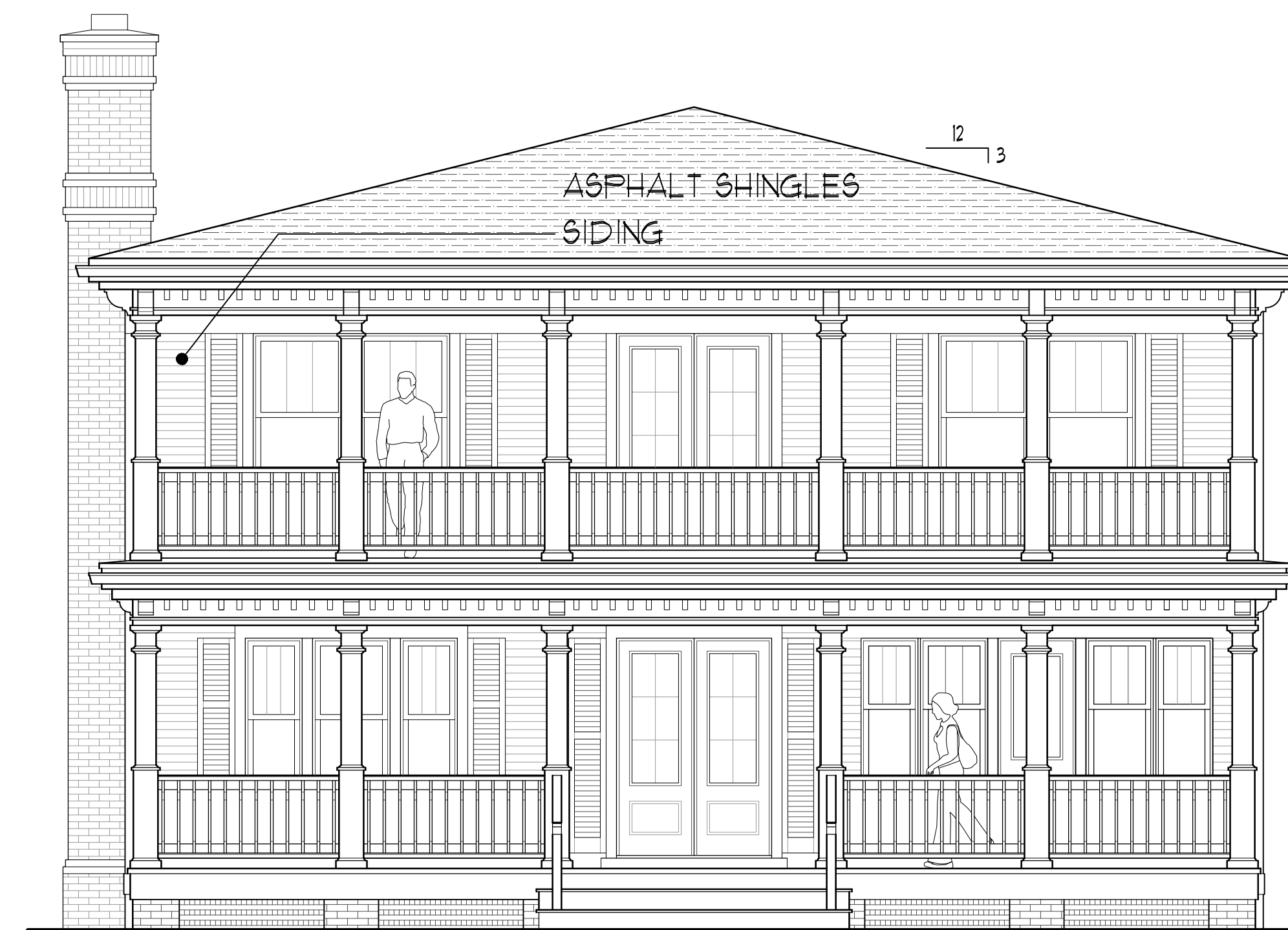
W
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



S
1 SOUTH (REAR) ELEVATION
SCALE: 1/4" = 1'-0"



E
1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



N
1 NORTH (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"

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ARCHITECT, LLC
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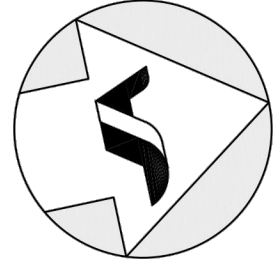
PROJECT:
525 W. ANN ARBOR TRAIL - CUSTOM HOME
525 W. ANN ARBOR TRAIL, PLYMOUTH, MICHIGAN
PROPOSED ELEVATIONS - 525 W. ANN ARBOR TR.

PRELIMINARY

JOB NO: 23916a
DATE: 06/19/23
SHEET NO: 2
916_PD_09

525

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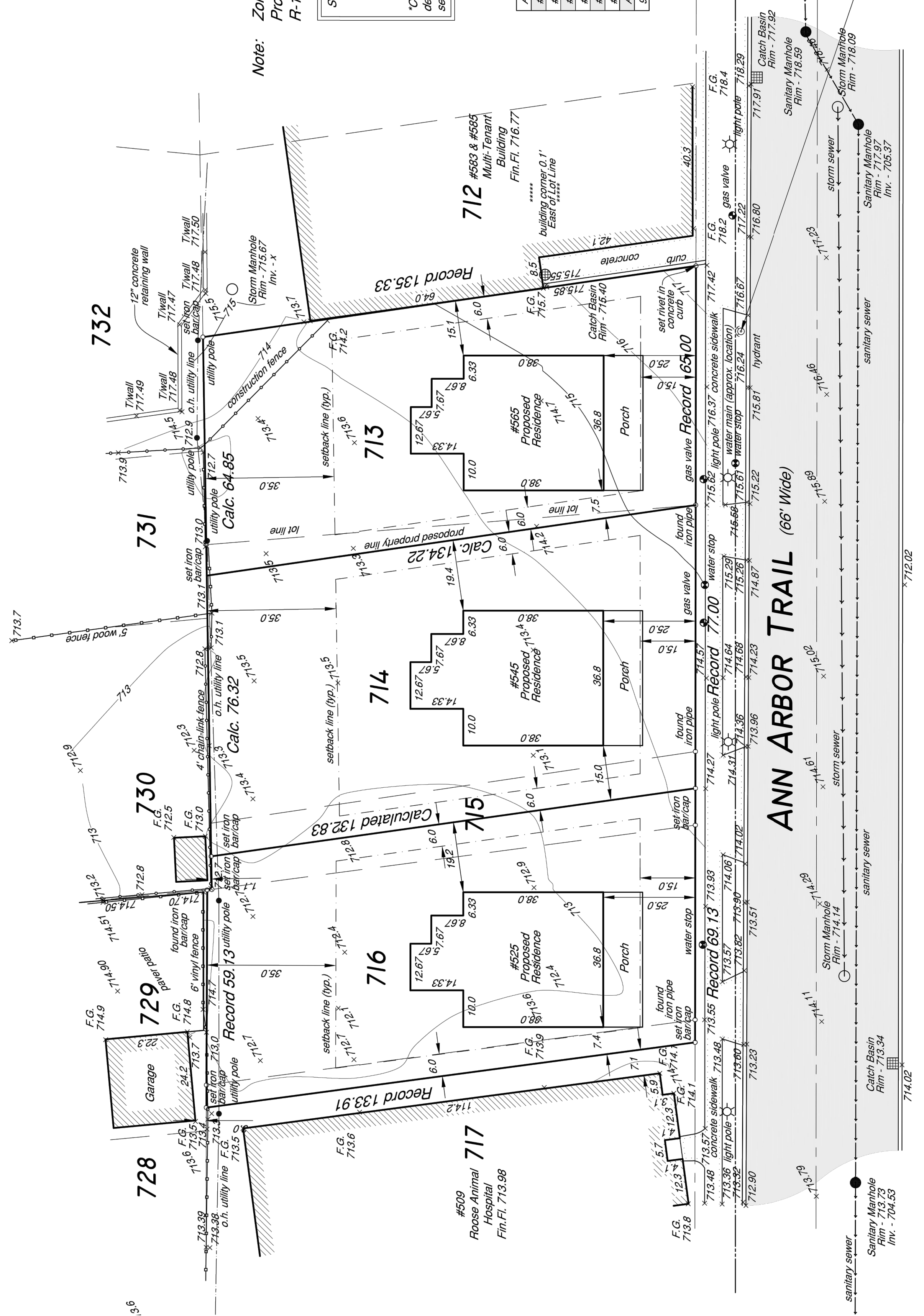


Note: Zoned B-1 Local Business
Proposed zoning setbacks for
R-1 One Family Residential

| | |
|------------|---------|
| Setbacks: | - 11.3' |
| Front | - 6' |
| Side | - 12' |
| Side total | - 12' |
| Rear | - 35' |

Check title policy for subdivision deed restrictions that may affect setback requirements.

| | |
|--|---------|
| Setback information on houses within 200' - on Ann Arbor Trail | |
| Address | Setback |
| #395 | 16.7 |
| #409 | 20.2 |
| #425 | 16.4 |
| #445 | 8.5 |
| #471 | 10.2 |
| #509 | 3.0 |
| Average | 12.5 |
| 90% of Average | 11.3 |



NAVD88 BENCHMARK
ARROW ON HYDRANT
ELEVATION = 719.33

LEGAL DESCRIPTION

LOT 713 - 716, ALSO PART OF LOT 717 OF, "ASSESSOR'S PLYMOUTH PLAT No. 20" ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 68 OF PLATS, PAGE 42, WAYNE COUNTY RECORDS. CONTAINS 27,902 SQUARE FEET.

PROPOSED SITE PLAN

Prepared For: Evergreen Development NV, LLC
485 S. Main St.
Plymouth, MI 48170
(734) 667-3352

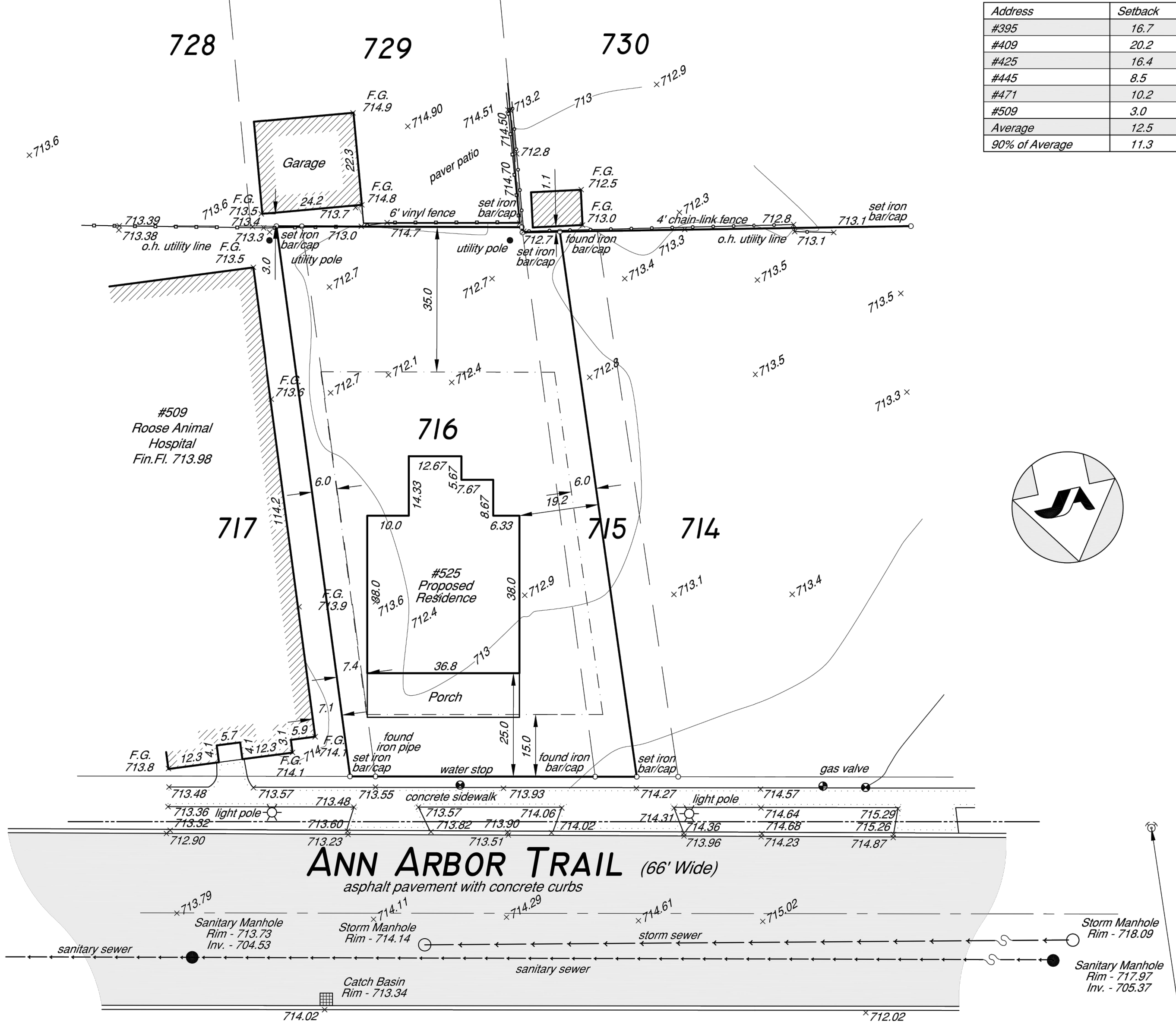
Drawn: AAH
Checked: JGE
Scale: 1" = 20'
Date: 13 JUNE 20
Job no. x
Sheet: 1 OF 1

by: **Jekabson & Associates, P.C.**
Professional Land Surveyors
1320 Goldsmith, Plymouth, MI 48170
(734) 414-7200 (734) 455-8000

LEGAL DESCRIPTION

PARCEL 3
THE EASTERLY 1/2 OF LOT 715, ALSO LOT 716, AND PART OF LOT 717 DESCRIBED AS: BEGINNING AT THE NORTHWESTERLY CORNER OF LOT 717 AND PROCEEDING THENCE ALONG THE NORTHERLY LINE OF LOT 717, SOUTH 78°01'48" EAST, 6.13 FEET; THENCE SOUTH 04°23'27" WEST, 133.92 FEET; THENCE ALONG THE SOUTHERLY LINE OF LOT 717, NORTH 77°54'34" WEST, 6.13 FEET TO THE SOUTHWESTERLY CORNER OF LOT 717; THENCE ALONG THE WESTERLY LINE OF LOT 717, NORTH 04°23'27" EAST, 133.91 FEET TO THE POINT OF BEGINNING, "ASSESSOR'S PLYMOUTH PLAT No. 20" ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 68 OF PLATS, PAGE 42, WAYNE COUNTY RECORDS. CONTAINS 9,089 SQUARE FEET.

OLI
Know what's below.
Call before you dig.



NAVD88 BENCHMARK
ARROW ON HYDRANT
ELEVATION = 719.33

Setback information on houses within 200' - on Ann Arbor Trail

| | |
|----------------|---------|
| Address | Setback |
| #395 | 16.7 |
| #409 | 20.2 |
| #425 | 16.4 |
| #445 | 8.5 |
| #471 | 10.2 |
| #509 | 3.0 |
| Average | 12.5 |
| 90% of Average | 11.3 |

Setbacks:

| | |
|------------|---------|
| Front | - 11.3' |
| Side | - 6' |
| Side total | - 12' |
| Rear | - 35' |

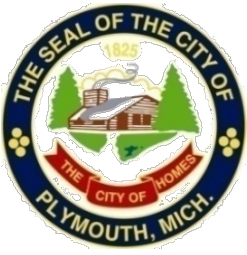
Check title policy for subdivision deed restrictions that may affect setback requirements.

PROPOSED SITE PLAN

Prepared For: Evergreen Development NV, LLC
485 S. Main St.
Plymouth, MI 48170
(734) 667-3352

Jekabson & Associates, P.C.
Professional Land Surveyors
1320 Goldsmith, Plymouth, MI 48170
(734) 414-7200 (734) 455-8000

| | |
|---------|-------------|
| Date | 14 MAR 2023 |
| Job no. | 23-02-007 |
| Scale | 1" = 20' |
| Drawn | AAH |
| Checked | JGE |



City of Plymouth Community Development Department Special Land Use and Site Plan Review

City of Plymouth
201 S. Main
Plymouth, Michigan 48170

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

Applicant: Joseph Philips – 915 Wing Street Plymouth Michigan, 48170

Location: 545 W. Ann Arbor Trail

Zoning: B-1 – Local Business District

Action Requested: Special Land Use and Site Plan Approval

Review Date: July 10, 2023

Project And Site Description:

The applicant is proposing to build a single-family residential home on the subject site, which is 0.23 acres (or 10,144 s.f.). A single-family home (or one-family detached dwelling) in the B-1, Local Business District is a Special Land Use.

The previous owner demolished the six-unit multi-family building which had previously occupied the site. The proposed building is diagrammatic only: two stories tall, or 24.1-feet to the midpoint of the roof. The proposed living space is 3,284 s.f. with a covered front porch at 390 s.f., a back landing 25 s.f., a back deck at 116 s.f. and a detached two-car garage at 624 s.f.

An aerial of the subject site is shown in Figure 1 below.



Figure 1

Special Land Use Status:

The proposed residential use shall be reviewed by the Planning Commission in terms of the special land use standards stated in section 78-281. The Planning Commission shall establish that the use and the proposed location...

- (1) Will be harmonious and in accordance with the general objectives or any specific objectives of the City of Plymouth Master Plan.**

Community Development Comment:

Residential Use: This property is identified in the 2018 Master plan as “Mixed Use – Low Density.” This designation states that the following is appropriate:

“... to have a low-impact commercial use adjacent to single family or multi-family residential areas. The land use allows for single and multi-family uses to continue and be established, while encouraging lower-intensity commercial and office uses that can serve the residential areas. The Mixed-Use Low-Density land use designation is generally detached buildings with the character of single-family residences that are no more than two stories. Parking in this land use should be located at the rear of the property.”

This section of the Master Plan describes the current conditions of commercial uses being next door to existing single-family residential uses. It also states that single and multi-family uses should be allowed to continue and “be established.” We would interpret this to mean “new” single and multi-family uses are desired in a mixed-use environment, which is consistent with this proposal. However, we believe that this property is better suited for the “low-impact commercial use” to be established or multi-family residential use to be re-established.

Residential Character: Chapter 3 Goals of the Master Plan identifies several goals that, in our opinion, are relevant to this request. These goals include the following:

- Encourage appropriate home sizing & massing
- Create lifelong neighborhoods of diverse housing for various income levels

Chapter 4, Future Land Use Plan, also includes a Residential Vision Statement, as follows:

“Homes in the City of Plymouth shall contribute to the character and desirability of the City. They shall maintain the walkable character of the neighborhoods, with appropriate heights relative to the street, and appropriate distance from sidewalks. They shall be built size-appropriate to their lots, allowing adequate space and sunlight to neighboring homes. They shall maximize green space and trees and minimize concrete surfaces to allow for both the continued forestation of Plymouth and allow for the City’s infrastructure stormwater management.”

