



# Plymouth Planning Commission

## Regular Meeting Minutes

### Wednesday, December 8, 2021 - 7:00 p.m.

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City of Plymouth  
201 S. Main  
Plymouth, Michigan 48170-1637

[www.plymouthmi.gov](http://www.plymouthmi.gov)  
Phone 734-453-1234  
Fax 734-455-1892

#### Online Zoom Meeting

##### 1. CALL TO ORDER

Chair Karen Sisolak called the meeting to order at 7:00 p.m.

Present: Chair Sisolak, Commissioners Shannon Adams, Joe Hawthorne, Tim Joy, Scott Silvers and Eric Stalter

Also present: Assistant Community Development Director Greta Bolhuis and Planning Consultant Sally Elmiger.

##### 2. CITIZENS COMMENTS

Ellen Elliott, 404 Irvin, thanked commission members for their service.

##### 3. APPROVAL OF MEETING MINUTES

a. November 10, 2021 Meeting

Joy offered a motion, seconded by Hawthorne, to approve the minutes for the November 10, 2021 meeting.

There was a roll call vote.

Yes: Adams, Hawthorne, Joy, Silvers, Sisolak, Stalter

MOTION PASSED 6-0

##### 4. APPROVAL OF THE AGENDA

Hawthorne offered a motion, seconded by Joy, to approve the agenda for December 8, 2021.

There was a roll call vote.

Yes: Adams, Hawthorne, Joy, Silvers, Sisolak, Stalter

MOTION PASSED 6-0

##### 5. COMMISSION COMMENTS

Hawthorne complimented the staff on a great Santa parade.

##### 6. PUBLIC HEARINGS

There were no public hearings

##### 7. OLD BUSINESS

a. SP21-05: 1490 W. Ann Arbor Rd.: Scooter's Coffee, Revised Special Land Use and Site Plan Review

Elmiger said she reviewed the updated proposal and noted that it now has a walk-up window, a bench, and bike racks. She also noted concerns, including the request to install a wood fence instead of a masonry wall. Applicant Kimberly Williford described the changes in the plan.

### ***Citizen Comments***

Ellen Elliott, 404 Irvin, said she had concerns about traffic volumes. The applicant pointed out a thorough traffic study included in the application.

### ***Commission Discussion***

The group discussed fence materials, signage, the dumpster enclosure, and the impact of an easement abutting the property.

Silvers offered a motion, seconded by Adams, for SP21-05 special land use and site plan approval. This motion includes by reference, the Carlisle Wortman recommendations, and it also includes by reference the information and documentation provided by the applicant which also supports the Carlisle Wortman recommendations.

### ***Conditions***

1. The dumpster enclosure exterior is to match the brick veneer of the masonry screen wall
2. The signage shown on the plan submitted is acceptable – the two signs on the east and west face - due to the finding of fact of the unique function and configuration of the building.
3. The wood screen wall is acceptable, provided any future screen wall remains wood.
4. The termination on the north portion of the screen wall aligns with the decorative fence on the west property line approximately six feet clear of the sidewalk.
5. To introduce a verge along Ann Arbor Rd.

### ***Friendly Amendments***

Sisolak asked that the motion include they are allowing the wood screen wall due to the finding of fact that the DTE easement requires full access to that portion of the wall.

Silvers agreed to the friendly amendment.

Stalter asked for a friendly amendment stating the verge only extends to the end of the ingress island and doesn't need to extend from the ingress drive to the east property line.

Silvers agreed to this friendly amendment.

Sisolak asked for a friendly amendment to add that the documents received will be administratively approved.

Silvers agreed to this friendly amendment.

There was a roll call vote.

Yes: Adams, Hawthorne, Joy, Silvers, Sisolak, Stalter

MOTION PASSED 6-0

## **8. NEW BUSINESS**

SP21-08: 885 Fralick: Westborn Market, Site Plan Review for Parking Lot Expansion/Reconfiguration, Sidewalk and Landscaping

Elmiger reviewed her report on the plan. She noted that 870 and 860 Penniman need to be formally combined.

Applicants Bryan Bandyk and Dan LeClair described the proposal and stated that the parcels had not yet been combined but they would apply to do so in the near future.

***Citizen Comments***

Ellen Elliott, 404 Irvin, asked whether the owners had plans to discourage exiting the lot on Penniman and encourage patrons to exit on Fralick.

Sisolak read a letter from Beverly Butler, 959 Dewey, stating her objection to two-way traffic in the lot.

***Commissioner Comments***

The group discussed the project, including traffic patterns and ADA requirements for the lot, as well as the landscaping island, reduced driveway width, and the sidewalk on Fralick.

Silvers offered a motion, seconded by Joy, to table SP21-08 for site plan approval until a meeting in the future where the applicant has incorporated the items discussed in a revised site plan for submittal.

There was a roll call vote.

Yes: Adams, Hawthorne, Joy, Silvers, Sisolak, Stalter

MOTION PASSED 6-0

**9. REPORTS AND CORRESPONDENCE**

Bolhuis said that as it now stands, meetings will be in person beginning in January.

Sisolak said Bolhuis was working on the annual report.

Silvers asked when the 2018 master plan would need to be reviewed. Sisolak replied they would need to review it by the end of 2023 but changing it would not be required.

Sisolak said part of the Redevelopment Ready Communities designation includes matching funds to help evaluate the zoning ordinance.

**10. ADJOURNMENT**

Joy offered a motion, seconded by Sisolak, to adjourn the meeting at 9:11 p.m.

There was a roll call vote.

Yes: Adams, Hawthorne, Joy, Silvers, Sisolak, Stalter

MOTION PASSED 6-0



December 2, 2021

City of Plymouth  
Community Development Department  
Attn: John Buzuvis  
201 South Main Street  
Plymouth, MI 48170

Re: 1490 W. Ann Arbor Road  
Special Land Use and Site Plan Approval Response

To whom it may concern:

The following revisions and supplemental information are provided per the review letter dated November 30, 2021 sent by Sally Elmiger with Carlisle/Wortman.

1. Site lighting, photometric plan and light fixture details are revised per the plan review comments. Refer to enclosed drawings E0.01, E0.02, E0.02A and E2.01.
2. An alternate building elevation plan is enclosed showing a lighter color brick. Refer to enclosed drawing A3.0. Elevations are revised to only show two wall signs.
3. The approximate number of weekend visitors as compared to the weekday visits was requested. The 7:00 am to 9:00 am peak period on Saturday is about 42% lower than the weekday average. On Sunday, the visits are about 47% lower than weekday.
4. The review letter from the Wayne County DPS review consultant is enclosed. The geometric driveway geometric from this review letter were incorporated with the drawings submitted for Special Land Use on November 11, 2021.
5. Review comments from MDOT are enclosed. Drawings were resubmitted to MDOT on December 1, 2021. The enclosed site layout plan, C2.01 reflects these revisions.
6. A refrigerated box truck will be used for deliveries. A turning simulation illustrating this vehicle maneuvering and parking is shown on drawing C2.01.
7. Sidewalk ramps were detailed on the previously submitted grading plan, drawing C3.01. A note is added on drawing C2.01 to clarify that a sidewalk ramp will be installed on the sidewalk from Ann Arbor Road.
8. The roof-mounted equipment is illustrated on the building elevations, showing how the parapet will screen the equipment. Refer to drawing A3.0.
9. The typo on L2.01 regarding the railing thickness on detail 8 was corrected.
10. The shrub planting detail on L2.01 was modified to have 4 inches of mulch.
11. A tree protection fence detail is added to sheet L2.01. Added tree protection fence on sheet C1.01 adjacent for the tree in the Sheldon Road right-of-way.
12. A detail of the directional signage is enclosed.

Sincerely,

Joshua Manion, PE

jpm  
P:\91880004\01 ADMIN\A2 CORRESPONDENCE\2021 12 02 SLU Response Letter.docx

November 15, 2021

Bryan Bender  
Fortis Net Lease  
30445 Northwestern Hwy. Suite 275  
Farmington Hills, MI, 48334

RE: Scooter's Coffee  
Sheldon Road  
Plymouth Township  
Wayne County DPS Plan Review: R 21-715

On behalf of the Wayne County Department of Public Services, Michael Baker International has received the following comments from Wayne County Traffic Office for the above referenced project and they require the following revisions and additions prior to approval. Enclosed is one set of plan prints on which is shown in red some of corrections and additions as listed below:

**Right-of-Way Improvements Requirements**

1. The 25 ft. throat width at R.O.W shown on plan Sht. C2.01 is showing face to face of curve. For the proposed curb and gutter section throat width at R.O.W must be 25 ft. (min.) clear travel width for two-way drive approach per Wayne County Permit Standard, D-6. Show and label on the plan. See sht. C2.01
2. The proposed 12.5 ft. outbound radius for drive approach on Sheldon Rd. is acceptable. The proposed inbound radius should be 25 ft. (min.) clear travel width.
3. The proposed traffic maintenance plan for one (1) lane closure on Sheldon Rd. should follow MDOT Maintaining Traffic Typical MO250a.
4. The sight distances shown on sht. C6.00 are acceptable.
5. The proposed drive approach and traffic maintenance plan on Ann Arbor Rd are not in Wayne County Jurisdiction.

**The following items below are required in order to complete a stormwater and drain review.**

**Storm Water Management Plan Requirements**

1. Provide a map, CAD file, or shapefile of the exterior boundary of the drainage areas on the site. This will be used to determine if there are changes to the Green Meadows Tile Drain Drainage District or the Plymouth Township No. 2 Drain Drainage District. See page 16 from the *Wayne County Stormwater Standards Manual*.
2. Add Land Use Summary Table to cover sheet. See page 17 from the *Wayne County Stormwater Standards Manual*.

Please revise the plans to reflect the above-mentioned comments and revisions and **resubmit a pdf of the revised plans** for further review.