The Residential Vision Statement in the Master Plan would be accomplished if the proposed structure met the R-1, Single-Family Residential District standards.

- (2) Will be designed, constructed, operated, and maintains to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and will not change the essential character of the area.**

Community Development Comment: We consider the appearance of the proposed single-family structure to be consistent with the residential character in the general vicinity. We believe that the proposed two-story single-family residential building with parking in the rear would not change the essential character of the area.

- (3) Will not be hazardous or disturbing to existing or future nearby uses.**

Community Development Comment: Given the scale of the proposed structure, we don't believe single-family use on this site would be hazardous or disturbing to nearby users.

- (4) Will be compatible with adjacent uses of land and will promote the use of land in a socially and economically desirable manner.**

Community Development Comment: This area of the city is a mixed-use area, that includes commercial, multi-family and some single-family uses. We would consider the subject property to be more compatible with commercial or multi-family use, due to the location between retail/office uses to the West, veterinary/medical use to the East, and assembly/personal service to the North. The trend to build single-family homes within proximity of the downtown will reduce the area available for commercial uses. It is our opinion that the change of use for a commercially zoned property to single-family residential is not economically desirable, nor is it compatible with the adjacent uses of land.

- (5) Will be served adequately by essential public services and facilities or that the persons responsible for the establishment of the proposed use will provide adequately any such service or facility**

Community Development Comment: The City's utilities can serve the proposed residential use.

- (6) Will not create excessive additional public costs and will not significantly decrease property values of surrounding properties.**

Community Development Comment: We don't expect the proposal to create excessive additional public costs. The existing building was used for multi-family residential, and constructing a new single-family building on this site will likely preclude any commercial uses on this site in the future. It is our opinion that the change of use will not significantly decrease property values of surrounding properties.

- (7) Will meet all the requirements and standards of this chapter and any other applicable laws, standards, ordinances, and/or regulations.**

Community Development Comment: The proposed building meets almost all the R-1 Single-Family Residential requirements, except items to be addressed in the following sections.

In summary, the single-family residential use is supported by the Master Plan, however, we would prefer a low-impact commercial or multi-family residential use proposed, and in our opinion meets most of the Special Land Use criteria.

Site Plan Review:

The following note was included on the site plan drawings: "Note: The proposed site development, location, and size of structures and design of structures is intended to be diagrammatic. The development of the project in all respects will conform to the requirements of R-1 zoning."

Per Sec. 78-281, a Special Land Use must submit a site plan prepared in accordance with article XX, Site Plan Review.

The remaining sections of this review evaluate the proposal against the R-1, Single-Family Residential District requirements.

Schedule of Regulations:

We have applied the schedule of regulations for the R-1 residential use in the table on the following page.

| Ordinance Criteria | | Required | Provided |
|------------------------------|-------|--------------------------|-----------------------|
| Minimum Lot size | | 7,200 s.f. | 10,144 s.f. |
| Minimum lot width | | 60 feet | 77 feet |
| Height of buildings | | 2 stories / 25 ft max. | 2 stories/ 24.1 ft |
| Minimum yard setback | Front | FYSBW | 15 feet |
| | Sides | 6 ft least / 12 ft total | 6 feet / No dimension |
| | Rear | 35 feet | No dimension |
| Max. % lot coverage | | 35% | 27.6% |
| Max. floor area ratio | | 0.40 | 0.32 |
| Min. landscape area % of lot | | 35% | Not provided |

Items to be Addressed: Dimensional information should be provided for both side yard setbacks, the rear yard setback, and landscaping area. The dimension provided by the front yard setback worksheet needs to be recalculated only including properties within 200 feet of the subject property.

Parking:

The ordinance requires two parking spaces per single-family residence. The site plan shows a two-car attached garage, meeting this requirement.

Items to be Addressed: None.

Architectural Evaluations:

The applicant has provided elevations of the building facades in the submission. As this structure is designed to meet the R-1 Single-Family Residential standards, we have no concerns regarding the residential appearance of this building.

Items to be Addressed: None.

Recommendation:

The proposed single-family land use meets most of the special land use criteria. The proposed single-family land use meets the overall “mix” of commercial, multi-family, and single-family uses in the vicinity of the project site as stated in the Master Plan, however, in our opinion, a low-impact commercial or multi-family residential use is more compatible.

If the Planning Commission votes to approve the special land use, we recommend that the Special Land Use approval include the condition that the proposed structure shall meet all the land use requirements in the R-1, Single-Family Residential District.

The elevations and building drawings are diagrammatic. We would recommend the Planning Commission postpone approval of the site plan until final building plans have been selected and dimensional details are confirmed.

CITY OF PLYMOUTH
SITE PLAN REVIEW APPLICATION

Community Development Department
 201 S. Main Street Plymouth, MI 48170
 Ph. 734-453-1234 ext. 232
www.plymouthmi.gov

I. Site/Project Information

| | | |
|---|--|--|
| Site Address 545 W. ANN ARBOR TRAIL | Current Zoning Classification B1 | Date of Application 06/19/23 |
| Name of Property Owner EVERGREEN DEVELOPMENT NV LLC | Phone Number (248) 866-5131 | |
| Mailing Address 485 S. MAIN STREET | Email Address (Required) mattffthurber@aol.com | |
| City PLYMOUTH | State MI | Zip Code 48170 |

II. Applicant and Contact Information

| | | | | |
|--|---|------------------------------------|-----------------------------------|---------------------------------|
| Indicate Who the Applicant Is. If Property Owner, Skip to Section III. | <input checked="" type="checkbox"/> Architect | <input type="checkbox"/> Developer | <input type="checkbox"/> Engineer | <input type="checkbox"/> Lessee |
| Applicant/Company Name JOSEPH PHILIPS - ARCHITECT, LLC | Phone Number (734) 455-8354 | | | |
| Applicant/Company Address 915 WING STREET | City PLYMOUTH | State MI | Zip Code 48170 | |
| Email Address (Required) josephphilipsarchitect@gmail.com | | | | |

III. Site Plan Designer and Contact Information

| | | | | |
|---|---------------------------------------|---|--------------------------|--|
| Site Plan Designer Company Name JEKABSON & ASSOCIATES, P.C. | Phone Number (734) 414-7200 | | | |
| Company Address 1320 GOLDSMITH | City PLYMOUTH | State MI | Zip Code 48170 | |
| Registration Number 19836 | Expiration Date 01/01/2014 | Email Address (Required) JGE@jekabson.com | | |

IV. Type of Project (Please Select All that Apply)

| | | | | |
|-------------------------------------|---------------------------------------|---|--|--|
| <input type="checkbox"/> Commercial | <input type="checkbox"/> Multi-Family | <input checked="" type="checkbox"/> New | <input type="checkbox"/> Remodel | <input type="checkbox"/> Change of Use |
| <input type="checkbox"/> Mixed Use | <input type="checkbox"/> Industrial | <input type="checkbox"/> Addition | <input type="checkbox"/> Interior Finish | <input checked="" type="checkbox"/> Special Land Use |

V. Historic District

Is this project located in the Historic District?
 Yes No

VI. Description of Work

| |
|--|
| CONSTRUCT A NEW SINGLE FAMILY RESIDENCE ON A LOT ZONED B1 |
| |
| |
| |

VII. Applicant Signature

Signature of Applicant

Date

06/19/23

VIII. Property Owner Signature

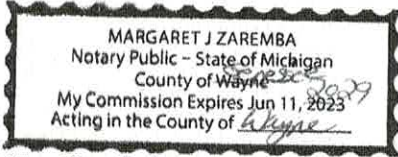
Signature of Property Owner

Date

Matt Linka - Evergreen Developments LLC

6/19/23

Subscribed and sworn before me this 19th day of June, 2023.



Notary Public: [Signature]

My Commission expires: June 11, 2023

For Office Use Only

| | YES/DATE | NO | N/A |
|--|----------|----|-----|
| 1. Pre-Application Meeting | | | |
| 2. Digital Copy of Application Package | | | |
| 3. Public Hearing Notice | | | |
| 4. CWA Review | | | |
| 5. Municipal Services Review | | | |
| 6. Fire Department Review | | | |
| 7. Engineering Review | | | |

IX. Site Plan Review Checklist

| Please include the following applicable information on the site plan. | | YES | NO | N/A |
|---|---|-------------------------------------|-------------------------------------|-------------------------------------|
| 1. | Correct scale | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. | Name of person preparing plan* | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. | Date, north point | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. | Property line dimension | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 5. | Street right-of-way widths | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 6. | Existing utilities (sewer, water, gas, etc.) and easements | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 7. | Show adjacent property and buildings, including zoning | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 8. | Existing topography, trees and other features | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 9. | Off-site ground, parking lot, roadway, driveway and/or structure elevations for minimum distance of 50 feet | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 10. | On-site grid of maximum 100 feet intervals each way (closer where rolling terrain warrants) and minimum 2.0 feet contours | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 11. | Location of new structures including side and front yard setbacks and building length and width (show a general floor plan) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 12. | Number of dwelling units per building | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 13. | Height of structure | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 14. | Percent one room apartments (efficiencies) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 15. | Total number of rooms if multiple-family | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 16. | Parking requirements met (See Section 78-720) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 17. | Number of units and bedrooms each building | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 18. | Parking lot layout (showing paved area) including ingress and egress and service area | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 19. | Parking lot space dimensions | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 20. | Loading and unloading space | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 21. | Site grading and drainage plan (on-site elevations for pavements, drives, parking lots, curbs, sidewalks and finish grade at bldg.) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 22. | Utility connections (sanitary sewer, water, storm sewers) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 23. | On-site storm water retention | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. | Fire hydrants within 300 feet (on- and off-site) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. | Sidewalks and elevations | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 26. | Sedimentation and erosion control plan | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. | Landscape plan showing plant materials to be used | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. | Sign requirements met | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 29. | Require walls and fences or greenbelts | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 30. | Corner clearance | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 31. | Service drive needed | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 32. | Acceleration lanes and traffic pattern | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 33. | Trash receptacle locations including screening type and height | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 34. | Mail box locations | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

| Please include the following applicable information on the site plan. | | YES | NO | N/A |
|---|---|-----|-----|-----|
| 35. | Air conditioner unit locations | [] | [] | [X] |
| 36. | Special site features (play areas, pools, etc.) | [] | [] | [X] |
| 37. | Handicapped facilities | [] | [] | [X] |
| 38. | Building elevation drawings | [X] | [] | [] |

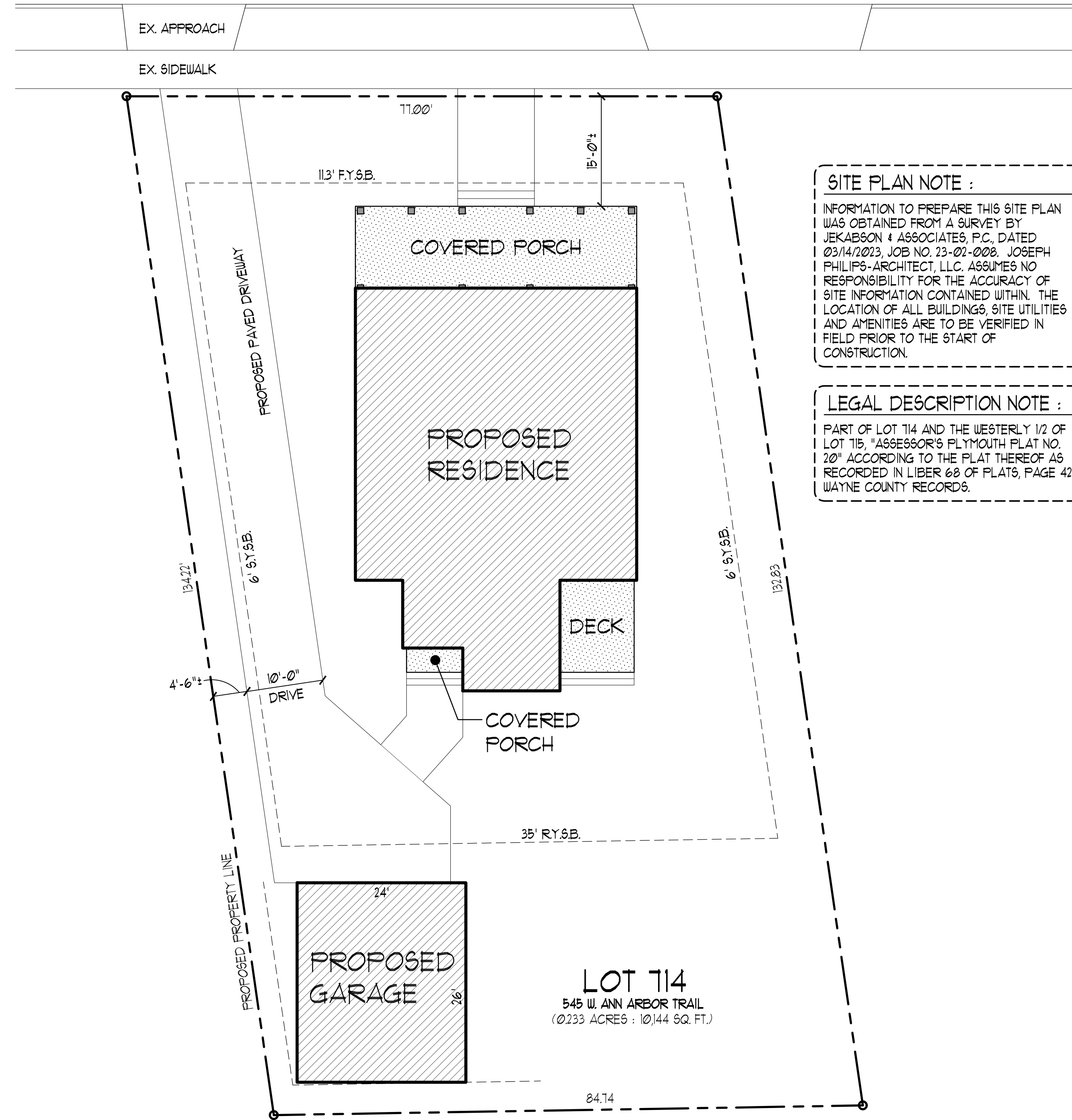
*Where property line surveys, topography, sewer, water or storm drains are shown, the name of the registered engineer or land surveyor preparing such elements of the plan shall be indicated on the plan.

545 W. ANN ARBOR TRAIL - CUSTOM HOME

545 W. ANN ARBOR TRAIL

PLYMOUTH, MICHIGAN

W. ANN ARBOR TRAIL



SITE PLAN NOTE :

INFORMATION TO PREPARE THIS SITE PLAN WAS OBTAINED FROM A SURVEY BY JEKABSON & ASSOCIATES, P.C., DATED 03/14/2023, JOB NO. 23-02-008. JOSEPH PHILIPS-ARCHITECT, LLC, ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF SITE INFORMATION CONTAINED WITHIN. THE LOCATION OF ALL BUILDINGS, SITE UTILITIES AND AMENITIES ARE TO BE VERIFIED IN FIELD PRIOR TO THE START OF CONSTRUCTION.

LEGAL DESCRIPTION NOTE :

PART OF LOT 114 AND THE WESTERLY 1/2 OF LOT 115, "ASSESSOR'S PLYMOUTH PLAT NO. 70" ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 68 OF PLATS, PAGE 42, WAYNE COUNTY RECORDS.

B-1 ZONING SUMMARY :

- 1. ZONING DISTRICT : B-1 LOCAL BUSINESS
- 2. MINIMUM SETBACKS :
 - FRONT : 10 FT.
 - SIDE : 0 FT.
 - REAR : 35 FT.
- 3. BUILDING RESTRICTIONS :
 - MAX. HEIGHT : 25 FT. / 2 STORIES

PROPOSED R-1 ZONING CONFORMANCE :