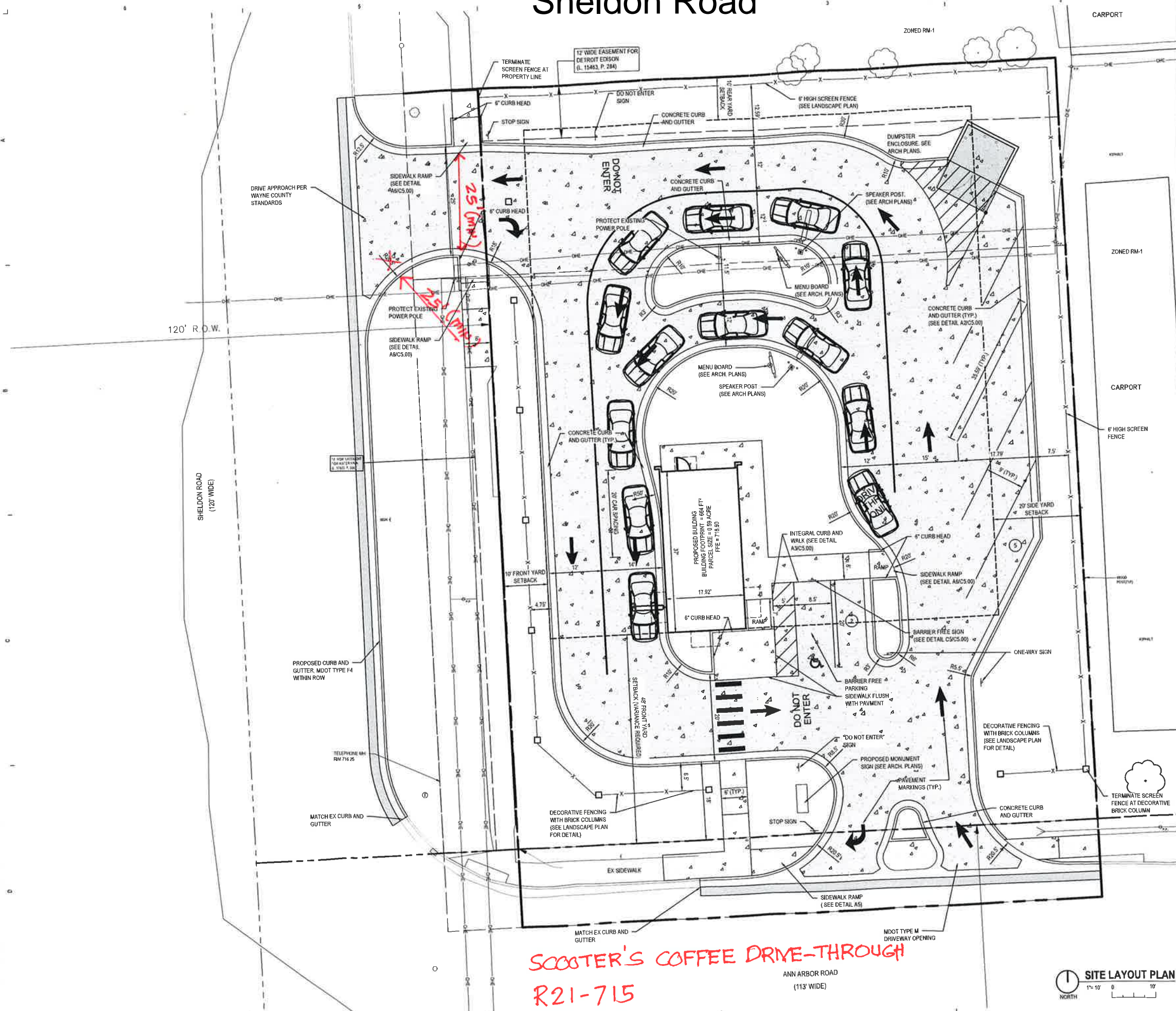
If you have any questions regarding the comments, or any other questions about this project, please contact **Shelby Wojno at 313-203-4413 or [shelby.wojno@mbakerintl.com](mailto:shelby.wojno@mbakerintl.com)**. To help avoid unnecessary delays, refer to **Plan Review Number: R 21-715** when calling or sending correspondence.

**Please note that the Wayne County Department of Public Services and Michael Baker International reserves the right to make revisions to any requirements listed above or shown on the enclosed plan during our review of subsequent detailed engineering plans.**

Sincerely,  
Michael Baker International

**Shelby Wojno**  
*Civil Associate*

# Sheldon Road



**SCOOTER'S COFFEE DRIVE-THROUGH**  
**R21-715**  
 ANN ARBOR ROAD  
 (113' WIDE)

www.CALL811.com

**CALL 811 NOTE:**  
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

**GENERAL SITE LAYOUT NOTES**

1. ALL WORKMANSHIP AND MATERIALS SHALL BE ACCORDING TO THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION (M.D.O.T.) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
2. CONTACT "MISS DIG" TOLL FREE AT 1-800-482-7171 THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS.
3. NO DIMENSION MAY BE SCALED, REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
4. DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED AS B-B (BACK TO BACK) OR E-E (EDGE OF METAL TO EDGE OF METAL).
5. CONTRACTOR TO PAINT STRIPE ALL PARKING SPACES SHOWN, PAINT COLOR TO BE YELLOW.
6. UPON REQUEST, ELECTRONIC INFORMATION WILL BE PROVIDED FOR SITE LAYOUT PURPOSES. CONTRACTOR SHALL REQUEST ALL INFORMATION IN WRITING THROUGH PROGRESSIVE AE. LAYOUT OF ALL NEW CONSTRUCTION SHALL BE DONE BY A LICENSED SURVEYOR.
7. ALL CONCRETE JOINTS SHALL BE TOOLED PER SPECIFICATIONS.
8. CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION. THIS IS TO INCLUDE BURIED UTILITIES, LIGHTING, LANDSCAPING, SPRINKLING, ETC.
9. ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN.
10. ALL PAVEMENT, CURB & GUTTER, SIDEWALK AND UTILITIES WITHIN PUBLIC RIGHT OF WAY SHALL MEET CITY OF PLYMOUTH STANDARDS.

**GENERAL NOTES**

1. VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITIES.
3. REFER TO SURVEY FOR BENCHMARK INFORMATION.
4. ALL MATERIAL, SPECIFICATIONS AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH ALL APPLICABLE MUNICIPAL AGENCIES.
5. RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH AT A MINIMUM EXISTING CONDITIONS.
6. CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
7. EXISTING TREES TO REMAIN - CONTRACTOR TO PROTECT ROOT SYSTEMS BY MAINTAINING TREE PROTECTION FENCE AT TREE DRIBLINE TO ELIMINATE MATERIAL STORAGE, PARKING OR CONSTRUCTION TRAFFIC WITHIN THE TREE DRIBLINE.

**PAVING NOTES**

1. PAVEMENT CONSTRUCTION TO BE PERFORMED IN ACCORDANCE TO CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS.
2. MINIMUM 28 DAY COMPRESSIVE STRENGTH SHALL BE 4,000 PSI FOR ALL EXTERIOR CONCRETE. SLUMP RANGE: 3 INCHES TO 5 INCHES. AIR CONTENT: 5 PERCENT TO 8 PERCENT.
3. PROVIDE SCORED CONCRETE CONTROL JOINTS AT 12 FEET MAXIMUM SPACING.
4. CONCRETE JOINT LAYOUT SHALL FORM SQUARE PANELS. WHERE NOT PRACTICAL, RECTANGULAR PANELS MAY BE USED IF THE LONG DIMENSION IS NO MORE THAN 1.5 TIMES THE SHORT DIMENSION.

**PAVEMENT LEGEND**

STANDARD CONCRETE PAVEMENT	6" CONCRETE
HEAVY DUTY CONCRETE PAVEMENT	12" COMPACTED SUBBASE, CLASS II SAND
CONCRETE SIDEWALK	4" CONCRETE 4" MDOT CLASS II GRANULAR BASE APPROVED COMPACTED SUBBASE
R.O.W. ASPHALT PAVEMENT	1 1/2" HMA WEARING COURSE SS-TH TACK COAT @ 0.05 GAL/SY PLACE BETWEEN EACH HMA LIFT 4 1/2" HMA BASE, LEVELING COURSE EXISTING AGGREGATE BASE EXISTING SUBBASE

**progressive ae**  
**SCOOTER'S COFFEE**  
**NOT FOR CONSTRUCTION**

ISSUANCE  
 COUNTY REVIEW  
 10/05/2021

REVISIONS  
 NO. DATE DESCRIPTION

FILE NUMBER 9186004  
 PROJECT MANAGER JPM  
 PROFESSIONAL AQA  
 DRAWN BY  
 CHECKED BY

SITE LAYOUT PLAN  
**C2.01**

10/05/2021 11:23:23 AM  
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1490 WEST ANN ARBOR RD., PLYMOUTH, MI 48170

## Remarks Summary

Company Name:	Bryan Bendor	Application Type:	Individual Application
Application Status:	Processing	App. Ref. # / Permit #:	80,932
Permit Status:		Author	Internal Remark Indicator
Permit Status:		Date	
	alvin Aquino	N	10/11/2021
<b>Remark:</b>	Attaching Trip generation report to address TIS/TIA remark on 10/08/2021		
	Andrea Jones	N	10/08/2021
<b>Remark:</b>	Per the preliminary comments sent on June 25, 2021, a TIS/TIA needs to be provided to include stacking analysis, etc. Please provide and resubmit for review to begin.		
	Andrea Jones	N	10/19/2021
<b>Remark:</b>	Please see RIRO Driveway document and utilize it for the driveway dimensions.		
	Also, install a No Left Turn (R3-2) sign in the northerly part of the island proposed, facing EB Ann Arbor Rd. traffic, to prevent vehicles from entering the WB LT lane.		
	Please revise plans and resubmit for further review.		
	alvin Aquino	N	12/01/2021
<b>Remark:</b>	Resubmittal of civil plans per 10/19/2021 Remarks		