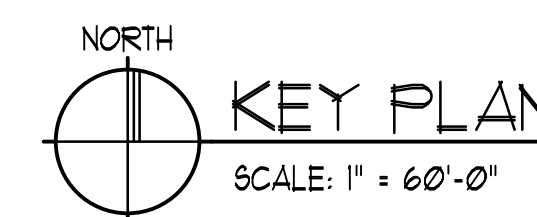
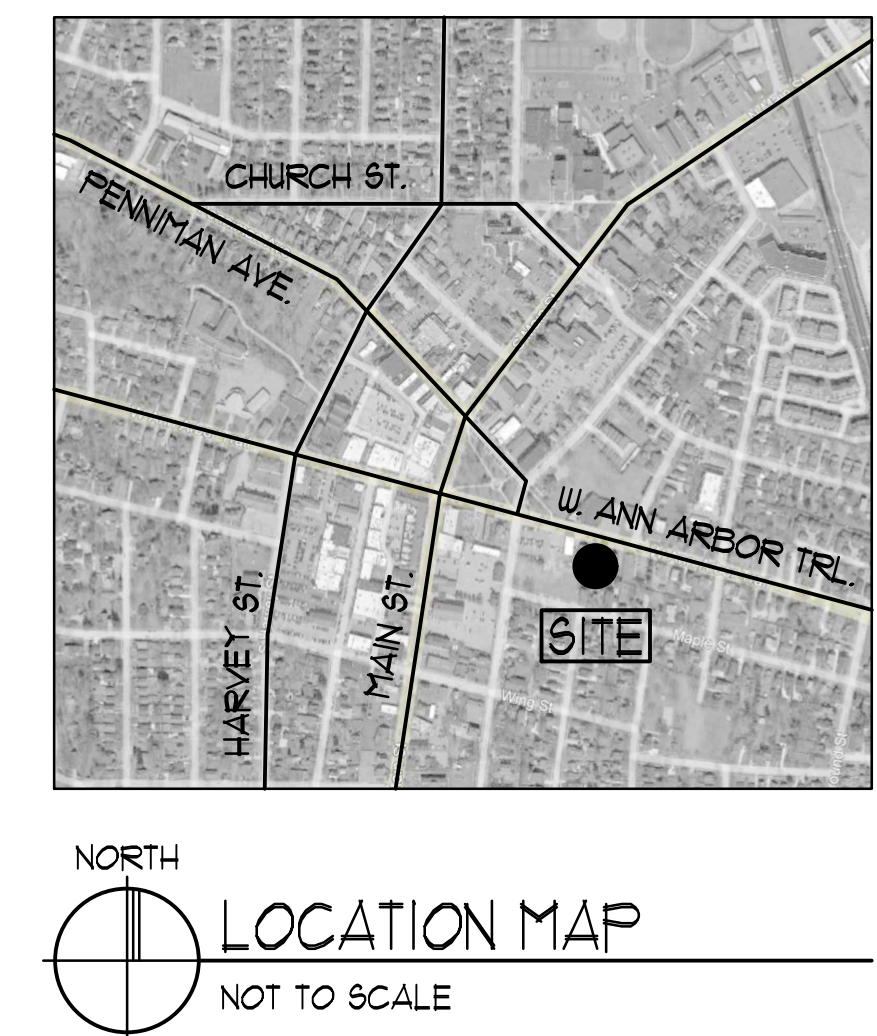
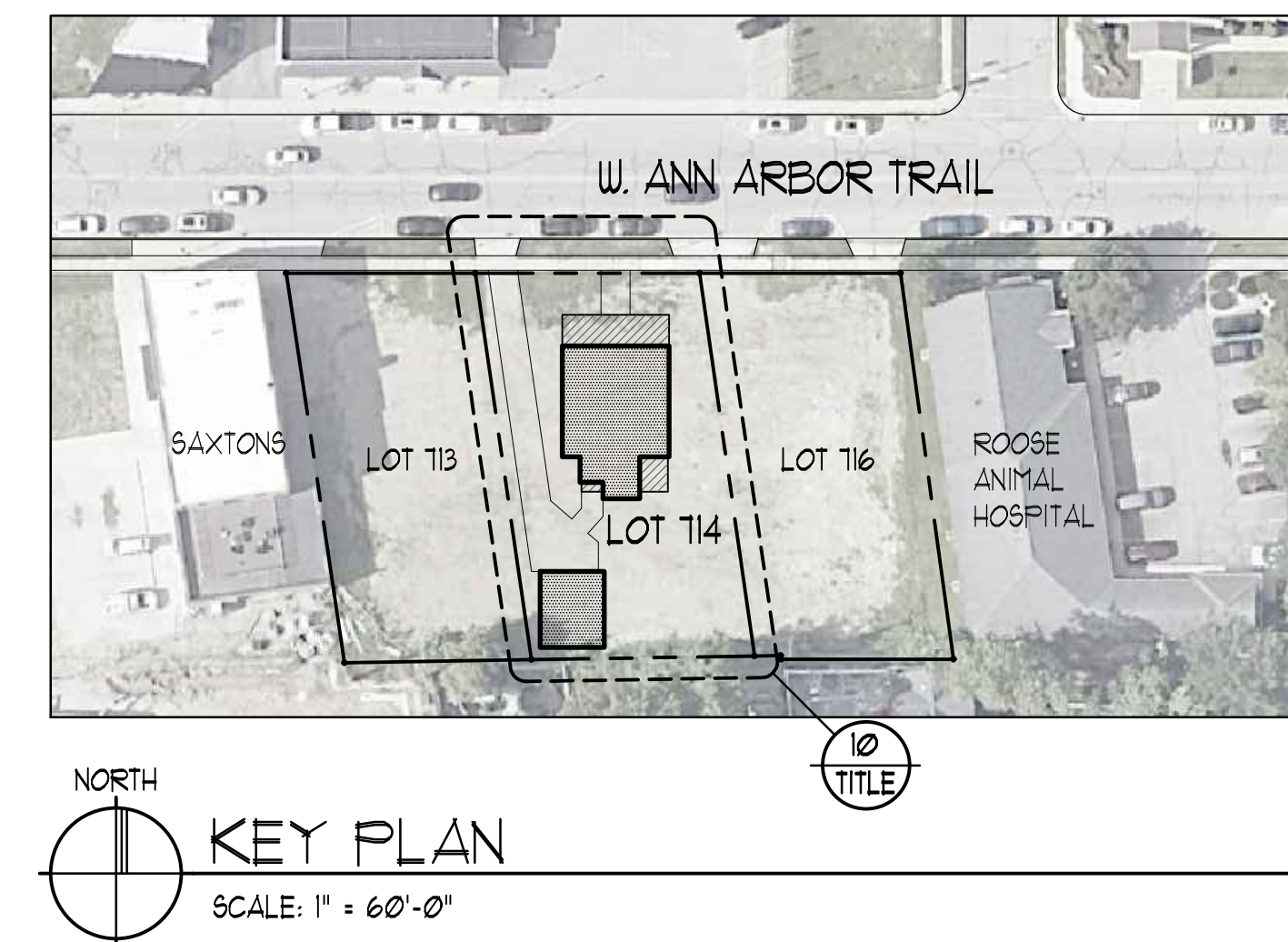
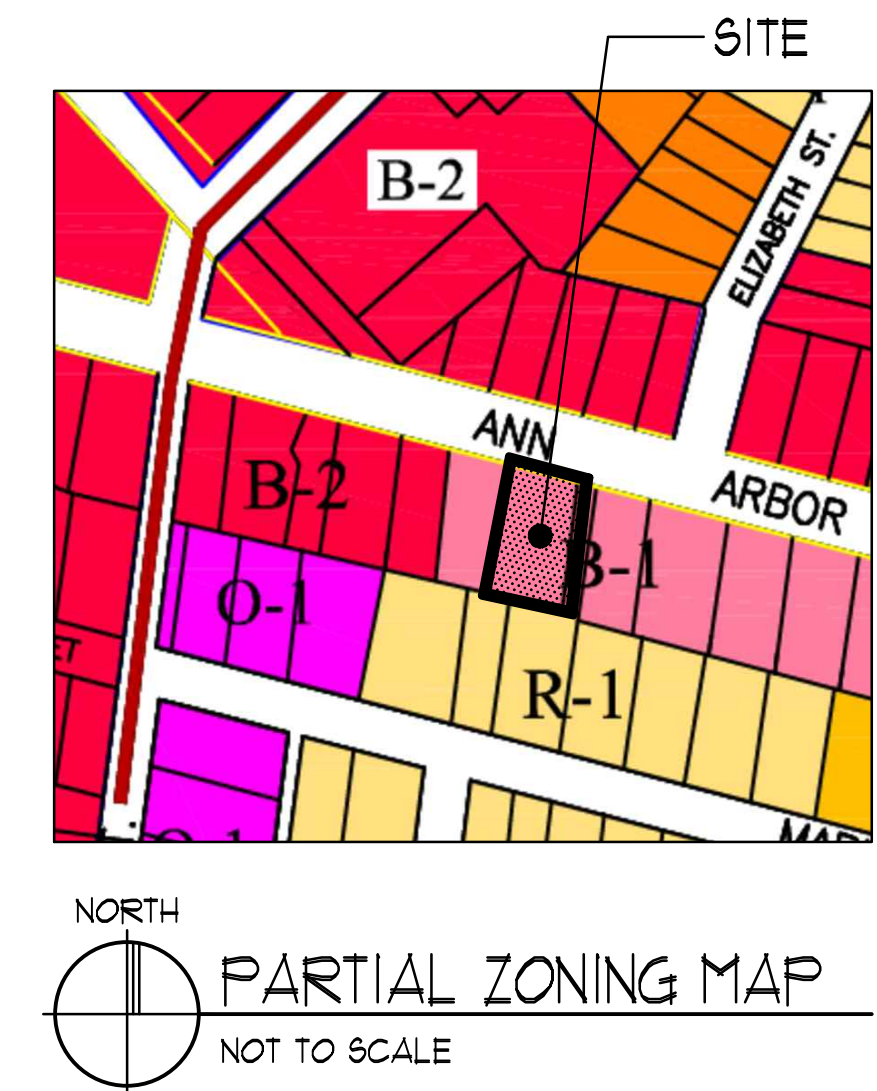
- 1. PRINCIPAL BUILDING MINIMUM SETBACKS & RESTRICTIONS :
 - FRONT (AVG.) : 11.3 FT.
 - SIDE (LEAST ONE) : 6 FT.
 - SIDE (TOTAL OF TWO) : 12 FT.
 - REAR : 35 FT.
 - MAX. HEIGHT : 25 FT. / 2 STORIES
- 2. ACCESSORY BUILDING MINIMUM SETBACKS & RESTRICTIONS :
 - SIDE : 3 FT.
 - REAR : 3 FT.
 - FROM PRINCIPAL BUILDING : 10 FT.
 - MAX. HEIGHT : 15 FT. / 1.5 STORIES
 - MAX. AREA : 35% OF REAR YARD (RY.S.B. x FRONTAGE) 35% 943± SQ. FT.
 - MAX. NO. OF DETACHED ACCESSORY BUILDINGS : 2 BUILDINGS
- 3. LOT SIZE :
 - FRONTAGE : 11 FT.
 - DEPTH (AVG.) : 132.5± FT.
 - LOT SIZE : 10,144 SQ. FT.
- NOTE : THE PROPOSED SITE DEVELOPMENT, LOCATION & SIZE OF STRUCTURES AND DESIGN OF STRUCTURES IS INTENDED TO BE DIAGRAMMATIC. THE DEVELOPMENT OF THE PROJECT IN ALL RESPECTS WILL CONFORM TO THE REQUIREMENTS OF "R-1" ZONING.
- 4. PROPOSED BUILDING AREAS :
 - FIRST FLOOR : 1,642± SQ. FT.
 - SECOND FLOOR : 1,642± SQ. FT.
 - GARAGE (DETACHED) : 624± SQ. FT.
 - FRONT PORCH (COVERED) : 390± SQ. FT.
 - REAR PORCH (COVERED) : 25± SQ. FT.
 - DECK : 116± SQ. FT.
- 5. LOT COVERAGE :
 - MAX. LOT COVERAGE : 35% (3,550 SQ. FT.)
 - FIRST FLOOR : 1,642± SQ. FT.
 - GARAGE (DETACHED) : 624± SQ. FT.
 - FRONT PORCH (COVERED) : 390± SQ. FT.
 - REAR PORCH (COVERED) : 25± SQ. FT.
 - DECK : 116± SQ. FT.
 - TOTAL SQUARE FOOTAGE AT GRADE : 2,791± SQ. FT. 2,791 SQ. FT. / 10,144 SQ. FT. 27.6 %
- 6. FAR :
 - MAX. FAR : 0.40 (4,058 SQ. FT.)
 - FIRST FLOOR : 1,642± SQ. FT.
 - SECOND FLOOR : 1,642± SQ. FT.
 - TOTAL SQUARE FOOTAGE : 3,284± SQ. FT. 3,284 SQ. FT. / 10,144 SQ. FT. 0.33

ISSUED FOR :

06/19/23 DRAWINGS ARE BEING ISSUED THIS DATE FOR SUBMISSION TO THE CITY OF PLYMOUTH PLANNING COMMISSION TO OBTAIN SPECIAL LAND USE APPROVAL.

DRAWING INDEX:

| SHEET | TITLE SHEET | ISSUE DATE |
|-------|---------------------|------------|
| 1 | PROPOSED PLANS | 06/19/23 |
| 2 | PROPOSED ELEVATIONS | 06/19/23 |



JOSEPH PHILIPS ARCHITECT, LLC

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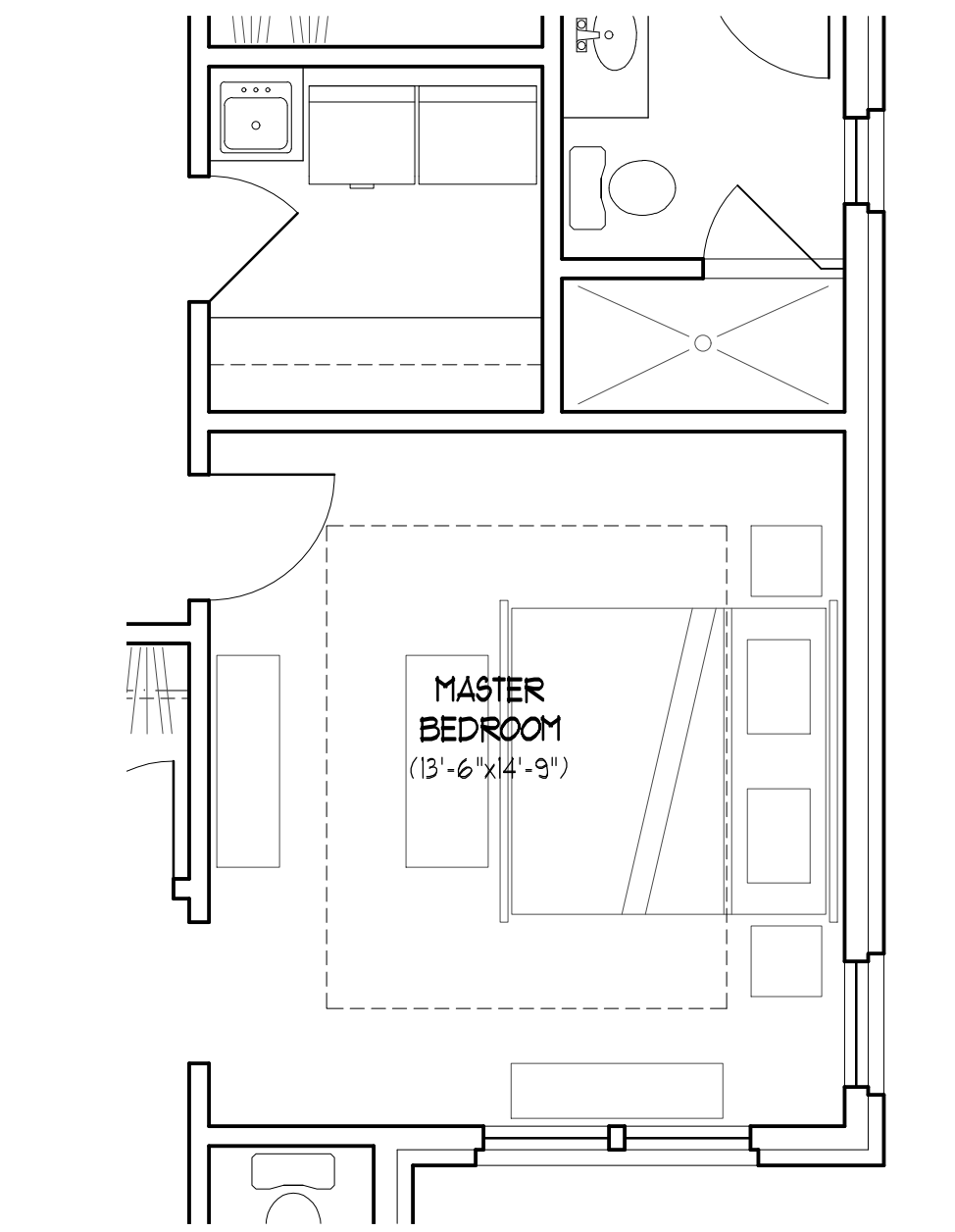
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545 W. ANN ARBOR TRAIL, PLYMOUTH, MICHIGAN
TITLE SHEET

PRELIMINARY

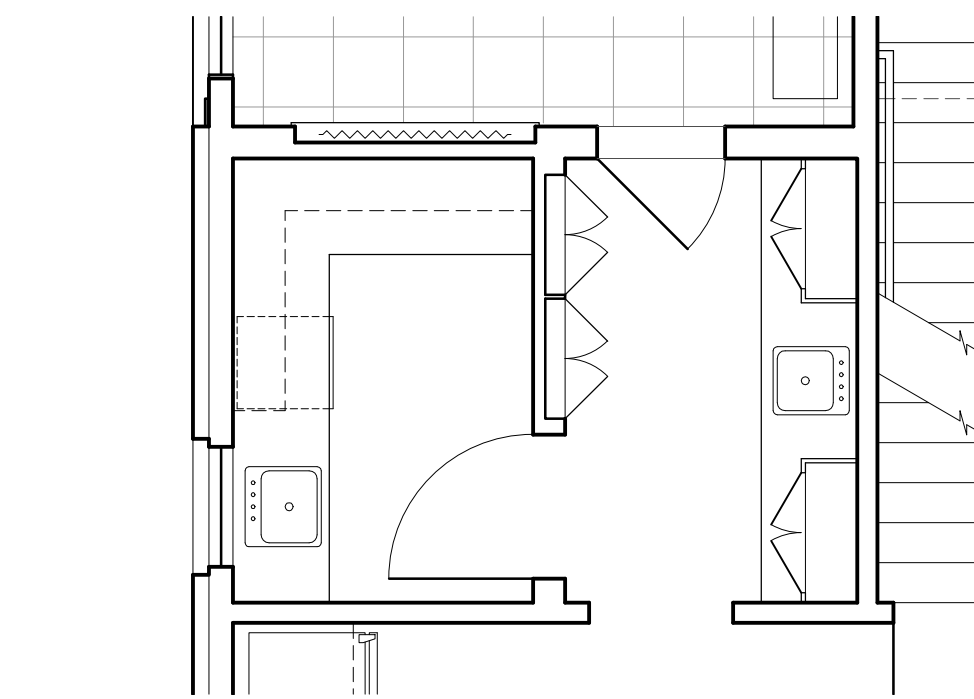
JOB NO: 23916b
DATE: 06/19/23
SHEET NO: 916_PD_09
TITLE

545

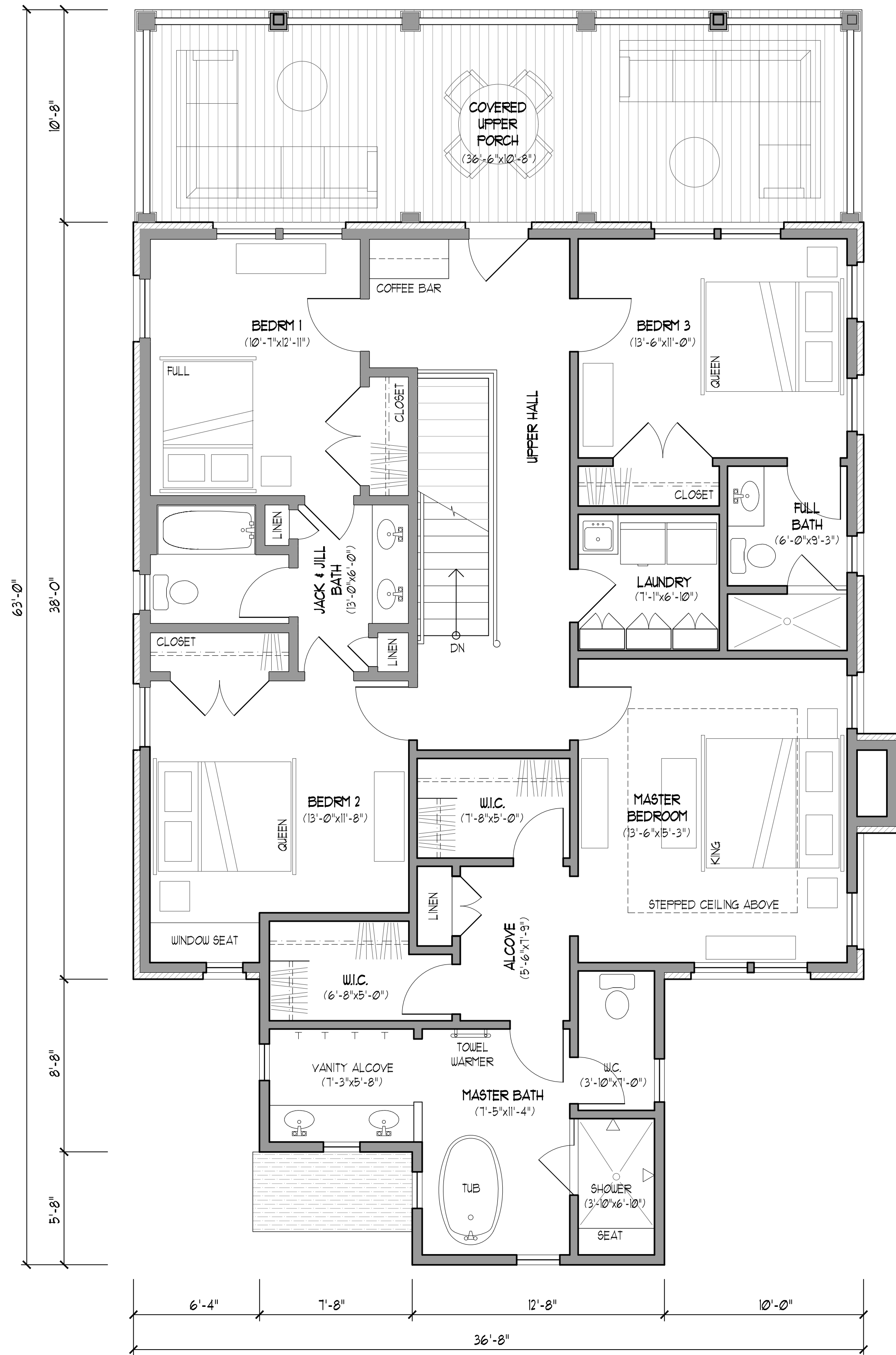
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SECOND FLOOR ALT.
SCALE: 1/4" = 1'-0"

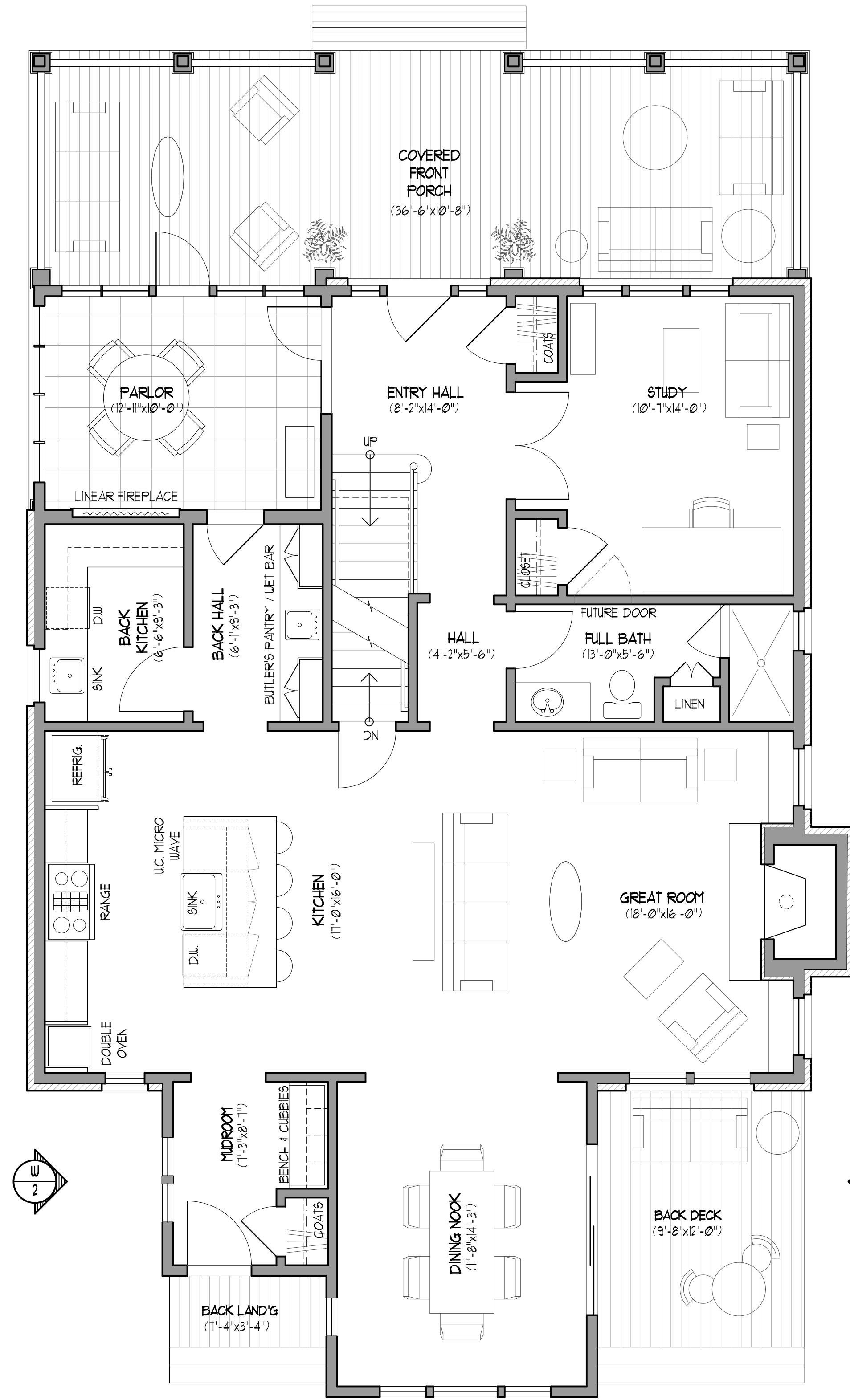


FIRST FLOOR ALT.
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

SECOND FLOOR 1,642 sq.ft.
COVERED UPPER PORCH 390 sq.ft.



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FIRST FLOOR 1,642± sq.ft.
COVERED FRONT PORCH 390± sq.ft.
BACK LAND'G 25± sq.ft.
BACK DECK 116± sq.ft.
TWO CAR GARAGE 624± sq.ft.
TOTAL 2,791± sq.ft.

545

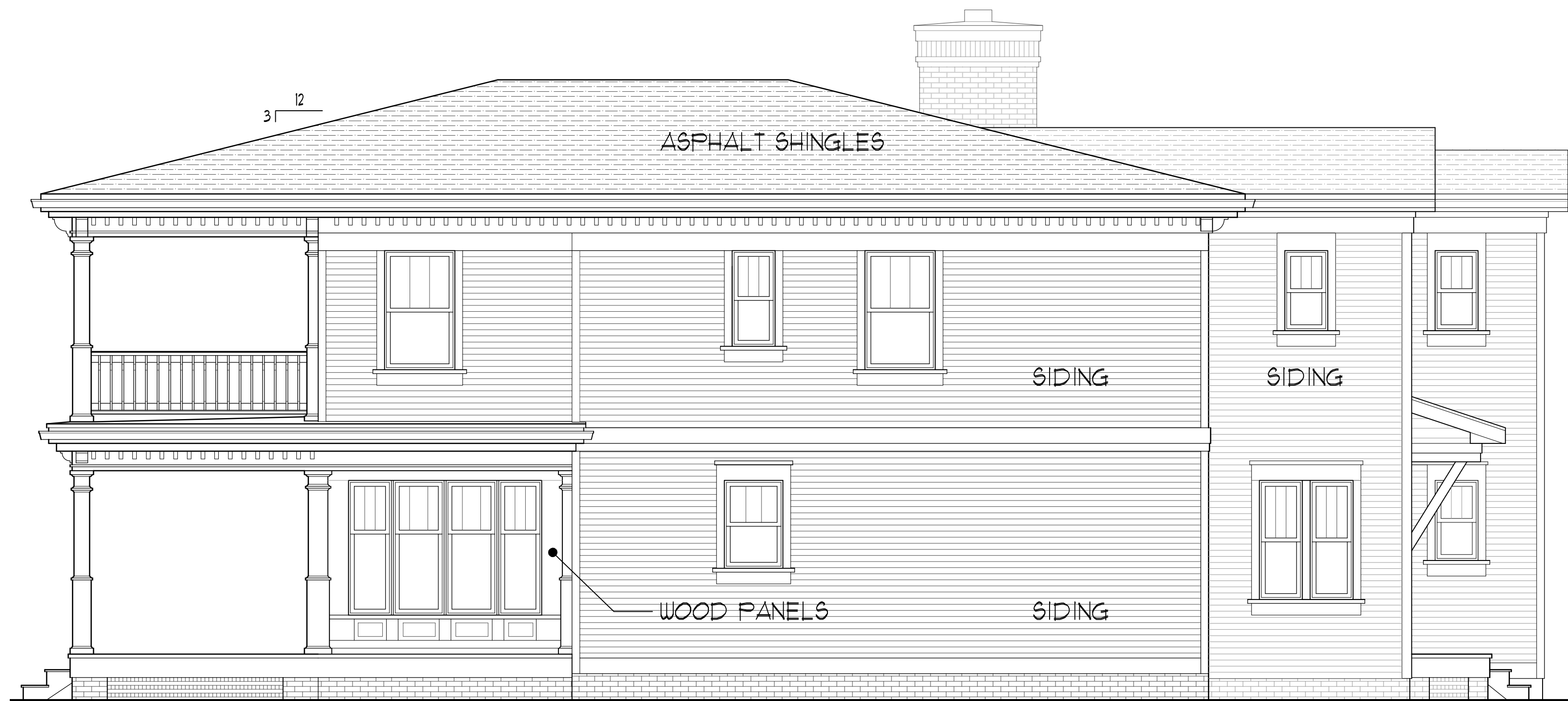
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SHEET NO: 1
DATE: 06/19/23
916_PD_09

PROJECT: 545 W. ANN ARBOR TRAIL - CUSTOM HOME
545 W. ANN ARBOR TRAIL, PLYMOUTH, MICHIGAN
PROPOSED PLANS - 545 W. ANN ARBOR TRL.

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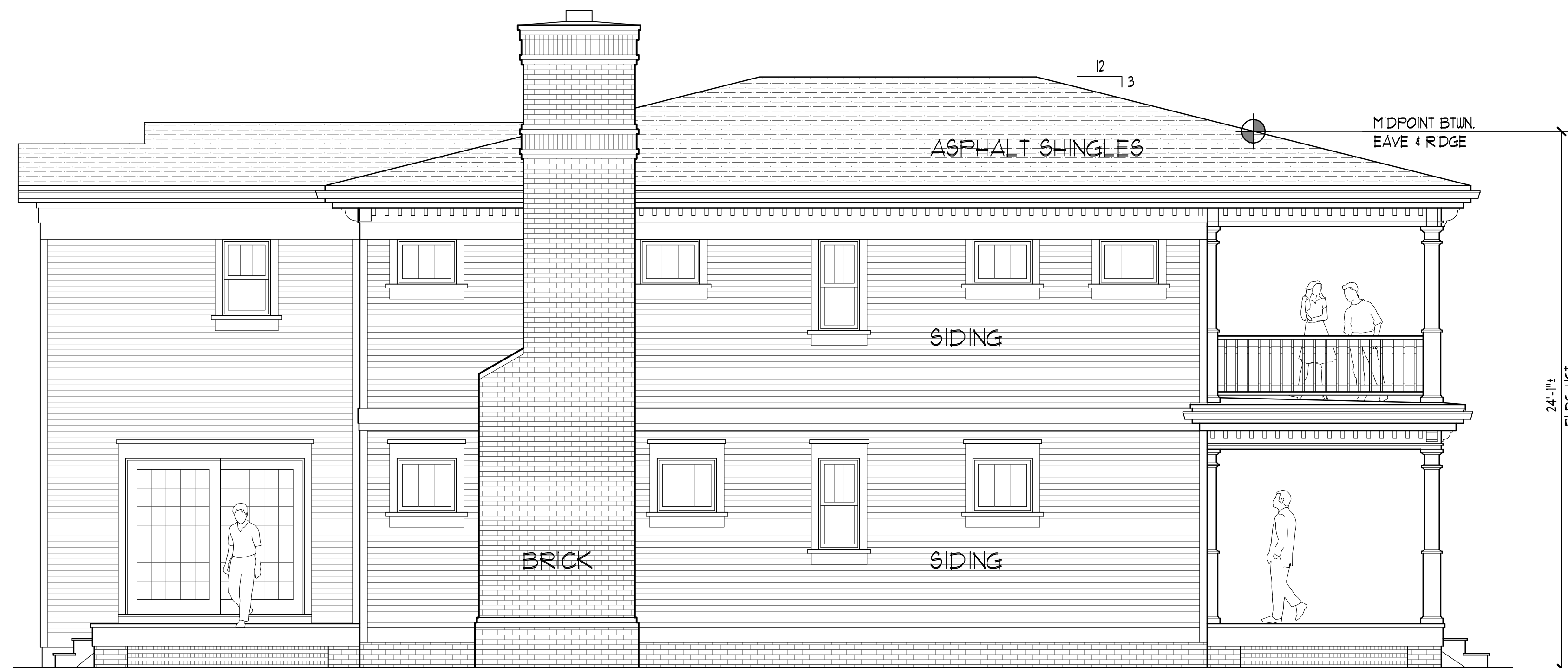
JOSEPH PHILIPS
ARCHITECT, LLC



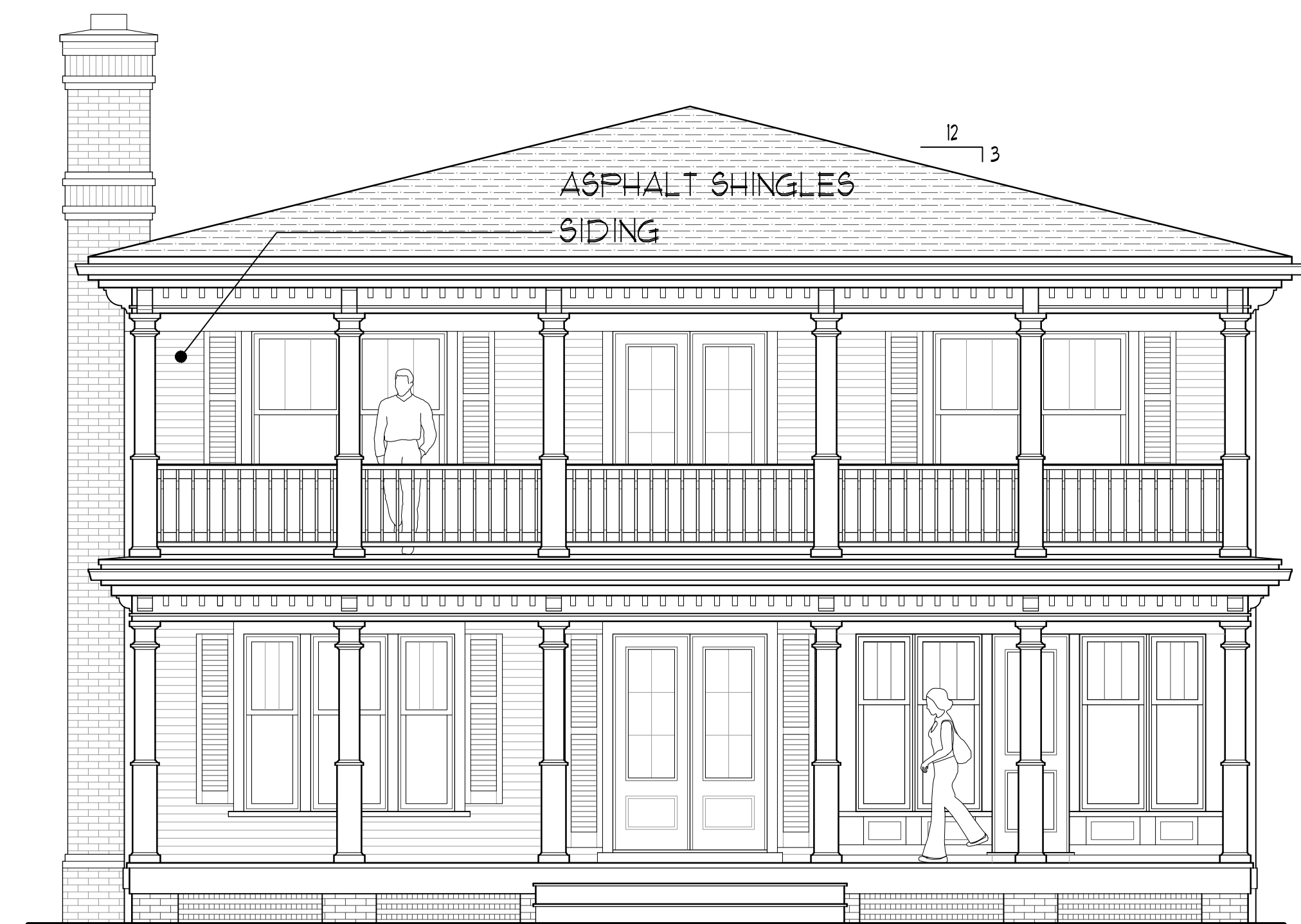
W
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



S
1 SOUTH (REAR) ELEVATION
SCALE: 1/4" = 1'-0"



E
1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



N
1 NORTH (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"

JOSEPH PHILIPS
ARCHITECT, LLC

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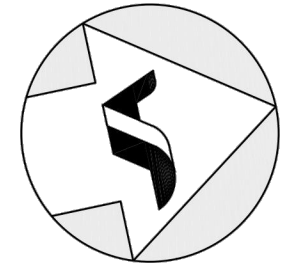
PROJECT:
545 W. ANN ARBOR TRAIL - CUSTOM HOME
545 W. ANN ARBOR TRAIL, PLYMOUTH, MICHIGAN
PROPOSED ELEVATIONS - 545 W. ANN ARBOR TR.