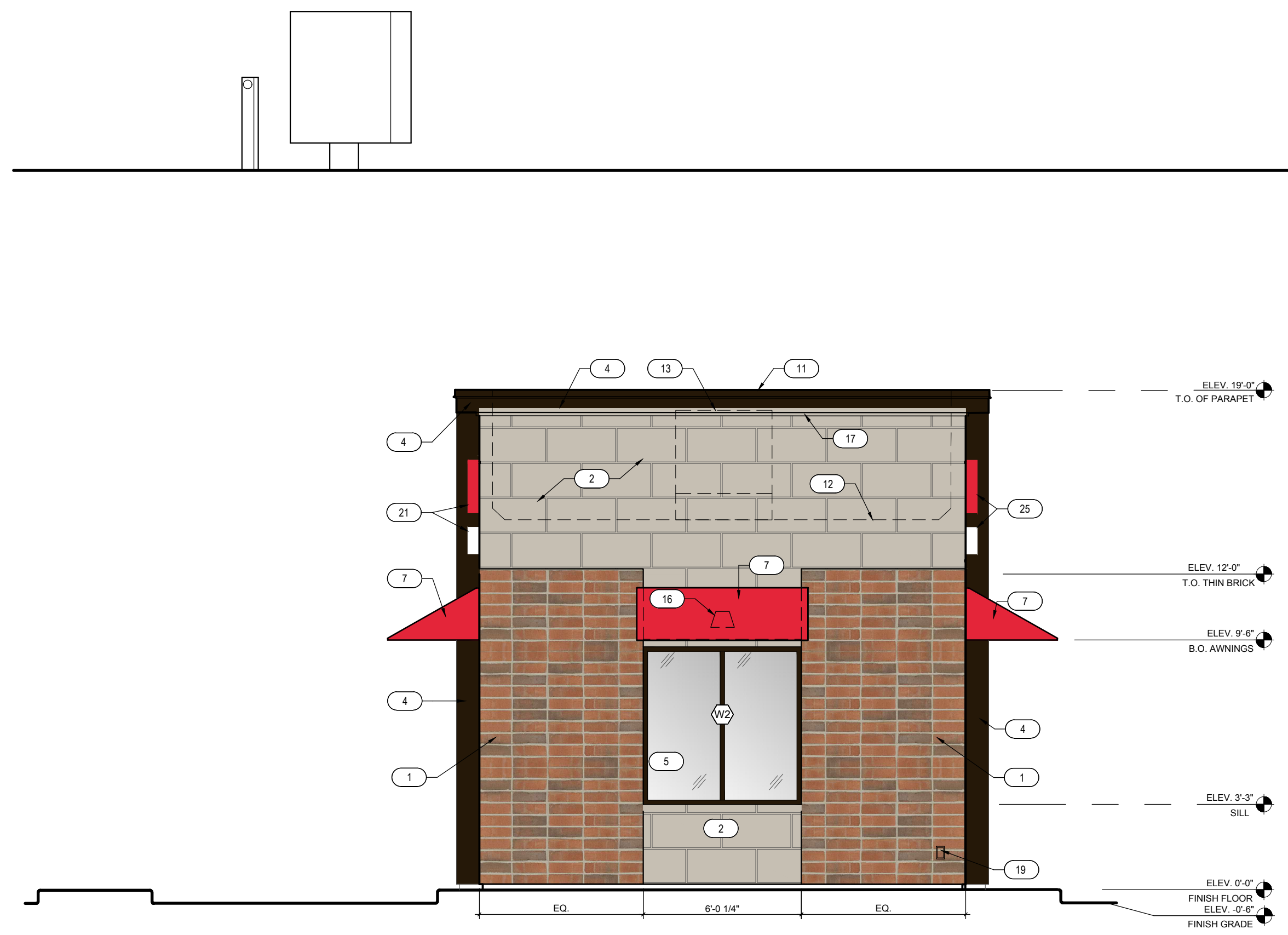
KEYNOTES

X

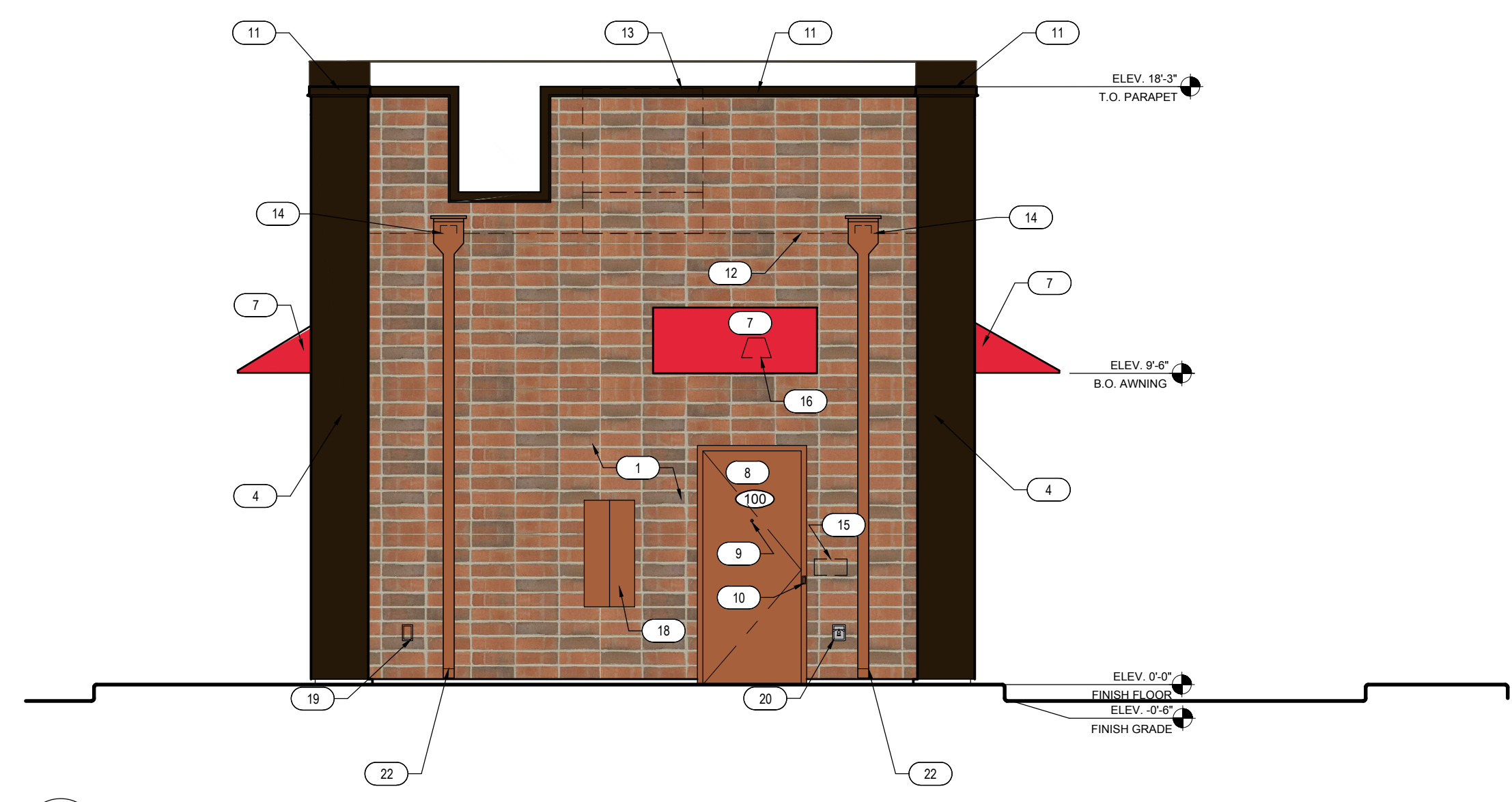
- |   |   |   |
|---|---|---|
| 1. GLEB-GERY THIN BRICK VENEER, STACKED BOND - COLOR: ROSEWOOD, PAPER CUT                               | 9. PEEP HOLE, BY DOOR MANUFACTURER                      | 18. SES PANEL, SEE ELECTRICAL DRAWINGS                                |
| 2. EL DORADO STONE MARQUEE24 - COLOR: DOVE TAIL   | 10. DOOR BELL   | 19. ELECTRICAL OUTLETS, SEE ELECTRICAL DRAWINGS                       |
| 3. NOT USED   | 11. 20 GAUGE METAL PARAPET CAP                          | 20. HOSE BIBB, SEE PLUMBING DRAWINGS                                  |
| 4. 20 GAUGE METAL ACCENTS AND SOFFITS - COLOR: DARK BRONZE  | 12. LINE OF ROOF BEYOND                                 | 21. SIGNAGE BY OTHERS, UNDER A SEPARATE PERMIT                        |
| 5. INSULATED DARK BRONZE ALUMINUM WINDOWS WITH DUAL PANE TEMPERED GLASS                                 | 13. ROOF TOP UNIT BEYOND, SEE MECHANICAL DRAWINGS       | 23. CONNECT DOWNSPOUTS TO UNDERGROUND PIPING, REF. CIVIL.             |
| 6. QUICKSERVE 48X48 WINDOW - COLOR: DARK BRONZE   | 14. ROOF SCUPPER AND DOWNSPOUT, SEE DETAIL 8/A6.3       | 24. SERVICE COUNTER BY BI-PARTING WINDOW MANUFACTURER                 |
| 7. AWNING BY OTHERS - COLOR: RED  | 15. MAILBOX BY OWNER                                    | 25. SECONDARY SIGNAGE BY OTHERS, PENDING PLANNING COMMISSION APPROVAL |
| 8. INSULATED HOLLOW METAL DOOR AND FRAME COLOR: SHERWIN WILLIAMS SW6356 COPPER MOUNTAIN EGGSHELL FINISH | 16. WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS |   |
|   | 17. LED LIGHT BAND, SEE ELECTRICAL DRAWINGS             |   |



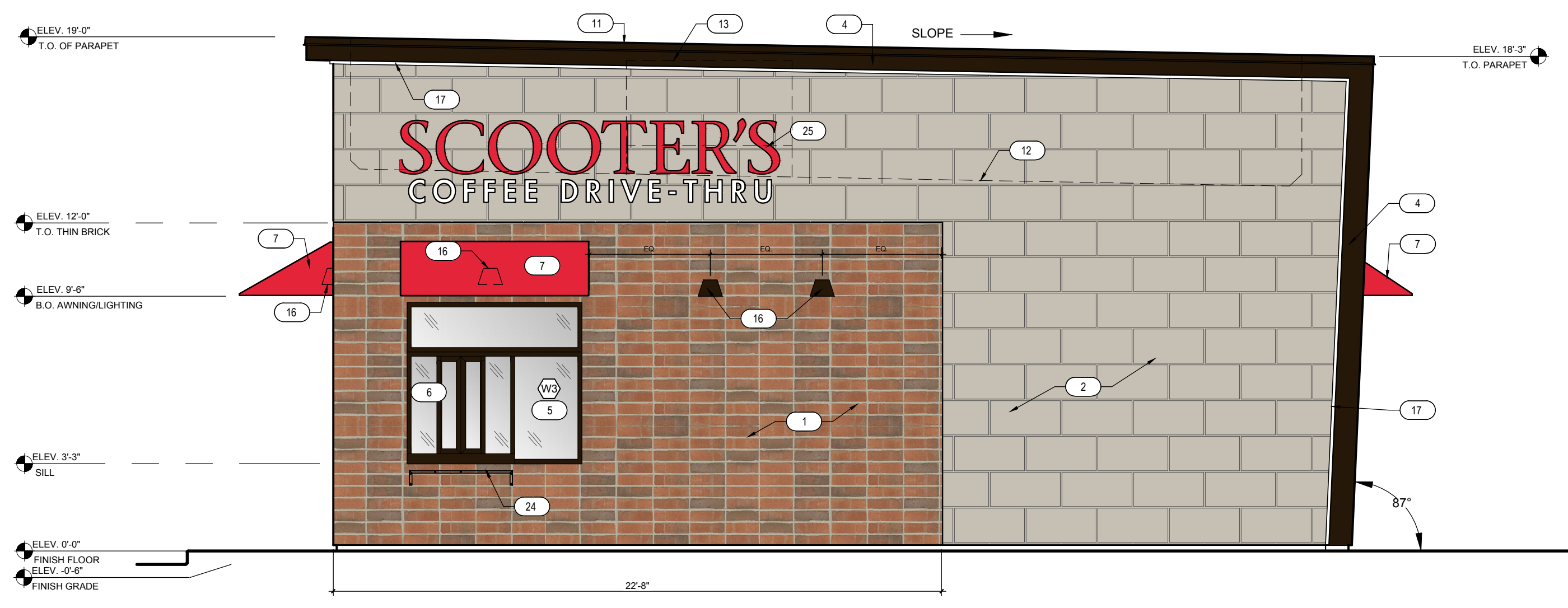
4 EXTERIOR ELEVATIONS  
SCALE: 1/4" = 1'-0"



3 EXTERIOR ELEVATIONS  
SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATIONS  
SCALE: 1/4" = 1'-0"



1 EXTERIOR ELEVATIONS  
SCALE: 1/4" = 1'-0"

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PROJECT ADDRESS:  
1490 WEST ANN  
ARBOR ROAD  
PLYMOUTH, MI 48170  
REVISIONS:

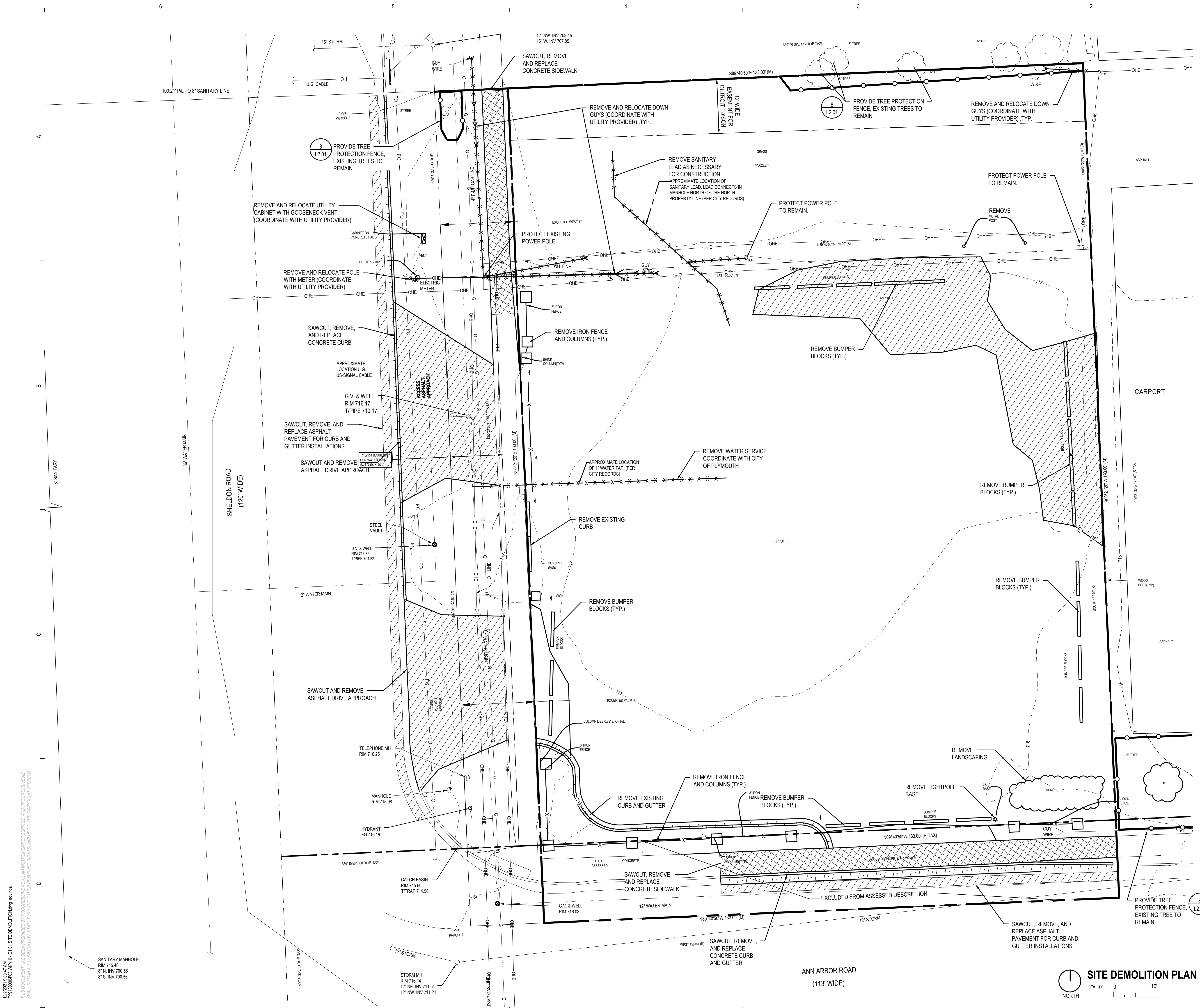
TITLE:  
EXTERIOR  
COLOR  
ELEVATIONS

DATE:  
12/02/2021  
PROJECT NO.  
210536

- DESIGN DEVELOPMENT
- PERMIT SUBMITTAL
- BID PACKAGE
- CONSTRUCTION ISSUE

SHEET NO.

**A3.0**



**CALL 811 NOTE:**  
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

**SITE CLEARING AND DEMOLITION NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH THE DEMOLITION AND CLEARING REQUIREMENTS.
2. NO REMOVAL, DEMOLITION, CLEARING OR TOPSOIL REMOVAL SHALL OCCUR ON SITE UNTIL THE SESC AND STORMWATER PERMITS HAVE BEEN ISSUED AND THE CONTRACTOR HAS VERIFIED AND STAKED THE LIMITS OF REMOVAL IN THE FIELD. NOTIFY SITE CONSULTANT OF THE START OF CONSTRUCTION AND DATE WHEN THE LIMITS LINE WILL BE ESTABLISHED FOR REVIEW AND APPROVAL.
3. ALL MATERIALS NOTED TO BE SALVAGED SHALL BE TURNED OVER TO THE OWNER OR REINSTALLED ON SITE AS NOTED.
4. NO BURNING OR BURYING OF CLEARED OR DEMOLITION MATERIAL SHALL BE ALLOWED ON SITE.
5. REMOVE ALL STRUCTURES, FOUNDATIONS, BITUMINOUS PAVEMENT, CONCRETE SIDEWALK STEPS AND OTHER EXISTING SITE FEATURES AS INDICATED ON THE DRAWINGS. ALSO, REMOVE ALL DEBRIS FROM WITHIN CONSTRUCTION LIMITS ON SITE. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND, UNLESS OTHERWISE NOTED, DISPOSED OF IN A MANNER ACCEPTABLE TO LOCAL JURISDICTION HAVING AUTHORITY.
6. THE CONTRACTOR SHALL BE LICENSED BY THE STATE OF MICHIGAN FOR DEMOLITION REMOVAL AND HAULING OF MATERIALS.
7. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS AND FEES FOR THIS WORK.
8. EXISTING UTILITIES ARE LOCATED TO THE BEST OF OUR KNOWLEDGE. THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING EXISTING UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING UTILITY SERVICES AT ALL TIMES.
9. ALL EXCESS OR UNSUITABLE TOPSOIL OR SUBSOIL TO BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED OFFSITE.
10. PROTECT EXISTING TREES UNLESS OTHERWISE NOTED. NO PARKING OR STORAGE OF MATERIALS WITHIN TREE ROOT ZONE. PLACE TREE PROTECTION FENCE WHERE SHOWN ON PLAN.
11. TREE PROTECTION FENCE - ORANGE SAFETY FENCE AROUND TREES SUPPORTED BY STEEL T-BAR FENCE POSTS. ZIP TIE FABRIC TO POSTS. INSTALL PRIOR TO ANY CONSTRUCTION ACTIVITY AND MAINTAIN DURING ENTIRE CONSTRUCTION PERIOD.
12. CONTRACTOR TO CALL 811 AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES.
13. CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION.
14. ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN. PATCH PAVEMENT IN-KIND IF REQUIRED.
15. SAWCUT FULL DEPTH ALL EDGES OF PAVEMENT TO BE REMOVED.
16. ALL GROUND AREAS DISTURBED BY CONSTRUCTION TO BE TOPSOILED AND SEED PER THE SITE LANDSCAPE PLAN UNLESS SHOWN OTHERWISE ON PLANS.

**DEMOLITION LEGEND**

	BITUMINOUS PAVEMENT REMOVAL
	CONCRETE REMOVAL
	TREE REMOVAL
	REMOVE CONCRETE CURB
	REMOVE UTILITY LINE

ALL ITEMS IN BOLD TO BE REMOVED UNLESS OTHERWISE NOTED.

**progressive ae**  
 1811 4 Mile Rd NE, Grand Rapids, MI 49525 (616) 381-2654 www.progressiveae.com

**SCOOTER'S COFFEE**  
 1490 WEST ANN ARBOR RD., PLYMOUTH, MI 48170

**NOT FOR CONSTRUCTION**

**ISSUANCE**  
 MDOT REVIEW  
 12/01/2021

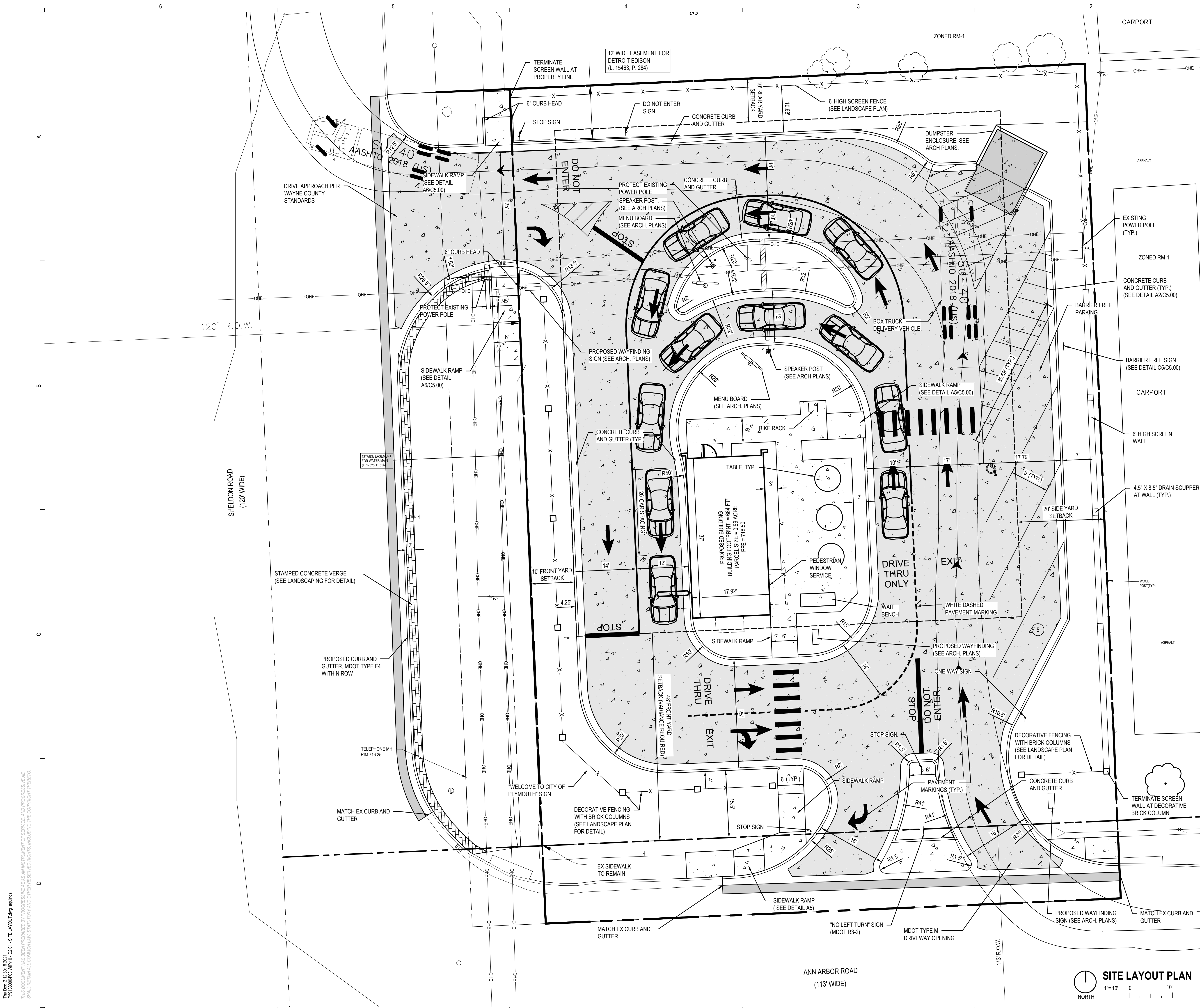
**REVISIONS**

NO.	DATE	DESCRIPTION

FILE NUMBER 91880004  
 PROJECT MANAGER  
 PROFESSIONAL  
 DRAWN BY  
 CHECKED BY

**SITE DEMOLITION PLAN**  
**C1.01**

12/20/2021 9:09:47 AM  
 P:\888003\91880004\C1.01 SITE DEMOLITION.dwg  
 THIS DOCUMENT HAS BEEN PREPARED BY PROGRESSIVE AE AS AN INSTRUMENT OF SERVICE, AND PROGRESSIVE AE SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT THEREIN.



**CALL 811 NOTE:**  
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

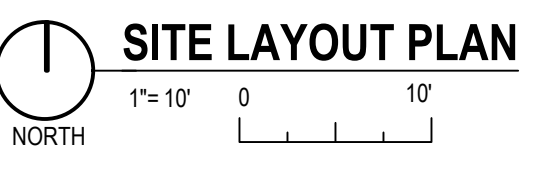
- GENERAL SITE LAYOUT NOTES**
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- GENERAL NOTES**
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  - REFER TO SURVEY FOR BENCHMARK INFORMATION.
  - ALL MATERIAL, SPECIFICATIONS AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH ALL APPLICABLE MUNICIPAL AGENCIES.
  - RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH AT A MINIMUM EXISTING CONDITIONS.
  - CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
  - EXISTING TREES TO REMAIN - CONTRACTOR TO PROTECT ROOT SYSTEMS BY MAINTAINING TREE PROTECTION FENCE AT TREE DRIPLINE TO ELIMINATE MATERIAL STORAGE, PARKING OR CONSTRUCTION TRAFFIC WITHIN THE TREE DRIPLINE.