PRELIMINARY

JOB NO: 23916b
DATE: 06/19/23
SHEET NO: 2
916_PD_09

545

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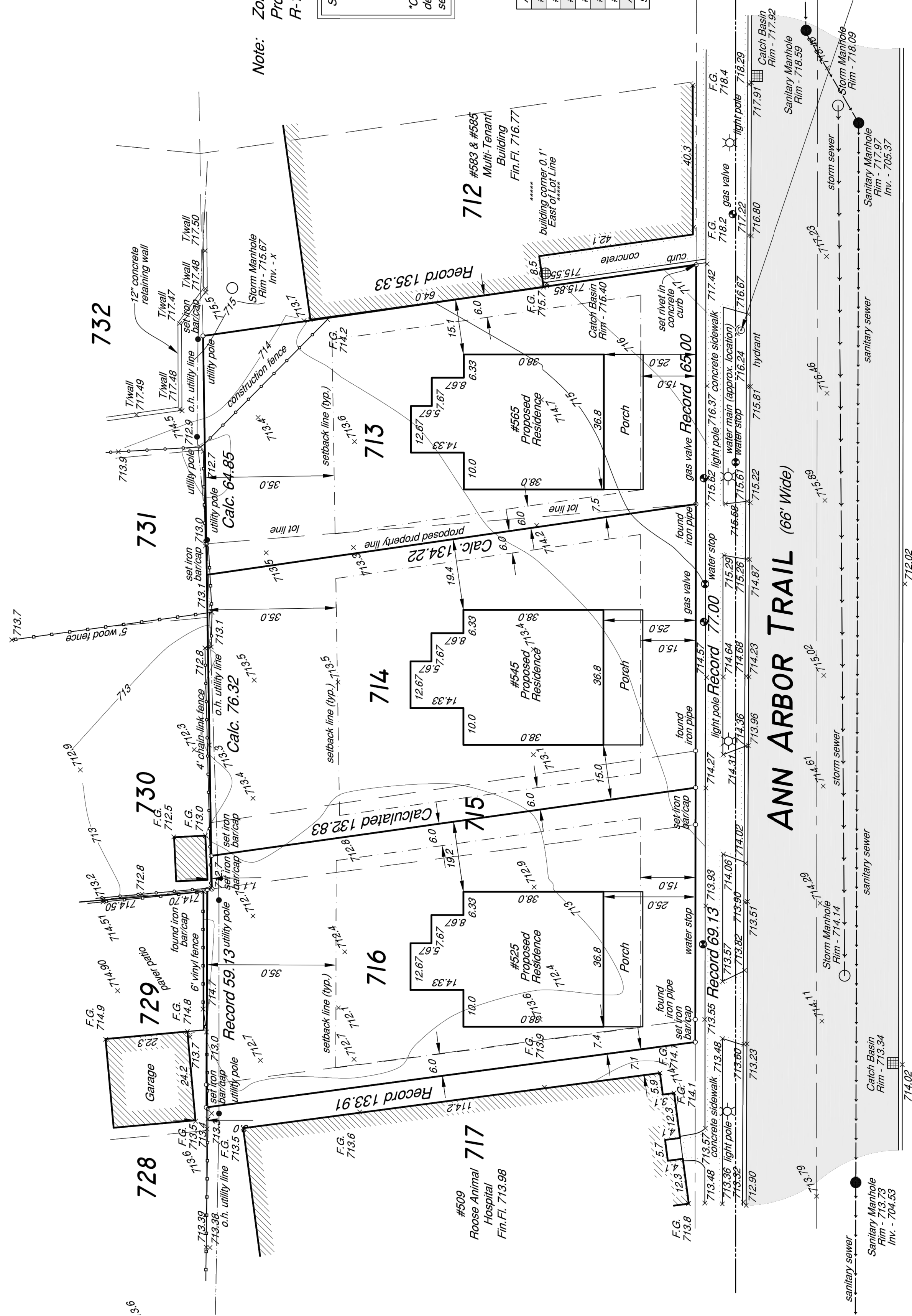


Note: Zoned B-1 Local Business
Proposed zoning setbacks for
R-1 One Family Residential

| | |
|------------|---------|
| Setbacks: | - 11.3' |
| Front | - 6' |
| Side total | - 12' |
| Rear | - 35' |

Check title policy for subdivision deed restrictions that may affect setback requirements.

| Setback information on houses within 200' - on Ann Arbor Trail | |
|--|---------|
| Address | Setback |
| #395 | 16.7 |
| #409 | 20.2 |
| #445 | 16.4 |
| #471 | 8.5 |
| #509 | 10.2 |
| Average | 3.0 |
| 90% of Average | 12.5 |
| | 11.3 |



NAVD88 BENCHMARK
ARROW ON HYDRANT
ELEVATION = 719.33

LEGAL DESCRIPTION

LOT 713 - 716, ALSO PART OF LOT 717 OF, "ASSESSOR'S PLYMOUTH PLAT No. 20" ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 68 OF PLATS, PAGE 42, WAYNE COUNTY RECORDS. CONTAINS 27,902 SQUARE FEET.

PROPOSED SITE PLAN

Prepared For: Evergreen Development NV, LLC
485 S. Main St.
Plymouth, MI 48170
(734) 667-3352

by: **Jekabson & Associates, P.C.**
Professional Land Surveyors
1320 Goldsmith, Plymouth, MI 48170
(734) 414-7200 (734) 455-8000



Know what's below.
Call before you dig.

Date: 13 JUNE 20
Job no. x
Scale: 1" = 20'
Drawn: AAH
Checked: JGE
Sheet: 1 OF 1

LEGAL DESCRIPTION

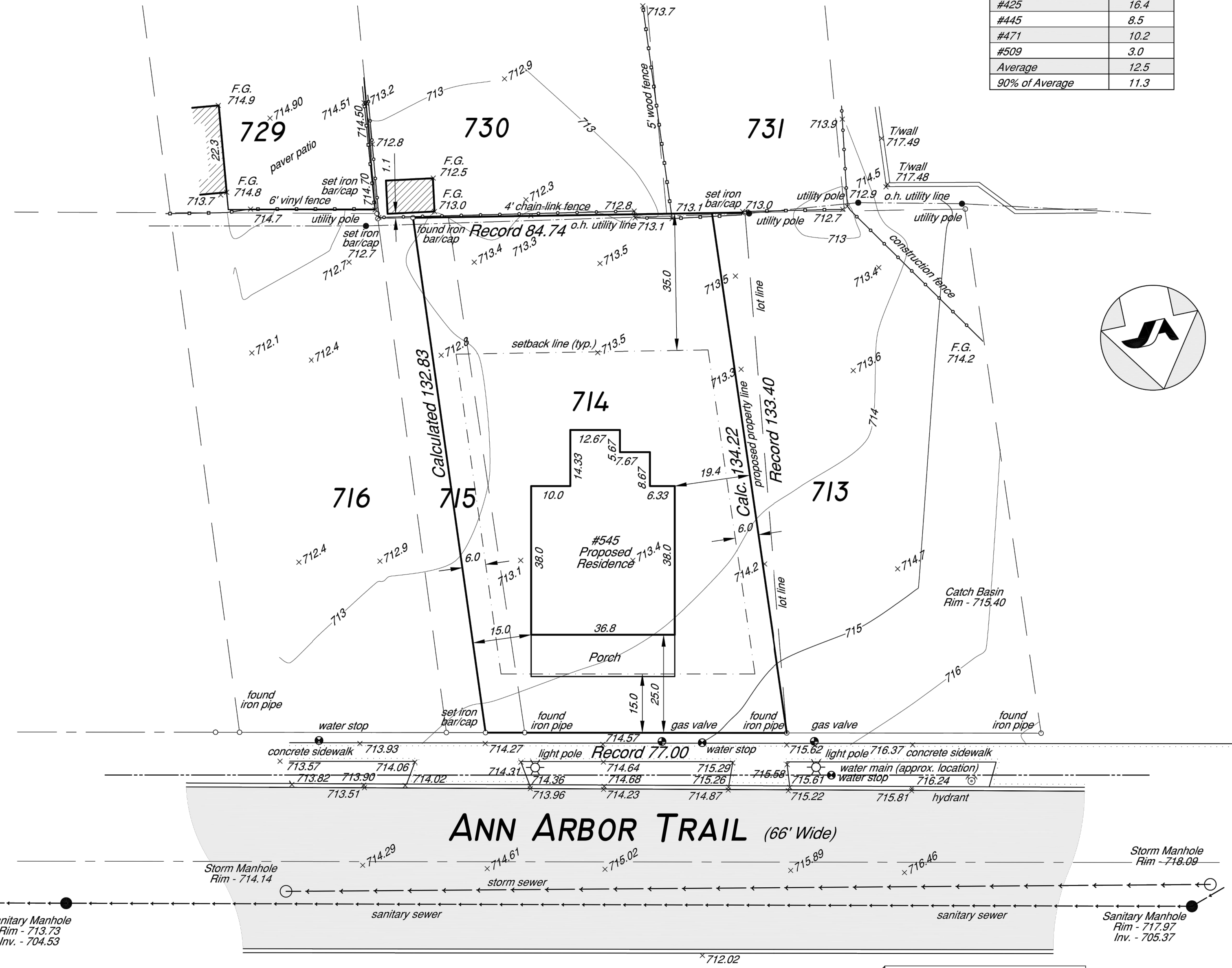
PARCEL 2
PART OF LOT 714 AND THE WESTERLY 1/2 OF LOT 715,
"ASSESSOR'S PLYMOUTH PLAT No. 20" ACCORDING TO THE
PLAT THEREOF AS RECORDED IN LIBER 68 OF PLATS, PAGE
42, WAYNE COUNTY RECORDS. CONTAINS 10,144 SQUARE
FEET.

Note: Zoned B-1 Local Business
Proposed zoning setbacks for
R-1 One Family Residential

| | |
|------------|---------|
| Setbacks: | - 11.3' |
| Front | - 6' |
| Side total | - 12' |
| Rear | - 35' |

Check title policy for subdivision deed restrictions that may affect setback requirements.

| Setback information on houses within 200' - on Ann Arbor Trail | |
|--|---------|
| Address | Setback |
| #395 | 16.7 |
| #409 | 20.2 |
| #425 | 16.4 |
| #445 | 8.5 |
| #471 | 10.2 |
| #509 | 3.0 |
| Average | 12.5 |
| 90% of Average | 11.3 |



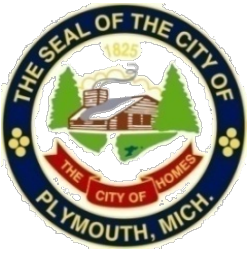
NAVD88 BENCHMARK
ARROW ON HYDRANT
ELEVATION = 719.33

PROPOSED SITE PLAN

Prepared For: Evergreen Development NV, LLC
485 S. Main St.
Plymouth, MI 48170
(734) 667-3352

by: **Jekabson & Associates, P.C.**
Professional Land Surveyors
1320 Goldsmith, Plymouth, MI 48170
(734) 414-7200 (734) 455-8000

Date: 14 MAR 2023
Job no. 23-02-008
Scale: 1" = 20'
Drawn: AAH
Checked: JGE



City of Plymouth Community Development Department Special Land Use and Site Plan Review

City of Plymouth
201 S. Main
Plymouth, Michigan 48170

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

Applicant: Joseph Philips – 915 Wing Street Plymouth Michigan, 48170

Location: 565 W. Ann Arbor Trail

Zoning: B-1 – Local Business District

Action Requested: Special Land Use and Site Plan Approval

Review Date: July 10, 2023

Project And Site Description:

The applicant is proposing to build a single-family residential home on the subject site, which is 0.20 acres (or 8,669 s.f.). A single-family home (or one-family detached dwelling) in the B-1, Local Business District is a Special Land Use.

The previous owner demolished the six-unit multi-family building which had previously occupied the site. The proposed building diagrammatic only: two stories tall, or 24.1-feet to the midpoint of the roof. The proposed living space is 3,284 s.f. with a covered front porch at 390 s.f., a back landing 25 s.f., a back deck at 116 s.f. and a detached two-car garage at 624 s.f.

An aerial of the subject site is shown in Figure 1 below.



Figure 1

Special Land Use Status:

The proposed residential use shall be reviewed by the Planning Commission in terms of the special land use standards stated in section 78-281. The Planning Commission shall establish that the use and the proposed location...

- (1) Will be harmonious and in accordance with the general objectives or any specific objectives of the City of Plymouth Master Plan.**

Community Development Comment:

Residential Use: This property is identified in the 2018 Master plan as “Mixed Use – Low Density.” This designation states that the following is appropriate:

“... to have a low-impact commercial use adjacent to single family or multi-family residential areas. The land use allows for single and multi-family uses to continue and be established, while encouraging lower-intensity commercial and office uses that can serve the residential areas. The Mixed-Use Low-Density land use designation is generally detached buildings with the character of single-family residences that are no more than two stories. Parking in this land use should be located at the rear of the property.”

This section of the Master Plan describes the current conditions of commercial uses being next door to existing single-family residential uses. It also states that single and multi-family uses should be allowed to continue and “be established.” We would interpret this to mean “new” single and multi-family uses are desired in a mixed-use environment, which is consistent with this proposal. However, we believe that this property is better suited for the “low-impact commercial use” to be established or multi-family residential use to be re-established.

Residential Character: Chapter 3 Goals of the Master Plan identifies several goals that, in our opinion, are relevant to this request. These goals include the following:

- Encourage appropriate home sizing & massing
- Create lifelong neighborhoods of diverse housing for various income levels

Chapter 4, Future Land Use Plan, also includes a Residential Vision Statement, as follows:

“Homes in the City of Plymouth shall contribute to the character and desirability of the City. They shall maintain the walkable character of the neighborhoods, with appropriate heights relative to the street, and appropriate distance from sidewalks. They shall be built size-appropriate to their lots, allowing adequate space and sunlight to neighboring homes. They shall maximize green space and trees and minimize concrete surfaces to allow for both the continued forestation of Plymouth and allow for the City’s infrastructure stormwater management.”

The Residential Vision Statement in the Master Plan would be accomplished if the proposed structure met the R-1, Single-Family Residential District standards.

- (2) Will be designed, constructed, operated, and maintains to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and will not change the essential character of the area.**

Community Development Comment: We consider the appearance of the proposed single-family structure to be consistent with the residential character in the general vicinity. We believe that the proposed two-story single-family residential building with parking in the rear would not change the essential character of the area.

- (3) Will not be hazardous or disturbing to existing or future nearby uses.**

Community Development Comment: Given the scale of the proposed structure, we don’t believe single-family use on this site would be hazardous or disturbing to nearby users.

- (4) Will be compatible with adjacent uses of land and will promote the use of land in a socially and economically desirable manner.**

Community Development Comment: This area of the city is a mixed-use area, that includes commercial, multi-family and some single-family uses. We would consider the subject property to be more compatible with commercial or multi-family use, due to the location between retail/office uses to the West, veterinary/medical use to the East, and assembly/personal service to the North. The trend to build single-family homes within proximity of the downtown will reduce the area available for commercial uses. It is our opinion that the change of use for a commercially zoned property to single-family residential is not economically desirable, nor is it compatible with the adjacent uses of land.

- (5) Will be served adequately by essential public services and facilities or that the persons responsible for the establishment of the proposed use will provide adequately any such service or facility**

Community Development Comment: The City's utilities can serve the proposed residential use.

- (6) Will not create excessive additional public costs and will not significantly decrease property values of surrounding properties.**

Community Development Comment: We don't expect the proposal to create excessive additional public costs. The existing building was used for multi-family residential, and constructing a new single-family building on this site will likely preclude any commercial uses on this site in the future.

- (7) Will meet all the requirements and standards of this chapter and any other applicable laws, standards, ordinances, and/or regulations.**

Community Development Comment: The proposed building meets almost all the R-1 Single-Family Residential requirements, except items to be addressed in the following sections.

In summary, the single-family residential use is supported by the Master Plan, however, we would prefer a low-impact commercial or multi-family residential use proposed, and, in our opinion, meets most of the Special Land Use criteria.

Site Plan Review:

The following note was included on the site plan drawings: "Note: The proposed site development, location, and size of structures and design of structures is intended to be diagrammatic. The development of the project in all respects will conform to the requirements of R-1 zoning."

Per Sec. 78-281, a Special Land Use must submit a site plan prepared in accordance with article XX, Site Plan Review.

The remaining sections of this review evaluate the proposal against the R-1, Single-Family Residential District requirements.

Schedule of Regulations:

We have applied the schedule of regulations for the R-1 residential use in the table on the following page.

R-1, Single-Family Residential Schedule of Regulation Requirements

| Ordinance Criteria | | Required | Provided |
|------------------------------|-------|--------------------------|-----------------------|
| Minimum Lot size | | 7,200 s.f. | 8,669 s.f. |
| Minimum lot width | | 60 feet | 65 feet |
| Height of buildings | | 2 stories / 25 ft max. | 2 stories/ 24.3 ft |
| Minimum yard setback | Front | FYSBW | 15 feet |
| | Sides | 6 ft least / 12 ft total | 6 feet / No dimension |
| | Rear | 35 feet | No dimension |
| Max. % lot coverage | | 35% | 32.3% |
| Max. floor area ratio | | 0.40 | 0.38 |
| Min. landscape area % of lot | | 35% | Not provided |

Items to be Addressed: Dimensional information should be provided for both side yard setbacks, the rear yard setback, and landscaping area. The dimension provided by the front yard setback worksheet needs to be recalculated only including properties within 200 feet of the subject property.

Parking:

The ordinance requires two parking spaces per single-family residence. The site plan shows a two-car attached garage, meeting this requirement.

Items to be Addressed: None.

Architectural Evaluations:

The applicant has provided elevations of the building facades in the submission. As this structure is designed to meet the R-1 Single-Family Residential standards, we have no concerns regarding the residential appearance of this building.

Items to be Addressed: None.

Recommendation:

The proposed single-family land use meets most of the special land use criteria. The proposed single-family land use meets the overall “mix” of commercial, multi-family, and single-family uses in the vicinity of the project site as stated in the Master Plan, however, in our opinion, a low-impact commercial or multi-family residential use is more compatible.

If the Planning Commission votes to approve the special land use, we recommend that the Special Land Use approval include the condition that the proposed structure shall meet all the land use requirements in the R-1, Single-Family Residential District.

The elevations and building drawings are diagrammatic. We would recommend the Planning Commission postpone approval of the site plan until final building plans have been selected and dimensional details are confirmed.

CITY OF PLYMOUTH
SITE PLAN REVIEW APPLICATION

Community Development Department
 201 S. Main Street Plymouth, MI 48170
 Ph. 734-453-1234 ext. 232
www.plymouthmi.gov

I. Site/Project Information

| | | |
|---|--|--|
| Site Address 565 W. ANN ARBOR TRAIL | Current Zoning Classification B1 | Date of Application 06/19/23 |
|---|--|--|

| | | |
|---|--|--------------------------|
| Name of Property Owner EVERGREEN DEVELOPMENT NV LLC | Phone Number (248) 866-5131 | |
| Mailing Address 485 S. MAIN STREET | Email Address (Required) mattffthurber@aol.com | |
| City PLYMOUTH | State MI | Zip Code 48170 |

II. Applicant and Contact Information

| | | | | |
|--|---|------------------------------------|-----------------------------------|---------------------------------|
| Indicate Who the Applicant Is. If Property Owner, Skip to Section III. | <input checked="" type="checkbox"/> Architect | <input type="checkbox"/> Developer | <input type="checkbox"/> Engineer | <input type="checkbox"/> Lessee |
| Applicant/Company Name JOSEPH PHILIPS - ARCHITECT, LLC | Phone Number (734) 455-8354 | | | |
| Applicant/Company Address 915 WING STREET | City PLYMOUTH | State MI | Zip Code 48170 | |
| Email Address (Required) josephphilipsarchitect@gmail.com | | | | |

III. Site Plan Designer and Contact Information

| | | | | |
|---|---------------------------------------|---|--------------------------|--|
| Site Plan Designer Company Name JEKABSON & ASSOCIATES, P.C. | Phone Number (734) 414-7200 | | | |
| Company Address 1320 GOLDSMITH | City PLYMOUTH | State MI | Zip Code 48170 | |
| Registration Number 19836 | Expiration Date 01/01/2014 | Email Address (Required) JGE@jekabson.com | | |

IV. Type of Project (Please Select All that Apply)


V. Historic District

| | | | | | |
|-------------------------------------|---------------------------------------|---|--|--|--|
| <input type="checkbox"/> Commercial | <input type="checkbox"/> Multi-Family | <input checked="" type="checkbox"/> New | <input type="checkbox"/> Remodel | <input type="checkbox"/> Change of Use | Is this project located in the Historic District? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| <input type="checkbox"/> Mixed Use | <input type="checkbox"/> Industrial | <input type="checkbox"/> Addition | <input type="checkbox"/> Interior Finish | <input checked="" type="checkbox"/> Special Land Use | |

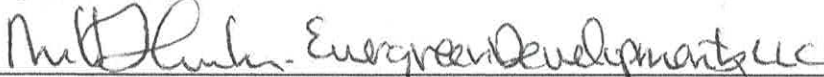
VI. Description of Work

| |
|--|
| CONSTRUCT A NEW SINGLE FAMILY RESIDENCE ON A LOT ZONED B1 |
| |
| |
| |

VII. Applicant Signature

| | |
|---|------------------|
| Signature of Applicant  | Date 06/19/23 |
|---|------------------|

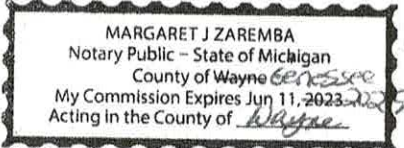
VIII. Property Owner Signature

| | |
|--|-----------------|
| Signature of Property Owner  | Date 6/19/23 |
|--|-----------------|

Subscribed and sworn before me this 19th day of June, 2023.

Notary Public: 

My Commission expires: June 11, 2029



For Office Use Only

| | YES/DATE | NO | N/A |
|--|----------|----|-----|
| 1. Pre-Application Meeting | | | |
| 2. Digital Copy of Application Package | | | |
| 3. Public Hearing Notice | | | |
| 4. CWA Review | | | |
| 5. Municipal Services Review | | | |
| 6. Fire Department Review | | | |
| 7. Engineering Review | | | |

IX. Site Plan Review Checklist

| Please include the following applicable information on the site plan. | | YES | NO | N/A |
|---|---|-------------------------------------|-------------------------------------|-------------------------------------|
| 1. | Correct scale | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. | Name of person preparing plan* | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. | Date, north point | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. | Property line dimension | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 5. | Street right-of-way widths | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 6. | Existing utilities (sewer, water, gas, etc.) and easements | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 7. | Show adjacent property and buildings, including zoning | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 8. | Existing topography, trees and other features | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 9. | Off-site ground, parking lot, roadway, driveway and/or structure elevations for minimum distance of 50 feet | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 10. | On-site grid of maximum 100 feet intervals each way (closer where rolling terrain warrants) and minimum 2.0 feet contours | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 11. | Location of new structures including side and front yard setbacks and building length and width (show a general floor plan) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 12. | Number of dwelling units per building | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 13. | Height of structure | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 14. | Percent one room apartments (efficiencies) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 15. | Total number of rooms if multiple-family | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 16. | Parking requirements met (See Section 78-720) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 17. | Number of units and bedrooms each building | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 18. | Parking lot layout (showing paved area) including ingress and egress and service area | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 19. | Parking lot space dimensions | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 20. | Loading and unloading space | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 21. | Site grading and drainage plan (on-site elevations for pavements, drives, parking lots, curbs, sidewalks and finish grade at bldg.) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 22. | Utility connections (sanitary sewer, water, storm sewers) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 23. | On-site storm water retention | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. | Fire hydrants within 300 feet (on- and off-site) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. | Sidewalks and elevations | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 26. | Sedimentation and erosion control plan | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. | Landscape plan showing plant materials to be used | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. | Sign requirements met | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 29. | Require walls and fences or greenbelts | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 30. | Corner clearance | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 31. | Service drive needed | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 32. | Acceleration lanes and traffic pattern | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 33. | Trash receptacle locations including screening type and height | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 34. | Mail box locations | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

| Please include the following applicable information on the site plan. | | YES | NO | N/A |
|---|---|-----|-----|-----|
| 35. | Air conditioner unit locations | [] | [] | [X] |
| 36. | Special site features (play areas, pools, etc.) | [] | [] | [X] |
| 37. | Handicapped facilities | [] | [] | [X] |
| 38. | Building elevation drawings | [X] | [] | [] |

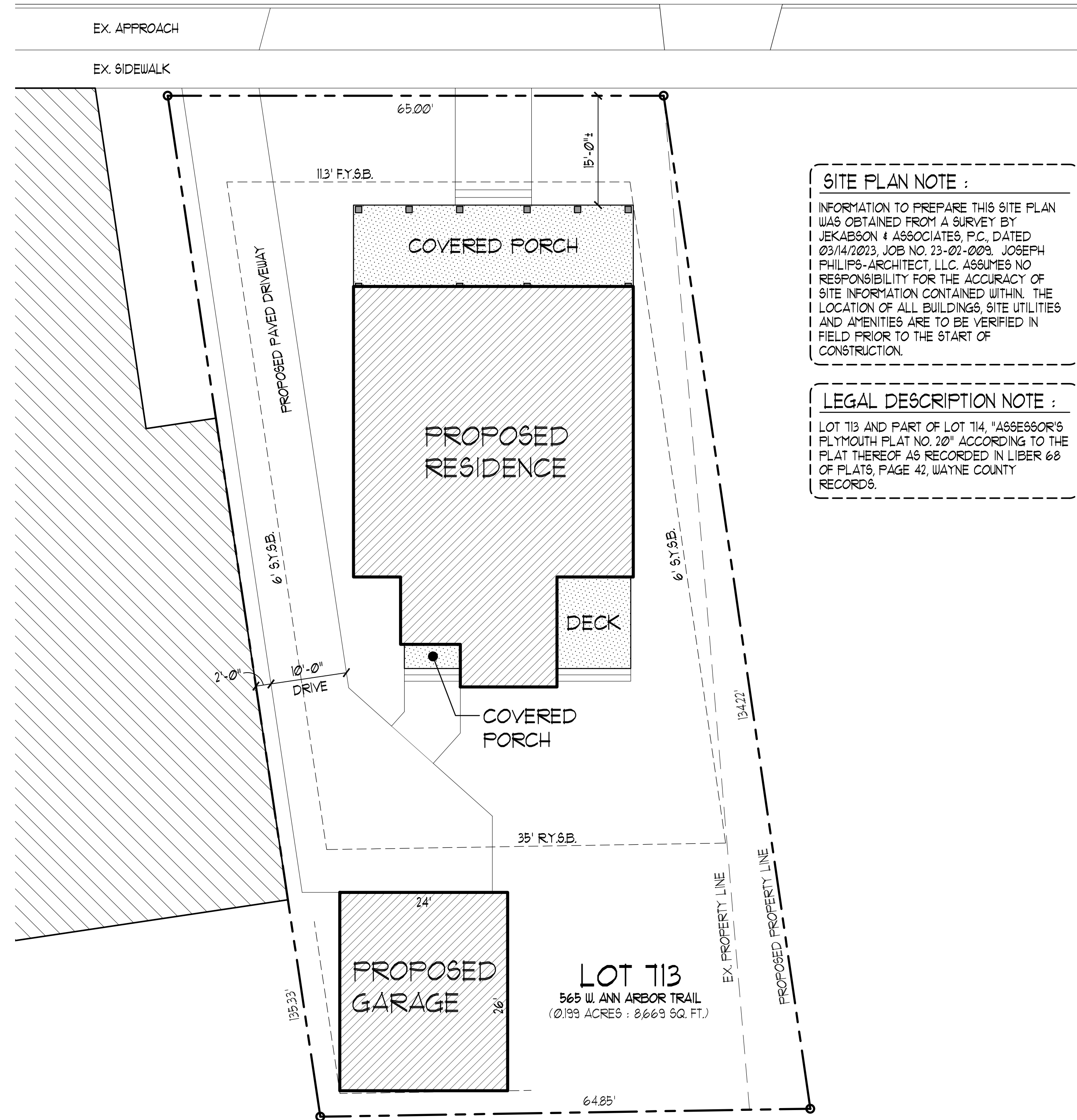
*Where property line surveys, topography, sewer, water or storm drains are shown, the name of the registered engineer or land surveyor preparing such elements of the plan shall be indicated on the plan.

565 W. ANN ARBOR TRAIL - CUSTOM HOME

565 W. ANN ARBOR TRAIL

PLYMOUTH, MICHIGAN

W. ANN ARBOR TRAIL



SITE PLAN NOTE :

INFORMATION TO PREPARE THIS SITE PLAN WAS OBTAINED FROM A SURVEY BY JEKABSON & ASSOCIATES, P.C., DATED 03/14/2023, JOB NO. 23-02-009. JOSEPH PHILIPS-ARCHITECT, LLC, ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF SITE INFORMATION CONTAINED WITHIN. THE LOCATION OF ALL BUILDINGS, SITE UTILITIES AND AMENITIES ARE TO BE VERIFIED IN FIELD PRIOR TO THE START OF CONSTRUCTION.

LEGAL DESCRIPTION NOTE :

LOT 713 AND PART OF LOT 714, "ASSESSOR'S PLYMOUTH PLAT NO. 20" ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 68 OF PLATS, PAGE 42, WAYNE COUNTY RECORDS.

B-1 ZONING SUMMARY :

- ZONING DISTRICT : B-1 LOCAL BUSINESS
- MINIMUM SETBACKS :
FRONT : 10 FT.
SIDE : 0 FT.
REAR : 35 FT.
- BUILDING RESTRICTIONS :
MAX. HEIGHT : 25 FT. / 2 STORIES

PROPOSED R-1 ZONING CONFORMANCE :

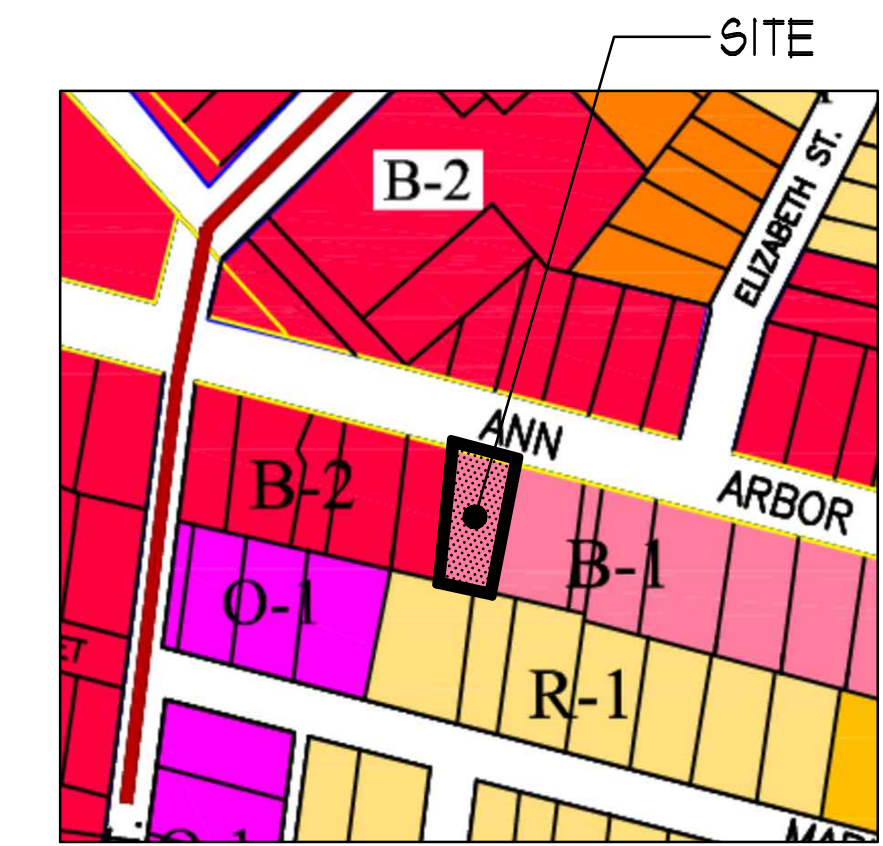
- PRINCIPAL BUILDING MINIMUM SETBACKS & RESTRICTIONS :
FRONT (AVG.) : 113 FT.
SIDE (LEAST ONE) : 6 FT.
SIDE (TOTAL OF TWO) : 12 FT.
REAR : 35 FT.
MAX. HEIGHT : 25 FT. / 2 STORIES
 - ACCESSORY BUILDING MINIMUM SETBACKS & RESTRICTIONS :
SIDE : 3 FT.
REAR : 3 FT.
FROM PRINCIPAL BUILDING : 10 FT.
MAX. HEIGHT : 15 FT. / 1.5 STORIES
MAX. AREA : 35% OF REAR YARD
(R.Y.S.B. x FRONTAGE) 35% : 136± SQ. FT.
MAX. NO. OF DETACHED ACCESSORY BUILDINGS : 2 BUILDINGS
 - LOT SIZE :
FRONTAGE : 65 FT.
DEPTH (AVG.) : 133.6± FT.
LOT SIZE : 8669 SQ. FT.
- NOTE :** THE PROPOSED SITE DEVELOPMENT, LOCATION & SIZE OF STRUCTURES AND DESIGN OF STRUCTURES IS INTENDED TO BE DIAGRAMMATIC. THE DEVELOPMENT OF THE PROJECT IN ALL RESPECTS WILL CONFORM TO THE REQUIREMENTS OF "R-1" ZONING.
- PROPOSED BUILDING AREAS :
FIRST FLOOR : 1642± SQ. FT.
SECOND FLOOR : 1642± SQ. FT.
GARAGE (DETACHED) : 624± SQ. FT.
FRONT PORCH (COVERED) : 390± SQ. FT.
REAR PORCH (COVERED) : 25± SQ. FT.
DECK : 116± SQ. FT.
 - LOT COVERAGE :
MAX. LOT COVERAGE : 35% (3034 SQ. FT.)
FIRST FLOOR : 1642± SQ. FT.
GARAGE (DETACHED) : 624± SQ. FT.
FRONT PORCH (COVERED) : 390± SQ. FT.
REAR PORCH (COVERED) : 25± SQ. FT.
DECK : 116± SQ. FT.
TOTAL SQUARE FOOTAGE AT GRADE : 2,791± SQ. FT.
2,791 SQ. FT. / 8669 SQ. FT. : 32.3 %
 - FAR :
MAX. FAR : 0.40 (3,468 SQ. FT.)
FIRST FLOOR : 1642± SQ. FT.
SECOND FLOOR : 1642± SQ. FT.
TOTAL SQUARE FOOTAGE : 3,284± SQ. FT.
3,284 SQ. FT. / 8669 SQ. FT. : 0.38

ISSUED FOR :

06/19/23 DRAWINGS ARE BEING ISSUED THIS DATE FOR SUBMISSION TO THE CITY OF PLYMOUTH PLANNING COMMISSION TO OBTAIN SPECIAL LAND USE APPROVAL.

DRAWING INDEX:

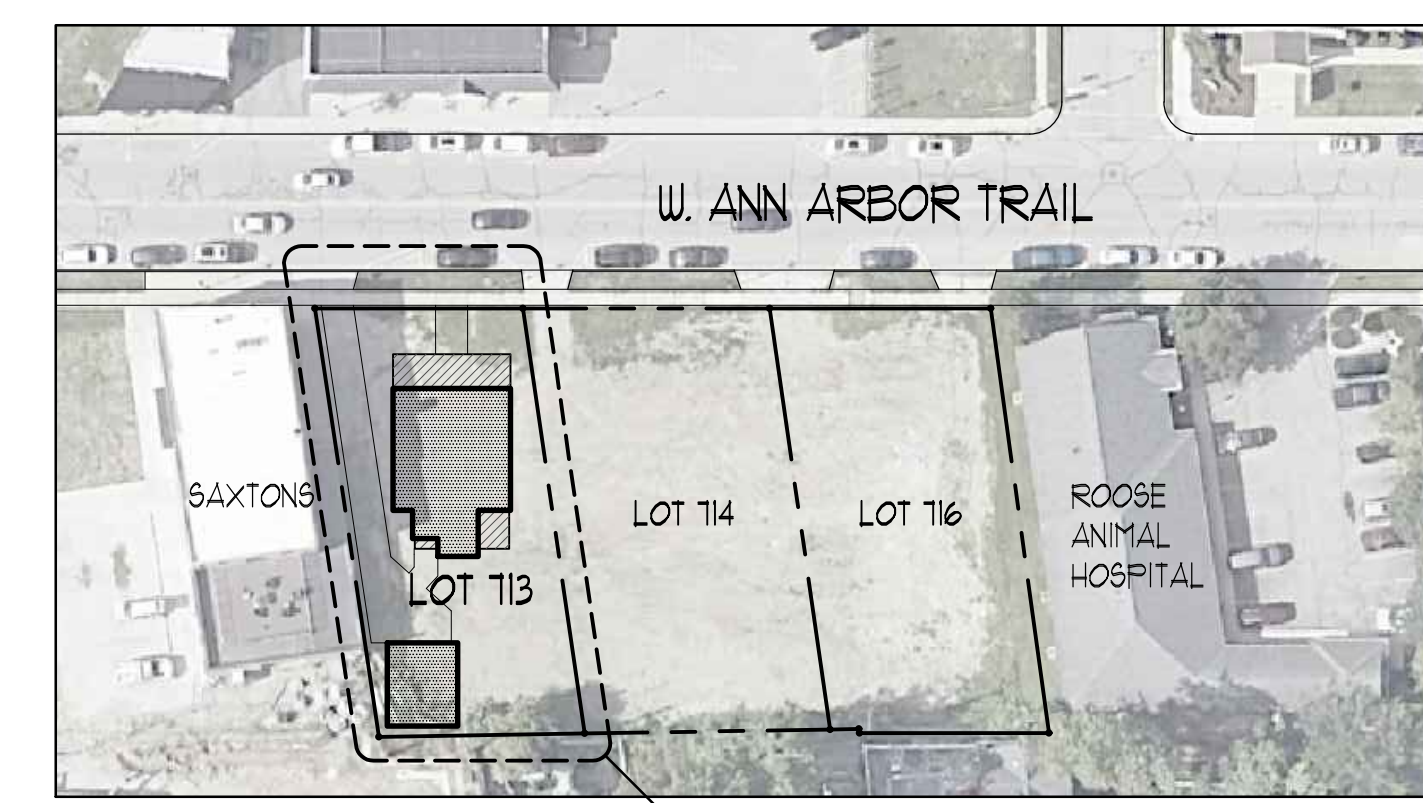
| SHEET | TITLE SHEET | ISSUE DATE |
|-------|---------------------|------------|
| 1 | PROPOSED PLANS | 06/19/23 |
| 2 | PROPOSED ELEVATIONS | 06/19/23 |



NORTH

PARTIAL ZONING MAP

NOT TO SCALE



NORTH

KEY PLAN

SCALE: 1" = 60'-0"



NORTH

LOCATION MAP

NOT TO SCALE

NORTH

10' TITLE

PROPOSED SITE PLAN

SCALE: 1" = 10'-0"

JOSEPH PHILIPS ARCHITECT, LLC

NOT FOR CONSTRUCTION
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PROJECT: 565 W. ANN ARBOR TRAIL - CUSTOM HOME
565 W. ANN ARBOR TRAIL, PLYMOUTH, MICHIGAN
TITLE SHEET