- PAVING NOTES**
- PAVEMENT CONSTRUCTION TO BE PERFORMED IN ACCORDANCE TO CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS.
  - MINIMUM 28 DAY COMPRESSIVE STRENGTH SHALL BE 4,000 PSI FOR ALL EXTERIOR CONCRETE. SLUMP RANGE: 3 INCHES TO 5 INCHES. AIR CONTENT: 5 PERCENT TO 8 PERCENT.
  - PROVIDE SCORED CONCRETE CONTROL JOINTS AT 12 FEET MAXIMUM SPACING.
  - CONCRETE JOINT LAYOUT SHALL FORM SQUARE PANELS. WHERE NOT PRACTICAL, RECTANGULAR PANELS MAY BE USED IF THE LONG DIMENSION IS NO MORE THAN 1.5 TIMES THE SHORT DIMENSION.

**PAVEMENT LEGEND**

STANDARD CONCRETE PAVEMENT	6" CONCRETE
	12" COMPACTED SUBBASE, CLASS II SAND
HEAVY DUTY CONCRETE PAVEMENT	8" CONCRETE
	12" COMPACTED SUBBASE, CLASS II SAND
CONCRETE SIDEWALK	4" CONCRETE
	4" MDOT CLASS II GRANULAR BASE
	APPROVED COMPACTED SUBBASE
STAMPED CONCRETE VERGE	6" COLORED CONCRETE WITH BRICK WITH BRICK STAMP PER CITY STANDARD
	6" MDOT CL II GRANULAR BASE
	APPROVED COMPACTED SUBBASE
R.O.W. ASPHALT PAVEMENT	1 1/2" HMA WEARING COURSE
	SS-1H TACK COAT @ 0.05 GAL/SY PLACE BETWEEN EACH HMA LIFT
	4 1/2" HMA BASE, LEVELING COURSE
	EXISTING AGGREGATE BASE
	EXISTING SUBBASE



This Doc. 2/23/2018 09:21  
 P:\081003\03\10111 - C2.01 - SITE LAYOUT.dwg  
 THIS DOCUMENT HAS BEEN PREPARED BY PROGRESSIVE AE AS AN INSTRUMENT OF SERVICE, AND PROGRESSIVE AE SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT THEREIN.

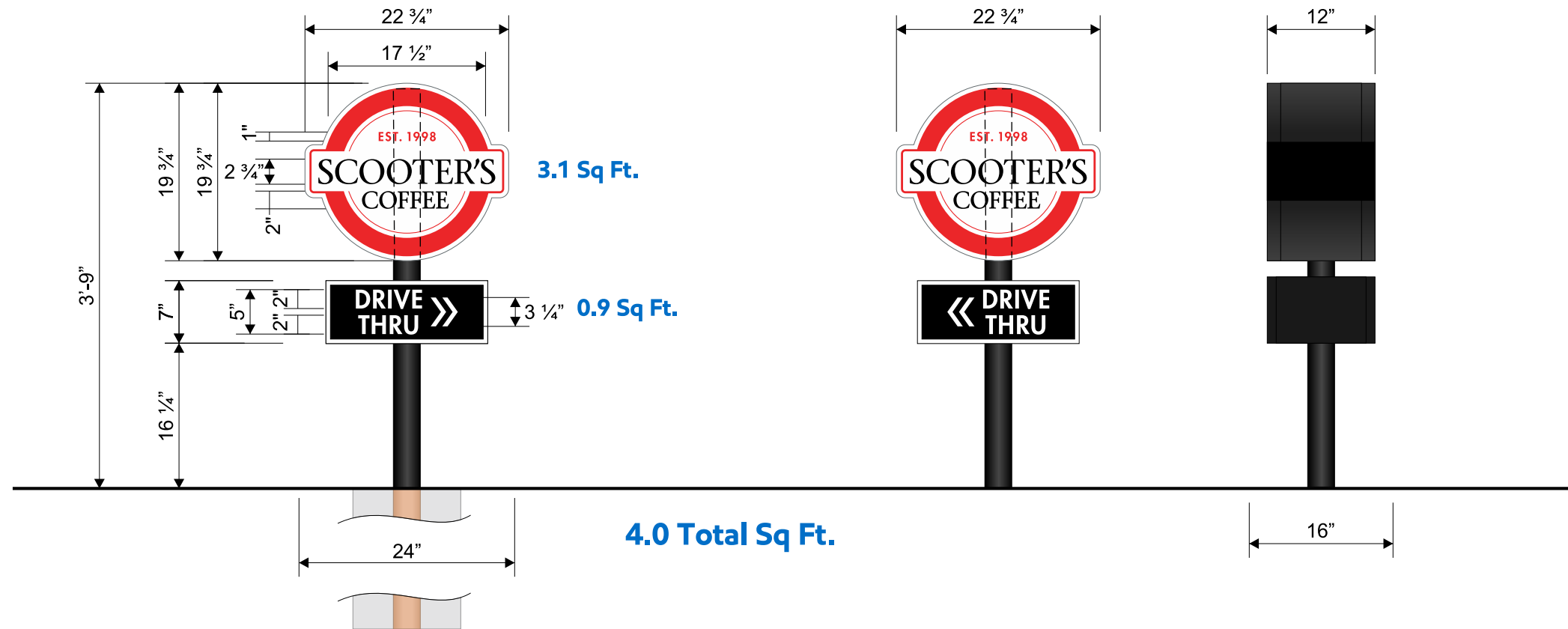
**progressive ae**  
**SCOOTER'S COFFEE**  
**NOT FOR CONSTRUCTION**  
 1490 WEST ANN ARBOR RD., PLYMOUTH, MI 48170  
 18114 Mile Rd NE, Grand Rapids, MI 49525 (616) 381-2884 www.progressiveae.com

**ISSUANCE**  
 MDOT REVIEW  
 12/01/2021

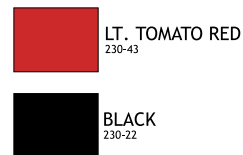
**REVISIONS**  
 NO. DATE DESCRIPTION

FILE NUMBER 91880004  
 PROJECT MANAGER  
 PROFESSIONAL JPM  
 DRAWN BY AOA  
 CHECKED BY

**SITE LAYOUT PLAN**  
**C2.01**



3M Series 230  
TRANSLUCENT FILM



<b>SCOOTER'S COFFEE DRIVE-THRU</b>	
<b>Directional Sign Display</b>	
<b>INTERIOR FRAME:</b>	1 Inch Angle Iron
<b>CABINET COLOR:</b>	.063 Aluminum Painted Black.
<b>TRIM-CAP:</b>	1 Inch Black.
<b>FACE MATERIAL:</b>	3/16" White Plexiglas
<b>GRAPHICS:</b>	Applied Vinyl Graphics (as noted).
<b>ILLUMINATION:</b>	White Hanley LED's
CABINET IS TO BE MOUNTED IN CUSTOMER SPECIFIED LOCATION USING PROPER HARDWARE AND FASTENERS (NON-CORROSIVE).	

<b>FOOTING DETAIL</b>	
<b>DEPTH:</b>	42 Inches
<b>WIDTH:</b>	12 Inches
<b>TYPE:</b>	AUGURED.
<b>STEEL SIZE:</b>	3 Inch Std.

**NOTE:** TO BE VERIFIED.



1120 N 18th Street • Omaha 68102  
402.341.6077 • 402.341.7654 fax  
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**DRAWING # :**  
**PROJECT ID:**

**SALES PERSON:** andye nelson  
**DRAWN BY:** wes stephens

**DATE:** 08.06.21

**Revised:**  
**DATE:** 08.23.21

**INSPECTED BY:**

**NOTICE:**

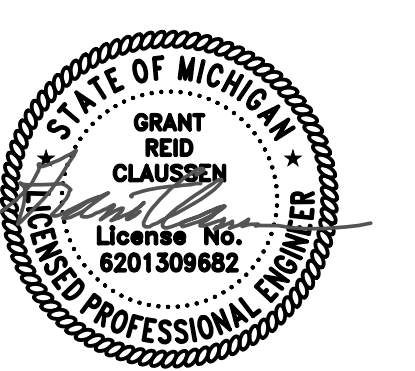
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Signed \_\_\_\_\_ Date \_\_\_\_\_  
Sales Rep. \_\_\_\_\_ Date \_\_\_\_\_

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



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12-02-2021



PROJECT ADDRESS:  
 1490 WEST ANN  
 ARBOR ROAD  
 PLYMOUTH, MI 48170

REVISIONS:  
 1 11/10/2021 SITE REVISION  
 2 12/01/2021 SITE PLAN REVISION

TITLE:

**ELECTRICAL SITE PLAN**

DATE:  
 09/16/2021  
 PROJECT NO.  
 210536

- DESIGN DEVELOPMENT
- PERMIT SUBMITTAL
- BID PACKAGE
- CONSTRUCTION ISSUE

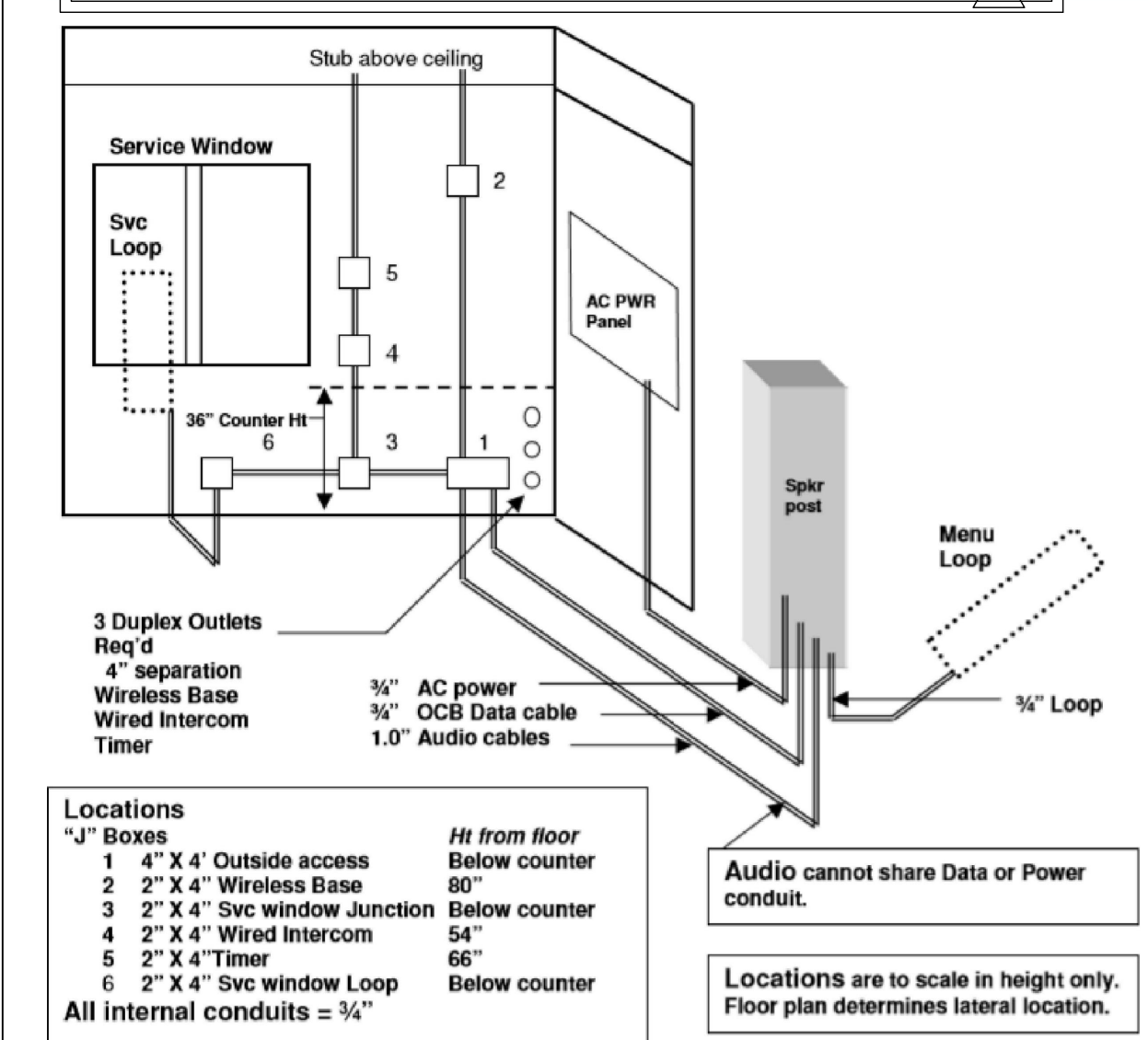
SHEET NO.  
**E0.01**

**GENERAL NOTES**

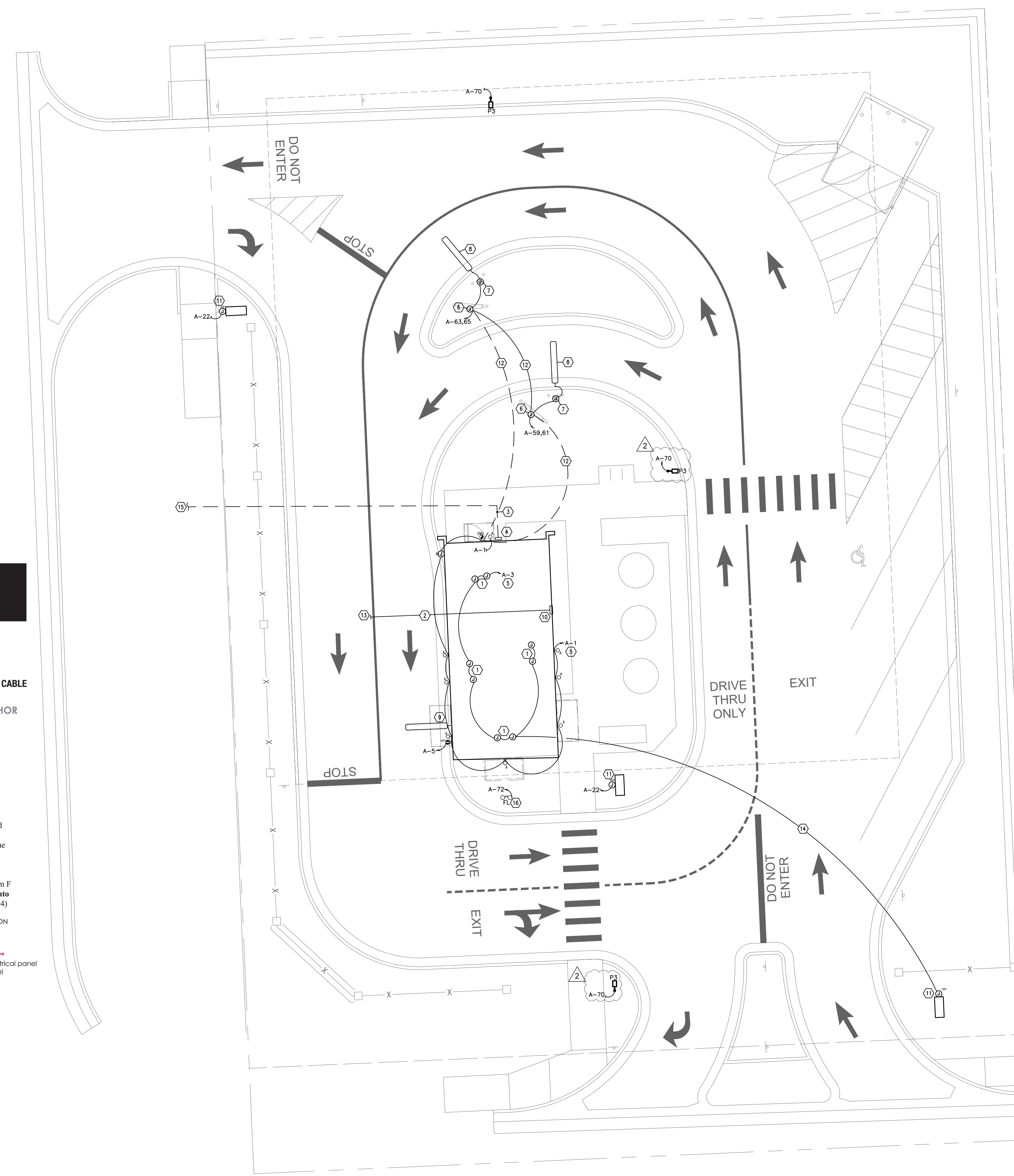
- A. ALL EXTERIOR LIGHT FIXTURES TO COMPLY WITH LOCAL NIGHT SKY ORDINANCE.
- B. ALL EXTERIOR LIGHTING AND SIGNAGE TO BE FED WITH #10 CU. U.N.O.
- C. ALL EXTERIOR ELECTRICAL EQUIPMENT TO BE NEMA-3R RATED.
- D. CONTRACTOR TO COORDINATE EXACT SITE LIGHTING FIXTURE LOCATIONS WITH LANDSCAPE DRAWINGS.
- E. ALL FIXTURES INSTALLED OUTDOORS SHALL BE RATED FOR DAMP/WET LOCATIONS AS REQUIRED. THE CONTRACTOR SHALL COORDINATE DAMP/WET LOCATION RATING PER NEC ARTICLE 410-0. ALL INSTALLATIONS SHALL CONFORM TO NEC ARTICLE 410, ALL SUB ARTICLES.
- F. FIRE ALARM EQUIPMENT SHALL BE COORDINATED FOR EXACT LOCATION AND REQUIREMENTS WITH FIRE MARSHALL.
- G. ALL PVC CONDUIT MUST HAVE A MINIMUM OF #12 CU. GROUND CONDUCTOR.
- H. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATE AND SCHEDULING WITH POWER AND TELEPHONE UTILITY COMPANIES INCLUDING (2) COMPLETE SETS OF DRAWINGS TO EACH COMPANY. ALL WORK SHALL BE INSTALLED PER EACH UTILITY COMPANIES FINAL DESIGN DRAWINGS.
- I. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATE EXACT LOCATIONS AND MOUNTING HEIGHTS OF ALL EXTERIOR LIGHT FIXTURES WITH ARCHITECTURAL DRAWINGS.

**NOTES BY SYMBOL (X)**

1. PROVIDE W.P. J-BOX FOR EXTERIOR SIGNAGE PER NEC. COORDINATE EXACT PRIOR TO INSTALLATION. EXTEND CIRCUIT THROUGH WALL SWITCH. REFER TO SHEET E1.0 FOR MORE INFORMATION. VERIFY EXACT REQUIREMENTS W/ OWNER.
2. 4" UNDERGROUND PVC CONDUIT WITH PULL WIRE AND RIGID STEEL BENDS PER TELEPHONE COMPANY REQUIREMENTS. TRENCH AND BACKFILL AS REQUIRED. REFER TO TABLE 300.5 FOR ADDITIONAL REQUIREMENTS.
3. NEW SECONDARY FEEDERS FROM TRANSFORMER PER POWER COMPANY REQUIREMENTS. ROUTING SHOWN FOR REFERENCE ONLY. REFER TO ONE-LINE DIAGRAM.
4. PROPOSED LOCATION OF NEW SERVICE ENTRANCE SECTION IN NEMA-3R ENCLOSURE. REFER TO ONE-LINE DIAGRAM AND LOAD CALCULATIONS.
5. CIRCUIT ROUTED TO WALL SWITCH. REFER TO SHEET E1.0 FOR LOCATION.
6. PROVIDE STUB-UP FOR DRIVE THRU DIGITAL MENU BOARD. COORDINATE EXACT POWER REQUIREMENTS WITH MANUFACTURER PRIOR TO INSTALLATION. SEE DIGITAL MENU BOARD SCHEMATIC.
7. PROVIDE W.P. J-BOX FOR DRIVE THRU SPEAKER. COORDINATE EXACT POWER REQUIREMENTS WITH MANUFACTURER PRIOR TO INSTALLATION. SEE DRIVE-THRU CONDUIT SCHEMATIC.
8. CONNECT SPEAKER PEDESTAL TO DETECTION LOOP. COORDINATE EXACT REQUIREMENT WITH MANUFACTURER PRIOR TO ROUGH-IN. SEE DRIVE-THRU CONDUIT SCHEMATIC.
9. PROVIDE STUB UP FOR DETECTION LOOP. COORDINATE EXACT REQUIREMENT WITH MANUFACTURER PRIOR TO ROUGH-IN. SEE DRIVE-THRU CONDUIT SCHEMATIC.
10. PROPOSED LOCATION OF MAIN POINT OF PRESENCE FOR TELEPHONE COMPANY DEMARCATION AND TERMINATION.
11. PROVIDE W.P. J-BOX FOR SIGN. COORDINATE EXACT LOCATION WITH ARCHITECT OR OWNER AND ELECTRICAL REQUIREMENTS WITH VENDOR.
12. PROVIDE (4) ELECTRICAL NON METALLIC CONDUITS FOR DRIVE THRU DIGITAL MENU BOARD. REFER TO DRIVE THRU SCHEMATIC ON THIS SHEET FOR FURTHER INFORMATION. (1) 2" CONDUIT TO IT RACK FOR DIGITAL CABLE. (1) 1-1/2" CONDUIT TO IT RACK FOR COMMUNICATIONS. (1) 1" CONDUIT FOR BRANCH POWER (TWO 20A/1P BRANCH CIRCUITS REQUIRED) TO ELECTRICAL PANELBOARD AND (1) 1" CONDUIT FOR LOOP DETECTION ROUTED TO DRIVE-THROUGH AREA LOOP DETECTION SYSTEM.
13. TERMINATE AND STUB CONDUIT TO PROPERTY LINE OR EXISTING CABINET PER TELEPHONE COMPANY REQUIREMENT.
14. PROVIDE (3) #10" IN 3/4" NON METALLIC CONDUIT AT 24" BELOW FINISHED GRADE. PER NEC 300.5 VERIFY EXACT ROUTING PRIOR TO INSTALLATION. TRENCH, BACKFILL, AND REPAIR LANDSCAPE/ HARDSCAPE AS REQUIRED.
15. TO PROPOSED POWER COMPANY TRANSFORMER LOCATION. COORDINATE WITH UTILITY OWNER FOR EXACT LOCATION PRIOR TO TRENCHING. LOCATION SHOWN ON PLAN IS DIAGRAMMATIC
16. PROVIDE AND INSTALL FLAG POLE LIGHT REFER TO SHEET E2.01 FOR LIGHTING SCHEDULE.