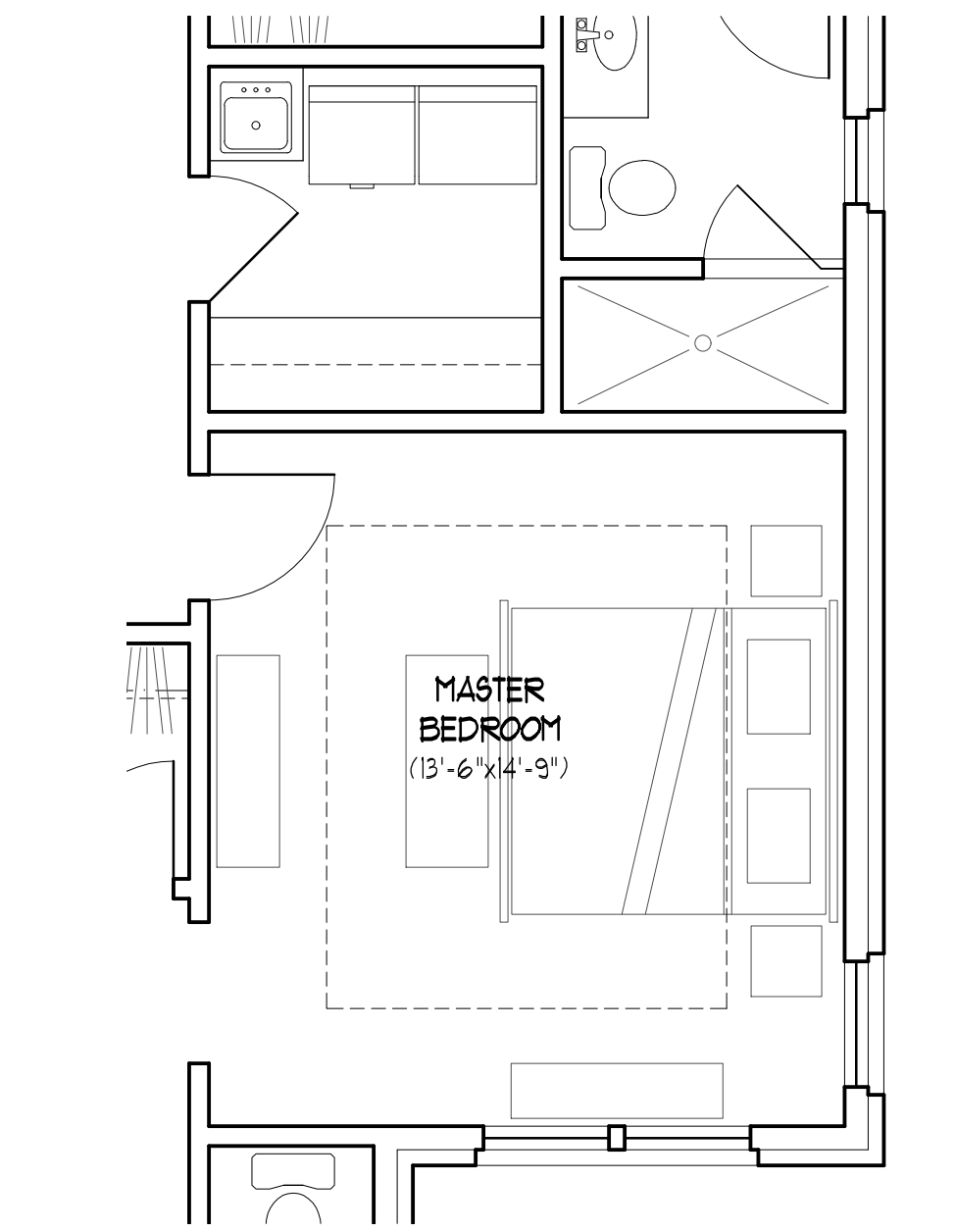
PRELIMINARY

DATE: 06/19/23

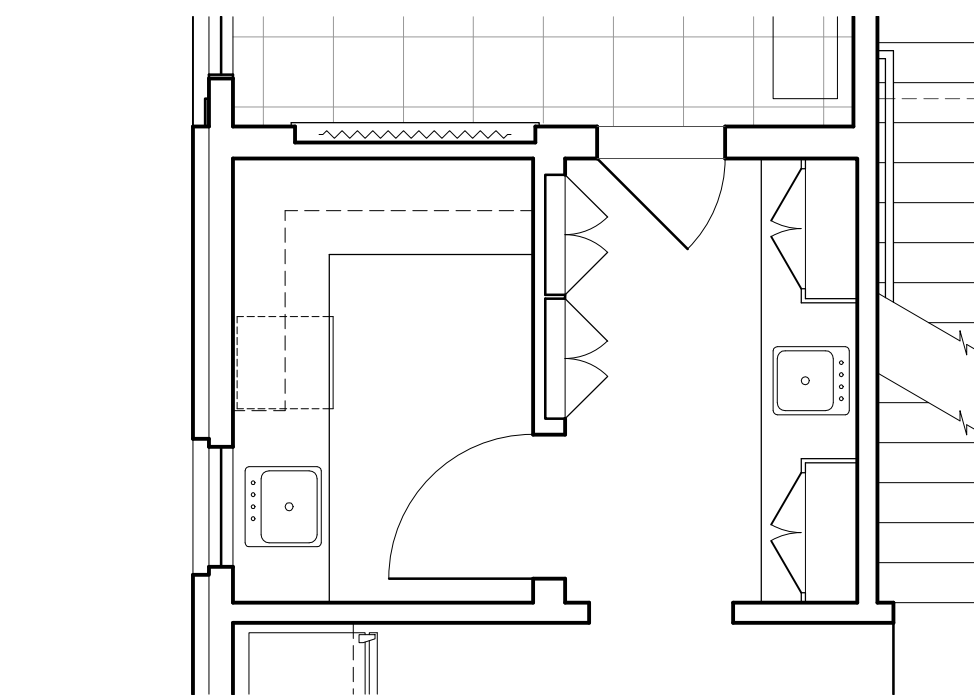
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SHEET NO: 916_PD_09
TITLE

565

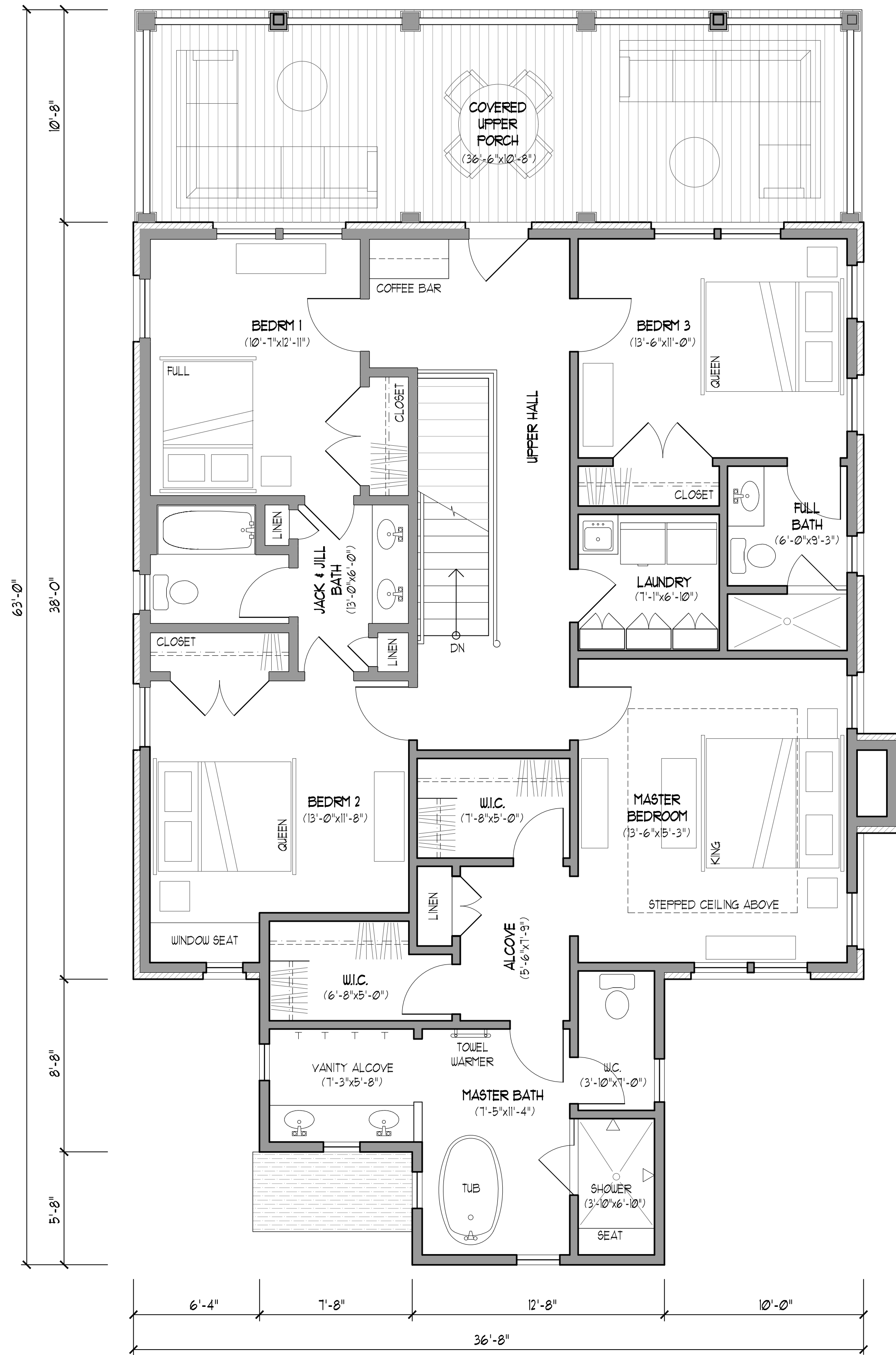
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SECOND FLOOR ALT.
SCALE: 1/4" = 1'-0"

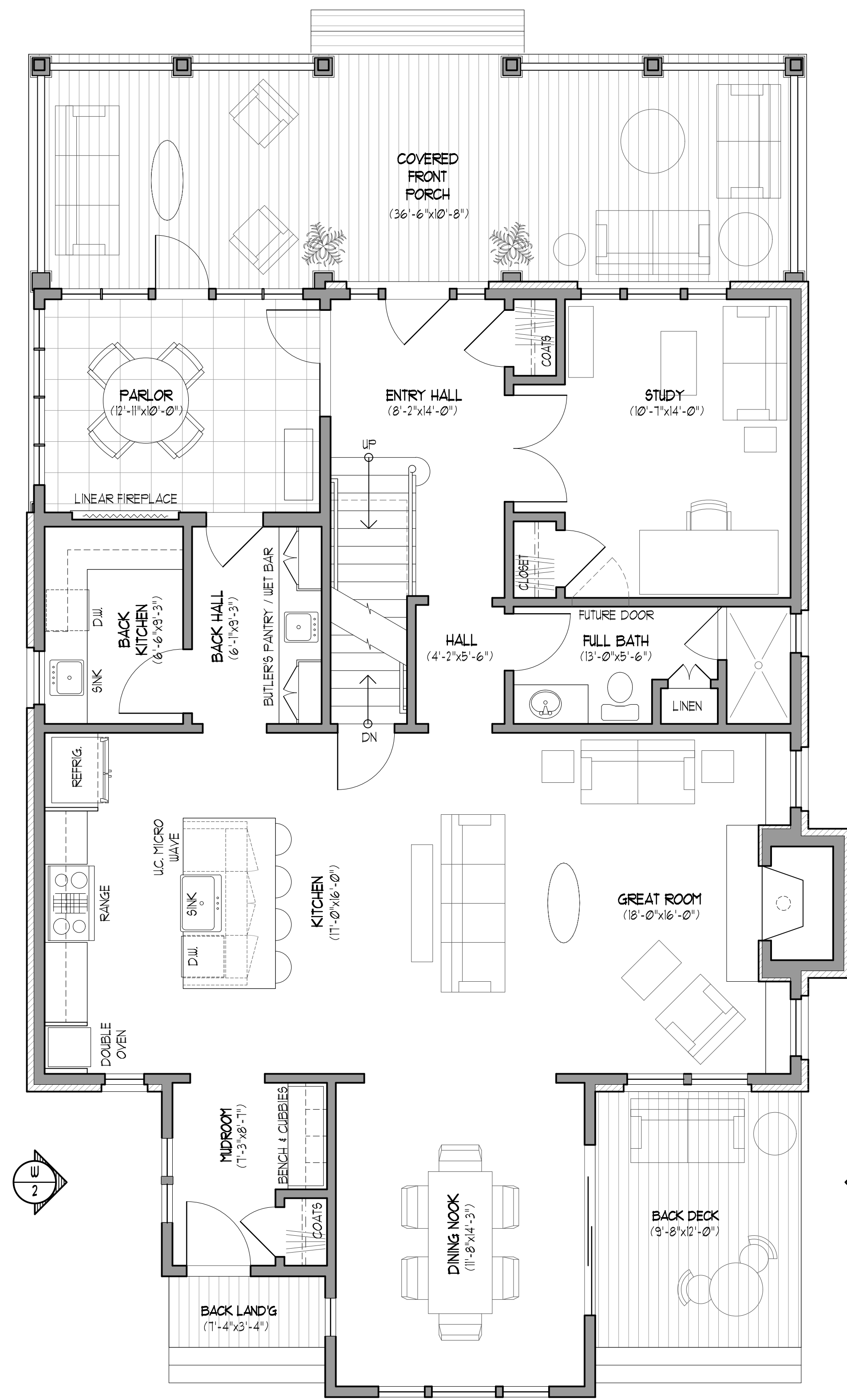


FIRST FLOOR ALT.
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

SECOND FLOOR 1642 sq.ft.
COVERED UPPER PORCH 390 sq.ft.



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FIRST FLOOR 1642± sq.ft.
COVERED FRONT PORCH 390± sq.ft.
BACK LAND'G 25± sq.ft.
BACK DECK 116± sq.ft.
TWO CAR GARAGE 624± sq.ft.
TOTAL 2,791± sq.ft.

JOSEPH PHILIPS ARCHITECT, LLC

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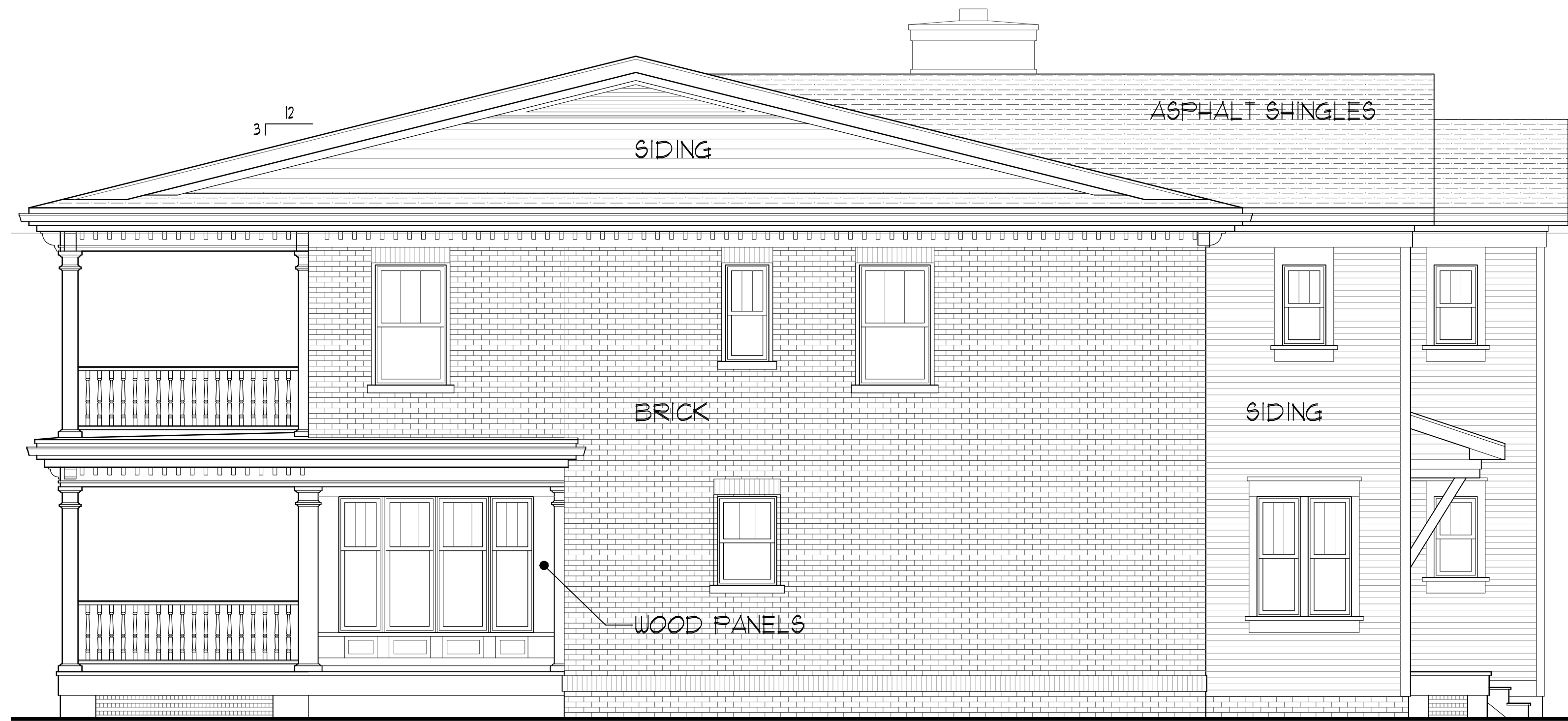
PROJECT: 565 W. ANN ARBOR TRAIL - CUSTOM HOME
565 W. ANN ARBOR TRAIL, PLYMOUTH, MICHIGAN
PROPOSED PLANS - 565 W. ANN ARBOR TRL.