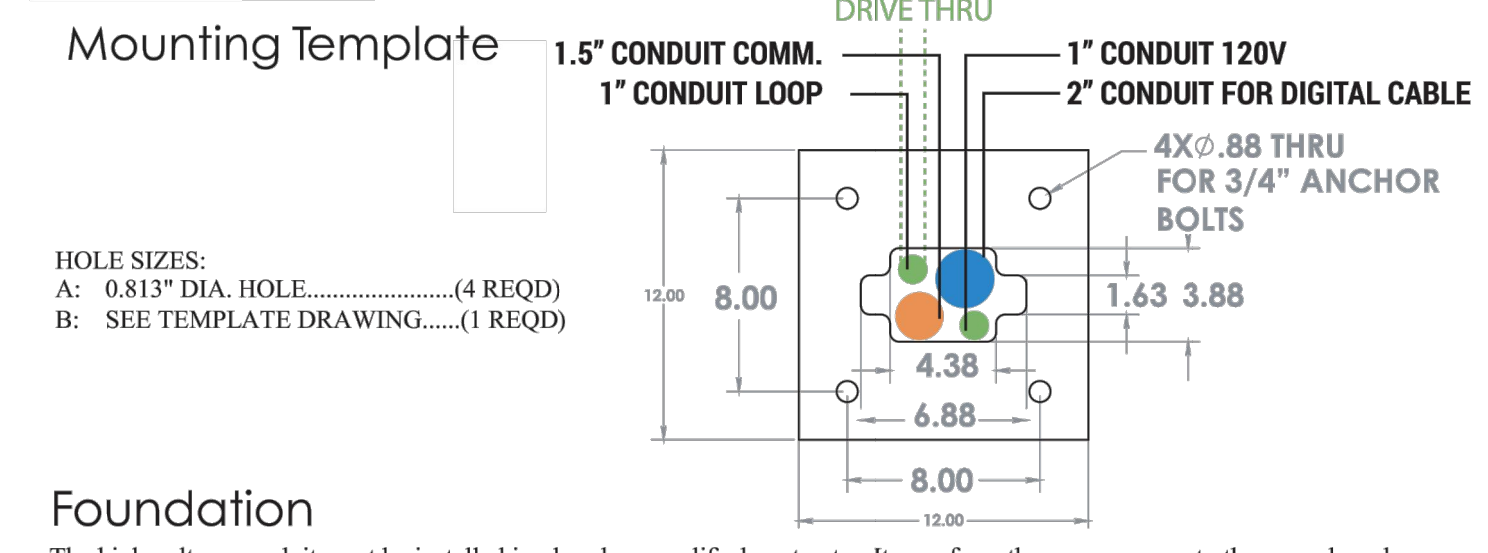
**DRIVE THRU CONDUIT SCHEMATIC**



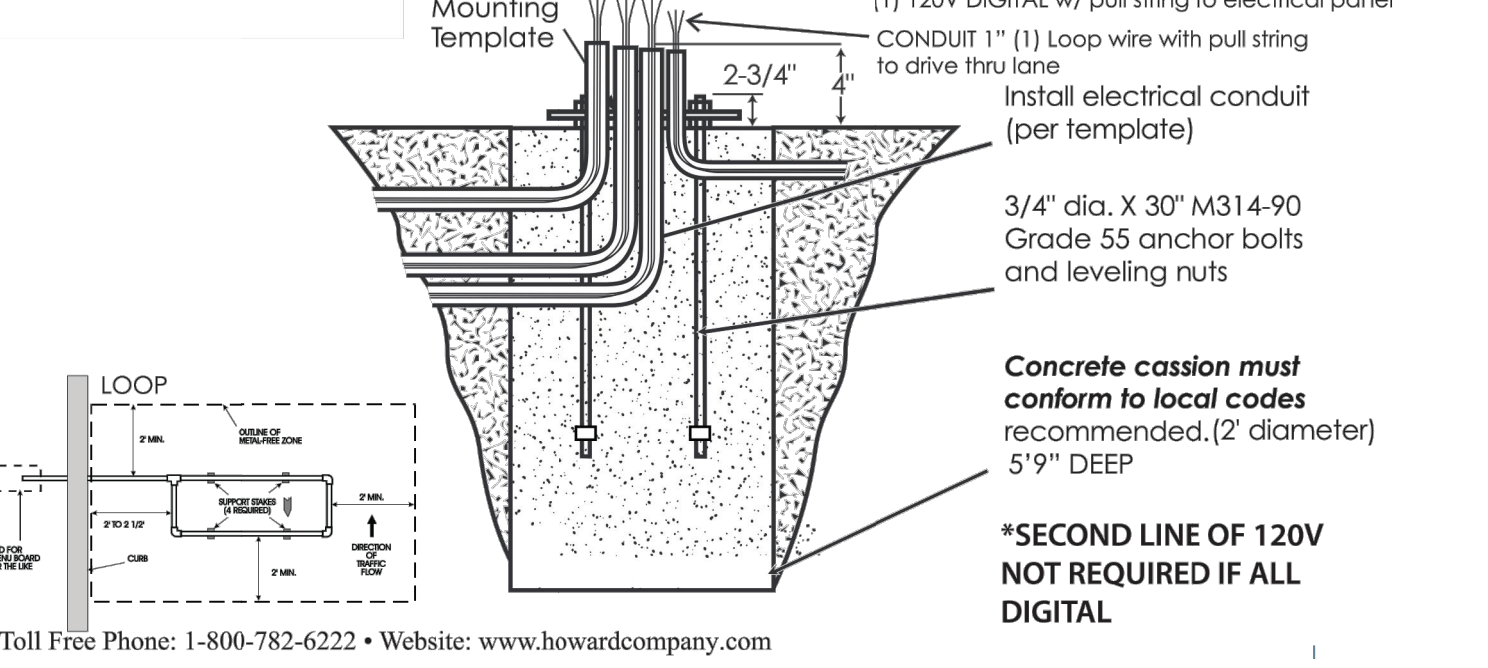
**1 ELECTRICAL SITE PLAN**  
 SCALE: 1" = 10'-0"  
 NORTH

**DIGITAL DT FLEX FOUNDATION INSTRUCTIONS**

**DIAGRAM CC Template & Foundation**



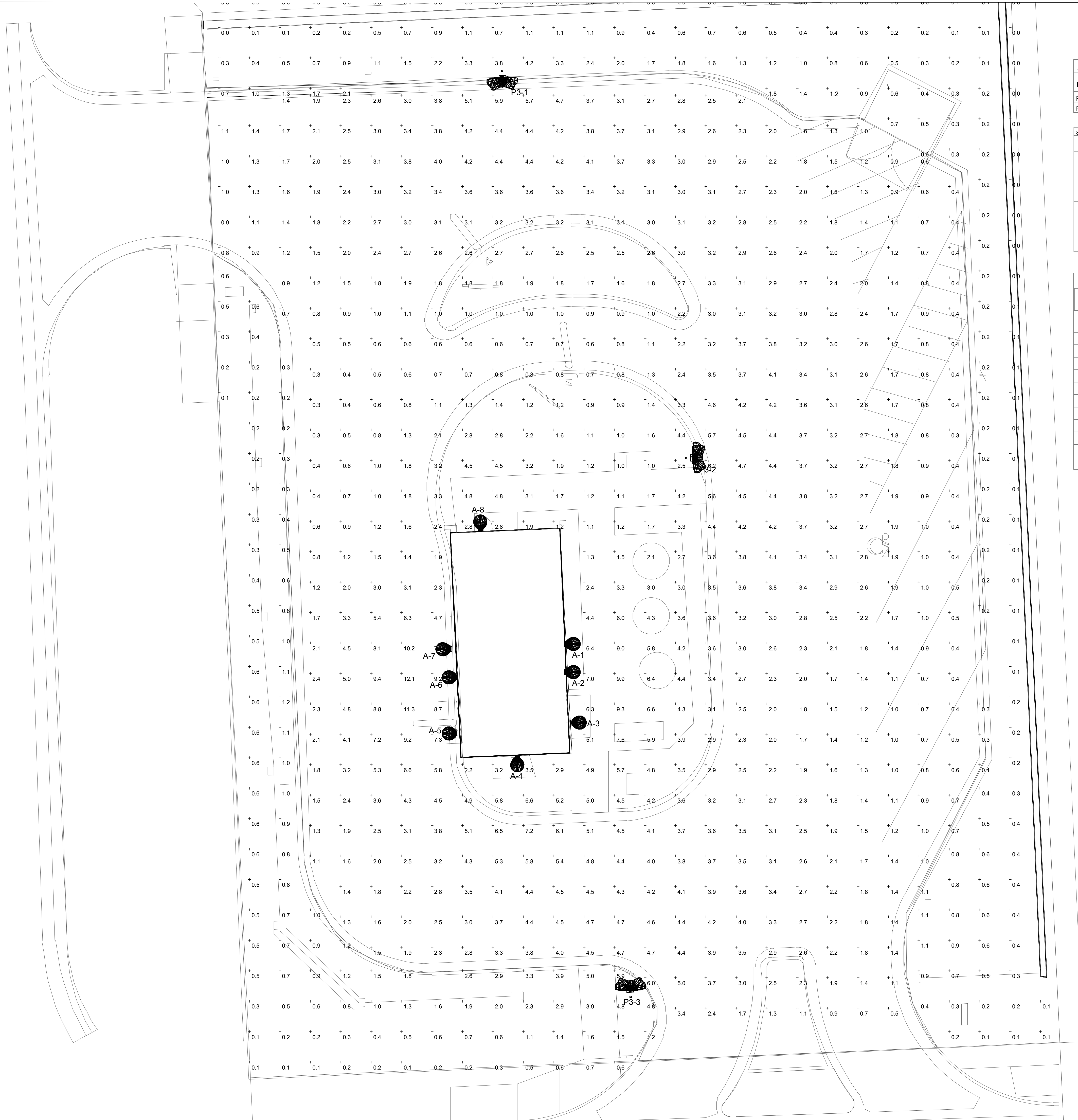
**DIAGRAM T**



**DIGITAL MENU BOARD SCHEMATIC**

Toll Free Phone: 1-800-782-6222 • Website: www.howardcompany.com

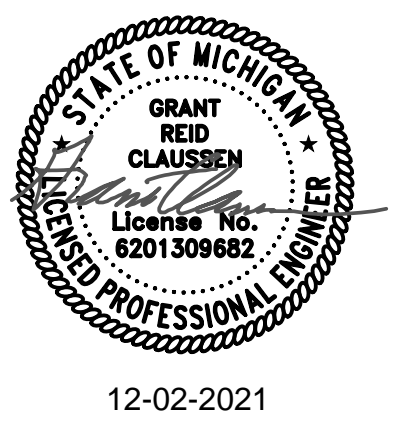
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Statistics					
Description	Symbol	Avg	Max	Min	Avg/Min
Paving Area	+	2.7 fc	12.1 fc	0.3 fc	40.3:1
Perimeter - N & E Boundary	+	0.6 fc	5.9 fc	0.0 fc	N/A

Schedule							
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Wattage
□	P3	3	Lithonia Lighting	DSXO LED P6 30K T3M MVOLT HS	DSXO LED P6 30K T3M MVOLT with houseshield	1	11665
□	A	8	Lithonia Lighting	ARC2 LED P2 55K	ARC2 LED WITH P2 - PERFORMANCE PACKAGE, 5000K	1	2363

Luminaire Locations										
No.	Label	Location					Aim			
		X	Y	Z	MH	Orientation	Tilt	X	Y	Z
1	A	1113598.00	26173.14	12.00	12'	90.00	0.00	1113598.00	26173.14	0.00
2	A	1113598.00	26168.52	12.00	12'	90.00	0.00	1113598.00	26168.52	0.00
3	A	1113599.00	26160.23	12.00	12'	90.00	0.00	1113599.00	26160.23	0.00
4	A	1113590.00	26154.48	12.00	12'	180.00	0.00	1113590.00	26154.48	0.00
5	A	1113580.00	26158.44	12.00	12'	270.00	0.00	1113580.00	26158.44	0.00
6	A	1113580.00	26167.66	12.00	12'	270.00	0.00	1113580.00	26167.66	0.00
7	A	1113579.00	26172.28	12.00	12'	270.00	0.00	1113579.00	26172.28	0.00
8	A	1113584.00	26192.00	12.00	12'	356.24	0.00	1113584.00	26192.00	0.00
1	P3	1113609.00	26115.17	19.00	19'	358.00	0.00	1113609.00	26116.25	0.00
2	P3	1113588.00	26267.30	19.00	19'	176.75	0.00	1113588.00	26266.22	0.00
3	P3	1113618.00	26203.70	19.00	19'	87.86	0.00	1113619.00	26203.74	0.00