DATE: 06/19/23

JOB NO: 23916C
SHEET NO: 1
916_PD_09

565

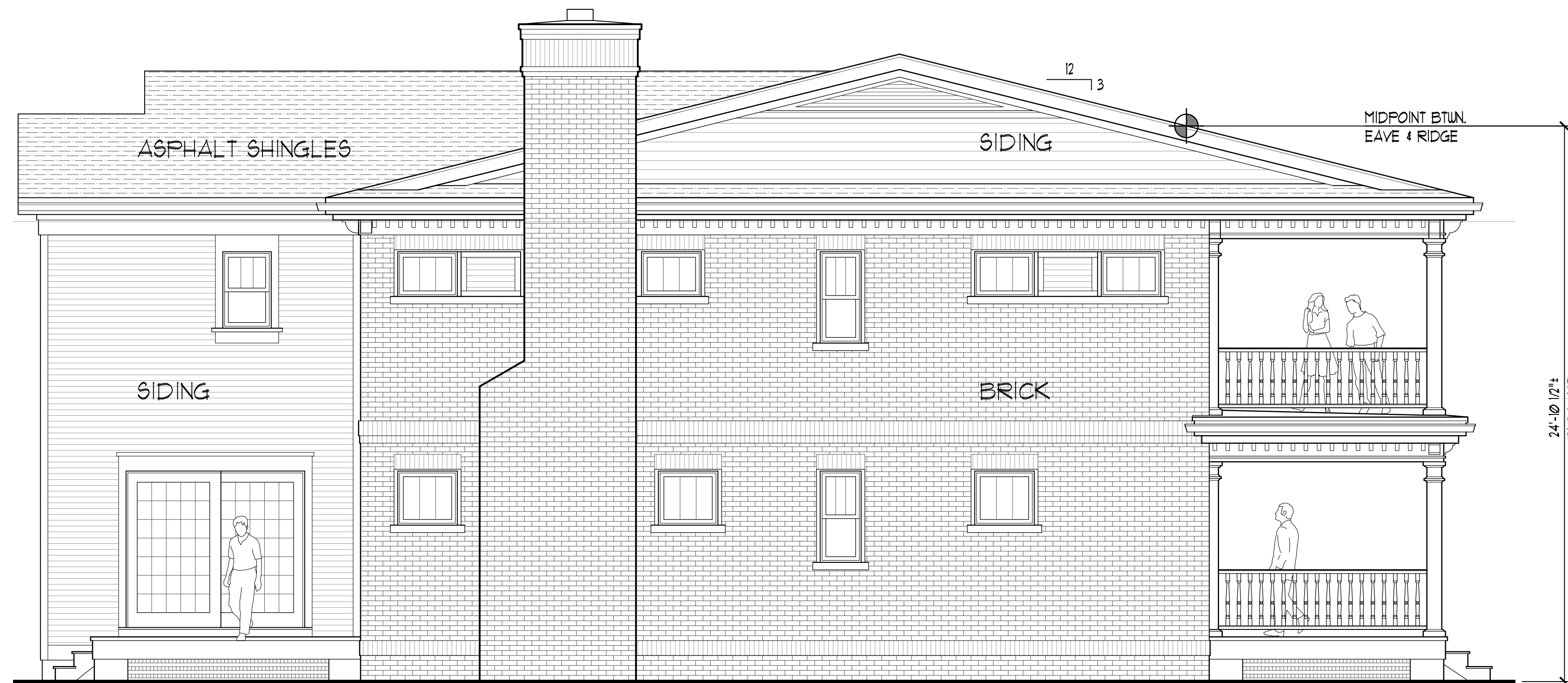
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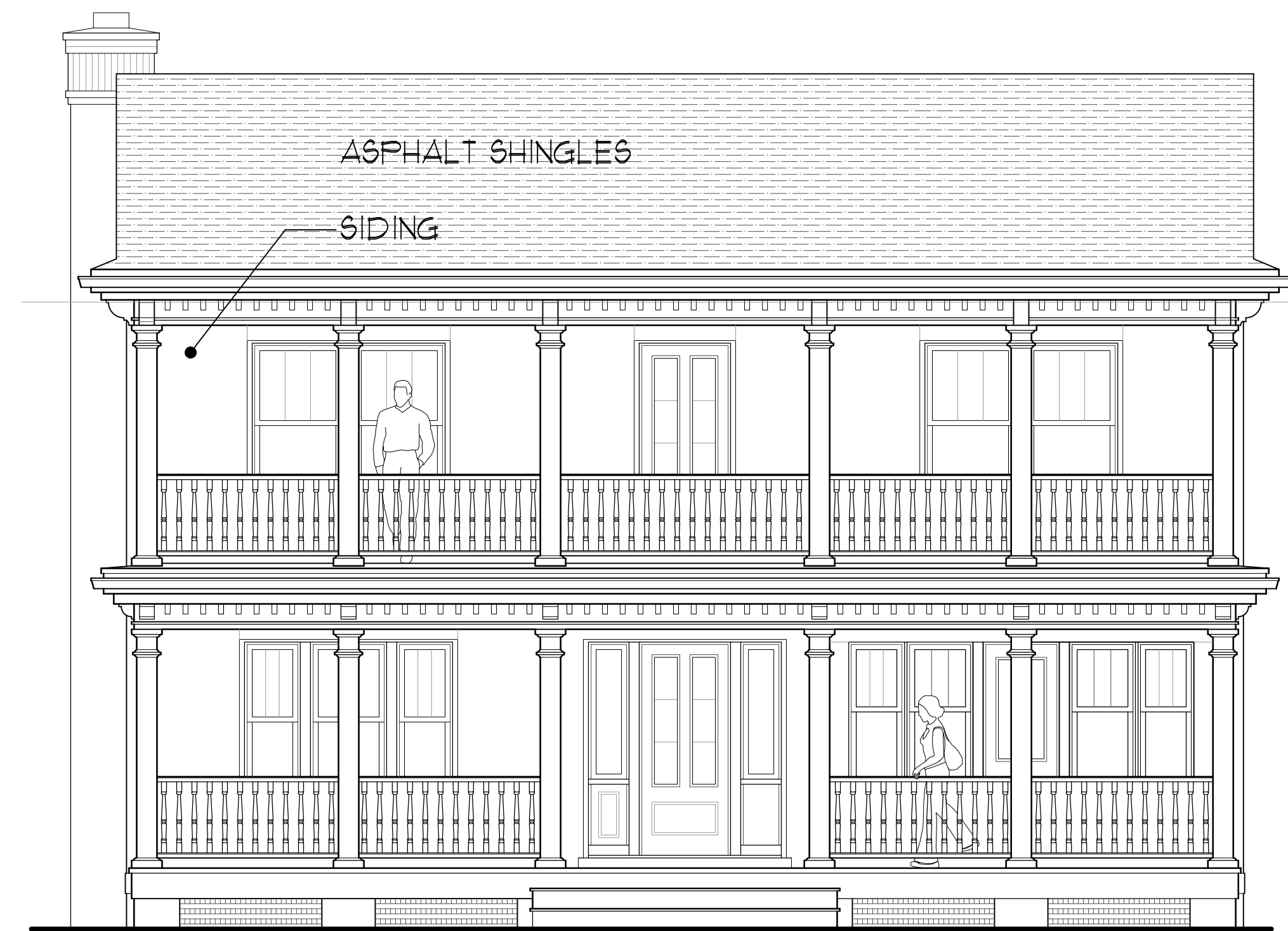
W
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



S
1 SOUTH (REAR) ELEVATION
SCALE: 1/4" = 1'-0"



E
1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



N
1 NORTH (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"

JOSEPH PHILIPS
ARCHITECT, LLC

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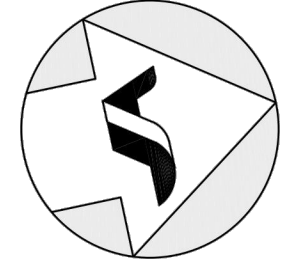
PROJECT:
565 W. ANN ARBOR TRAIL - CUSTOM HOME
565 W. ANN ARBOR TRAIL, PLYMOUTH, MICHIGAN
PROPOSED ELEVATIONS - 565 W. ANN ARBOR TR.

PRELIMINARY

JOB NO:
23916C
SHEET NO:
2
DATE:
06/19/23
916_PD_07

565

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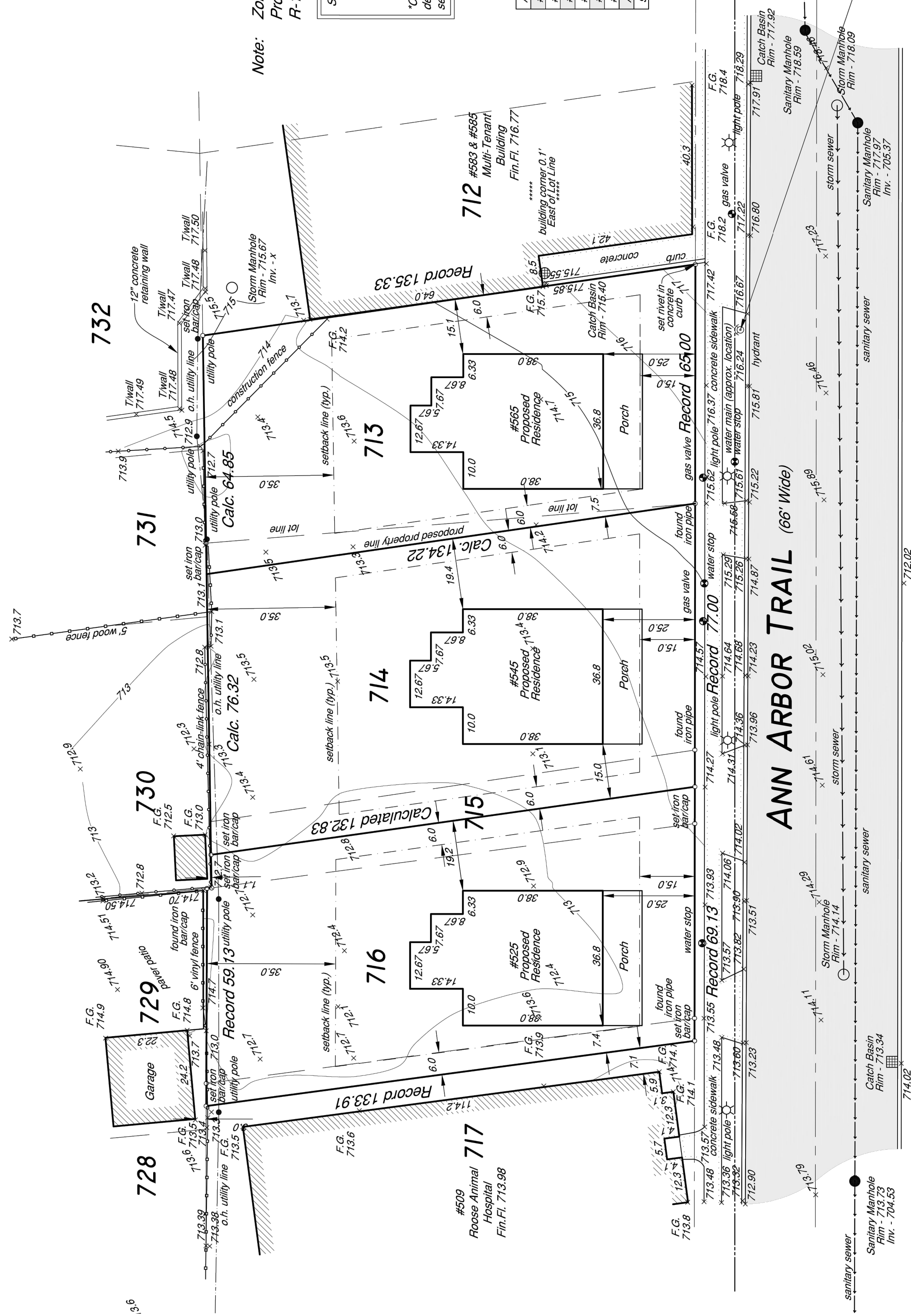


Note: Zoned B-1 Local Business
Proposed zoning setbacks for
R-1 One Family Residential

| | |
|------------|---------|
| Setbacks: | - 11.3' |
| Front | - 6' |
| Side | - 12' |
| Side total | - 12' |
| Rear | - 35' |

Check title policy for subdivision deed restrictions that may affect setback requirements.

| | |
|--|---------|
| Setback information on houses within 200' - on Ann Arbor Trail | |
| Address | Setback |
| #395 | 16.7 |
| #409 | 20.2 |
| #425 | 16.4 |
| #445 | 8.5 |
| #471 | 10.2 |
| #509 | 3.0 |
| Average | 12.5 |
| 90% of Average | 11.3 |



NAVD88 BENCHMARK
ARROW ON HYDRANT
ELEVATION = 719.33

LEGAL DESCRIPTION

LOT 713 - 716, ALSO PART OF LOT 717 OF, "ASSESSOR'S PLYMOUTH PLAT No. 20" ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 68 OF PLATS, PAGE 42, WAYNE COUNTY RECORDS. CONTAINS 27,902 SQUARE FEET.

PROPOSED SITE PLAN

Prepared For: Evergreen Development NV, LLC
485 S. Main St.
Plymouth, MI 48170
(734) 667-3352

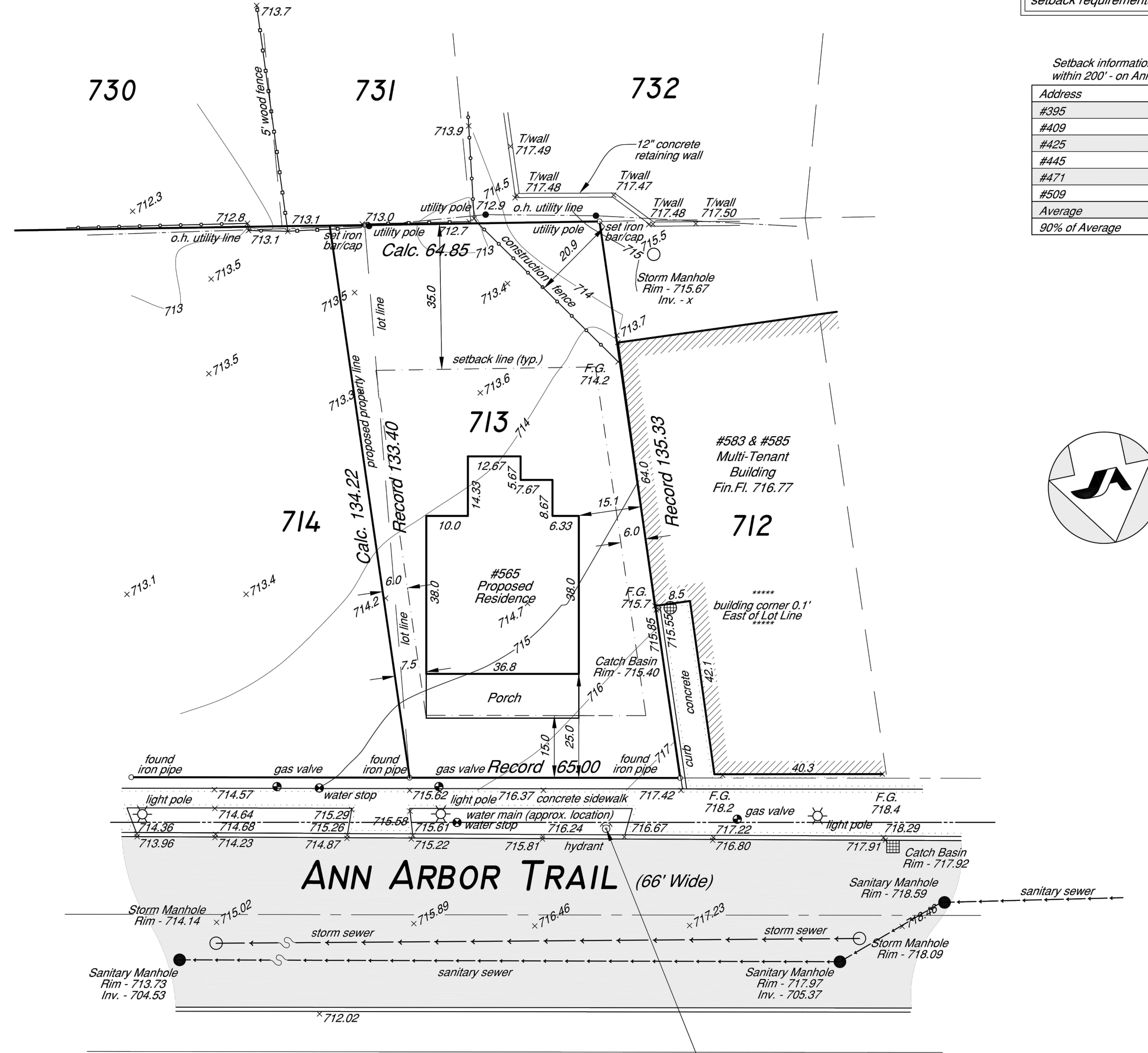
Drawn: AAH
Checked: JGE
Sheet: 1 OF 1

Jekabson & Associates, P.C.
Professional Land Surveyors
1320 Goldsmith, Plymouth, MI 48170
(734) 414-7200 (734) 455-8000

LEGAL DESCRIPTION

PARCEL 1
LOT 713 AND PART OF LOT 714, "ASSESSOR'S PLYMOUTH PLAT No. 20" ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 68 OF PLATS, PAGE 42, WAYNE COUNTY RECORDS. CONTAINS 8,669 SQUARE FEET.

Know what's below.
Call before you dig.



NAVD88 BENCHMARK
ARROW ON HYDRANT
ELEVATION = 719.33

Setback information on houses within 200' - on Ann Arbor Trail

| | |
|----------------|---------|
| Address | Setback |
| #395 | 16.7 |
| #409 | 20.2 |
| #425 | 16.4 |
| #445 | 8.5 |
| #471 | 10.2 |
| #509 | 3.0 |
| Average | 12.5 |
| 90% of Average | 11.3 |

Check title policy for subdivision deed restrictions that may affect setback requirements.

PROPOSED SITE PLAN

Prepared For: Evergreen Development NV, LLC
485 S. Main St.
Plymouth, MI 48170
(734) 667-3352

Jekabson & Associates, P.C.
Professional Land Surveyors
1320 Goldsmith, Plymouth, MI 48170
(734) 414-7200 (734) 455-8000

Date: 14 MAR 2023
Job no.: 23-02-009
Scale: 1" = 20'
Drawn: AAH
Checked: JGE
Sheet



City of Plymouth

Department of Municipal Services

DMS Review

City of Plymouth
201 S. Main
Plymouth, Michigan 48170

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

Applicant: Joseph Philips

Location: 525, 545, and 565 W Ann Arbor Trail

Zoning: B-1 – Local Business District

Action Requested: DMS Review

Review Date: July 10, 2023

1. Sanitary sewer system:
 - Existing sanitary leads
 1. Provide sewer TV records to verify condition and serviceability for re-use.
2. Water system:
 - Existing water services
 1. Verify size and material of existing water services.
 2. Proposed homes may require larger water service lines than existing for increased fixtures and irrigation. Tap fees for new water services will apply.
3. Storm drain system:
 - No known storm drains.
 - The site has historically been lower in elevation than surrounding properties and has seasonal ponding along the rear property line.
 - Storm drain improvements and retention/detention may be needed for the proposed sites due to the increased impervious area to mitigate the negative impacts on all surrounding properties.
4. Trees:
 - Existing street trees were removed as part of the demolition of the previous structures. Tree replacement or tree fund payment remains outstanding and shall be resolved in conjunction with the proposed development.
5. Easements:
 - The overhead wires at the rear of the property are not taken into account in the proposed site plans. An easement shall be established for public utilities at the rear of the site.
 - The plat map indicates the rear of 525 has a vacated alley. Provide documentation to show the alley is or is not an easement for public utilities.