PROJECT ADDRESS:  
 1490 WEST ANN  
 ARBOR ROAD  
 PLYMOUTH, MI 48170

REVISIONS:  
 1 11/19/2021 SITE REVISION  
 2 12/01/2021 SITE PLAN REVISION

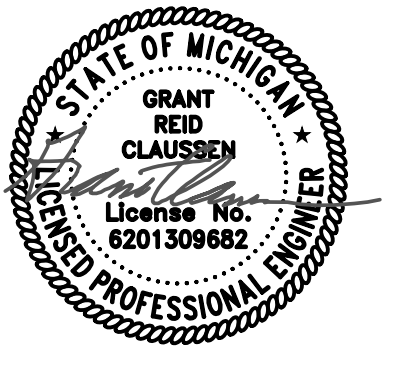
TITLE:  
**EXTERIOR  
 PHOTOMETRIC  
 SITE PLAN**

DATE:  
 09/16/2021  
 PROJECT NO.  
 210536

- DESIGN DEVELOPMENT
- PERMIT SUBMITTAL
- BID PACKAGE
- CONSTRUCTION ISSUE

SHEET NO.  
**E0.02**





12-02-2021

**GO ENGINEERS**  
 Engineering Firm: F-21834  
 GH Engineers, LLC  
 14901 Quorum Dr, Ste 300  
 Dallas, Texas 75254  
 Office: 972-239-8884  
 gclausen@goengineers.com  
 Project # G21-0959.001



PROJECT ADDRESS:  
 1490 WEST ANN  
 ARBOR ROAD  
 PLYMOUTH, MI 48170

REVISIONS:  
 1. 11/10/2021 SITE REVISION  
 2. 12/01/2021 SITE PLAN REVISION

TITLE:  
**LIGHTING FLOOR PLAN & SCHEDULE**

DATE:  
 09/16/2021  
 PROJECT NO.  
 210536

- DESIGN DEVELOPMENT
- PERMIT SUBMITTAL
- BID PACKAGE
- CONSTRUCTION ISSUE

SHEET NO.

**E2.01**

CALLOUT	SYMBOL	LAMP	MANUFACTURE MODEL NUMBER	DESCRIPTION	BALLAST	MOUNTING	WATTAGE VOLTAGE
A		(1) 11.8W LED	BEST LIGHTING LED WPCA 12W-3K	EXTERIOR WALL SCONCE	ELECTRONIC	WALL	120 1P 2W
B		29W FT LED	NOVA FLEX NF/SP-PROW-120-24V-3000K	PRO 120 SERIES - IP68 LED STRIP LIGHT. VERIFY LENGTH AND HARDWARE CONNECTIONS PRIOR TO ORDERING. TO BE PLACED ON DIMMER SWITCH	LED	SURFACE	120 1P 2W
EM1		(2) 3.3W INCLUDED	BEST LIGHTING RMR-16-LED	MR-16 SEMI-RECESSED THERMOPLASTIC EMERGENCY UNIT.	N/A	WALL	120 1P 2W
EM2		(2) 6W LED	BEST LIGHTING DBEL-ACEM-HL-B-SDI-CW-PC	LED DECORATIVE OUTDOOR DIE-CAST AC/EMERGENCY UNIT.	N/A	WALL	120 1P 2W
T1		(1) 40W LED	AEL C2435MM	LED 2X4 PANEL LIGHTING, DIMMABLE.	ELECTRONIC	RECESSED	120 1P 2W
X1		(2) 1W INCLUDED	BEST LIGHTING LEDCXTEU-2-R-W	LED EXIT SIGN/ EMERGENCY UNIT COMBO.	N/A	CEILING	120 1P 2W
FL		(1) 35W LED	KITCHLER NSP 10 TO 15 - 16209	GROUND MOUNT LED FLAG POLE LIGHT FIXTURE	LED	STANCHION GROUND	120 1P 2W
P3		(1) 137W LED	LITHONIA LIGHTING DSOX LED P6 30K T3M MVOLT	LED POLE LIGHT FIXTURES. W/ HOUSESIDE SHIELD	ELECTRONIC	26" SQUARE AL POLE BASE DETAIL ON STRUCTURE SHEET	120 1P 2W

- NOTES:
- ALL FIXTURE FINISHES AND OPTIONS MUST BE APPROVED BY OWNER OR ARCHITECT.
  - ADDITIONAL LIGHT SWITCHES MAY BE INSTALLED IF APPROVED BY OWNER OR ARCHITECT.
  - ALL EMERGENCY LIGHTING SHALL BE POWERED WITH CIRCUIT "XXX".
  - LIGHTING SUPPLIER AND CONTRACTOR ENSURE ALL LIGHTING CONTROLS INCLUDING EXPOSED TO PLENUM EXPOSED TO PLENUM IS PLENUM RATED.
  - CONTRACTOR TO COORDINATE ALL LIGHTING/DIMMING CONTROLS AND LIGHTING SPECIFICATIONS WITH CONTROLS VENDOR PRIOR TO ORDERING TO ENSURE CORRECT COMPONENTS.
  - GENERAL CONTRACTOR TO CONTACT NATIONAL LIGHTING SUPPLIER @ SCOOTER@FSGI.COM

CALLOUT	SYMBOL	MANUFACTURE MODEL NUMBER	UNOBSTRUCTED RATED COVERAGE	MOUNTING	WATTAGE VOLTAGE	TIME DELAY	DESCRIPTION
OCCUPANCY SENSOR SWITCH		nLIGHT WSX-FDT	--	CEILING	--	--	LINE VOLTAGE SWITCH DUAL TECHNOLOGY SENSOR
DIMMER SWITCH		ACUITY CONTROLS sPODMRD	--	WALL	LINE	--	LINE VOLTAGE PUSH BUTTON SWITCH POD ON/OFF
TOGGLE SWITCH		HUBBEL #1221	--	WALL	LOW	--	

NOTES:

- SENSOR REQUIRES POWER PACK (INSTALL IN ACCESSIBLE LOCATION)
- SWIVEL MOUNTING BRACKET INCLUDED
- ELECTRICAL CONTRACTOR SHALL COORDINATE COMPATIBILITY OF LIGHT FIXTURES AND LIGHTING CONTROL DEVICES/ SYSTEM WITH CONTROL SYSTEM SUPPLIER PRIOR TO ORDERING/ ROUGH-IN
- VERIFY POWER REQUIREMENT FOR CEILING SENSOR. IF IT REQUIRES CONTINUOUS HOT, PULL UNDIMMED WIRE FROM AHEAD OF DIMMER SWITCH TO CEILING SENSOR FOR SENSOR OPERATING, AND RUN DIMMED LINE THROUGH SENSOR FOR ON/OFF CONTROL. CONFIRM WITH VENDOR PRIOR TO ORDERING SENSOR TO ENSURE COMPATIBILITY.

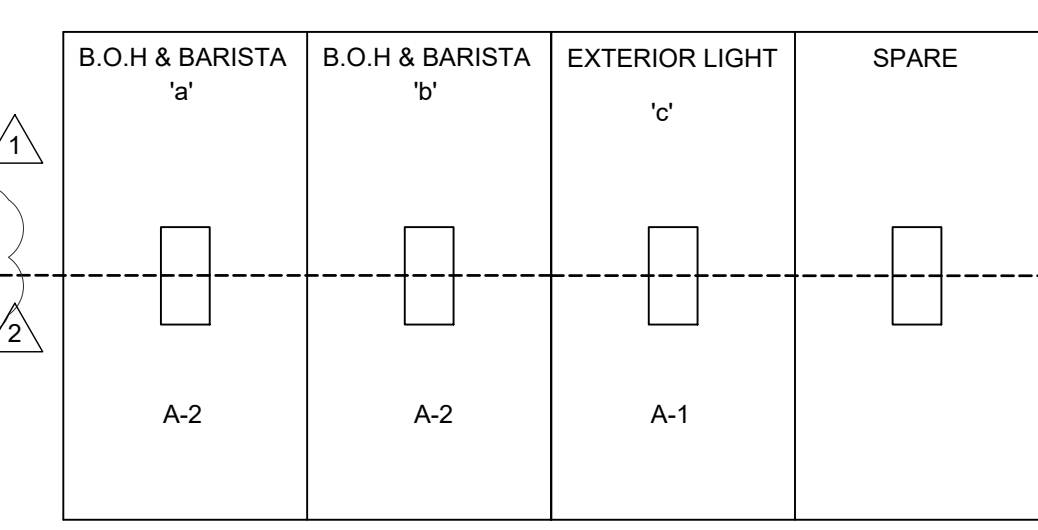
- LIGHTING GENERAL NOTES**
- ELECTRICAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BASE BID. IN CASE OF ANY DISCREPANCIES WITH EXISTING FIELD CONDITIONS, ELECTRICAL CONTRACTOR SHALL VERIFY THE EXACT DIFFERENCE FOR POSSIBLE REVISIONS TO THIS DOCUMENT.
  - INSTALL RECESSED LUMINAIRES USING ACCESSORIES AND FIRE STOPPING MATERIALS TO MEET REGULATORY REQUIREMENTS FOR FIRE RATING.
  - ALL FLUORESCENT LIGHT FIXTURES THAT UTILIZE DOUBLE ENDED LAMPS AND CONTAIN BALLAST(S) THAT CAN BE SERVICED IN PLACE SHALL BE CODE COMPLIANT WITH N.E.C. 410.130(G)
  - COORDINATE ALL EXTERIOR BUILDING MOUNTED LIGHT FIXTURES WITH ARCHITECTURAL BUILDING ELEVATIONS FOR HEIGHTS AND LOCATIONS.
  - PROVIDE EXIT SIGNS FOR ALL EXISTS DESIGNATED BY THE CODE STUDY PLAN. REFER TO ARCHITECTURAL CODE PLANS FOR LOCATIONS AND REQUIREMENTS.
  - CONDUIT AND WIRING SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO PROVIDE THE NUMBER OF CONDUCTOR REQUIRED FOR HOT-LEGS, NEUTRAL AND GROUNDING AT EACH DEVICE FOR PROPER BRANCH CIRCUITING SHOWN FOR EACH AREA OR ROOM.
  - ALL EMERGENCY/EXIT FIXTURES AND ARE TO BE PROVIDED WITH MINIMUM 90 MIN EMERGENCY BATTERY BACK-UP. BYPASS ENERGY MANAGEMENT SYSTEM WHERE REQUIRED.
  - WHEN REQUIRED, IT IS THE OWNER'S RESPONSIBILITY TO CONTRACT WITH A COMMISSIONING AUTHORITY TO COMPLY WITH LOCAL CODES.
  - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DISCIPLINES DRAWINGS. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECTS AND ENGINEERS PRIOR TO FINAL BID CLOSING.

**GENERAL NOTE**

PROVIDE STRUCTURE ENGINEERING LETTER OF APPROVAL FOR SEISMIC INSTALLATION SUPPORT PRIOR TO INSTALLATION AND AT COMMISSIONING STAGE. ALL EQUIPMENT SEISMIC SUPPORT AND INSTALLATION METHOD MUST BE SUBMITTED TO STRUCTURE ENGINEERING APPROVAL PRIOR TO INSTALLATION.

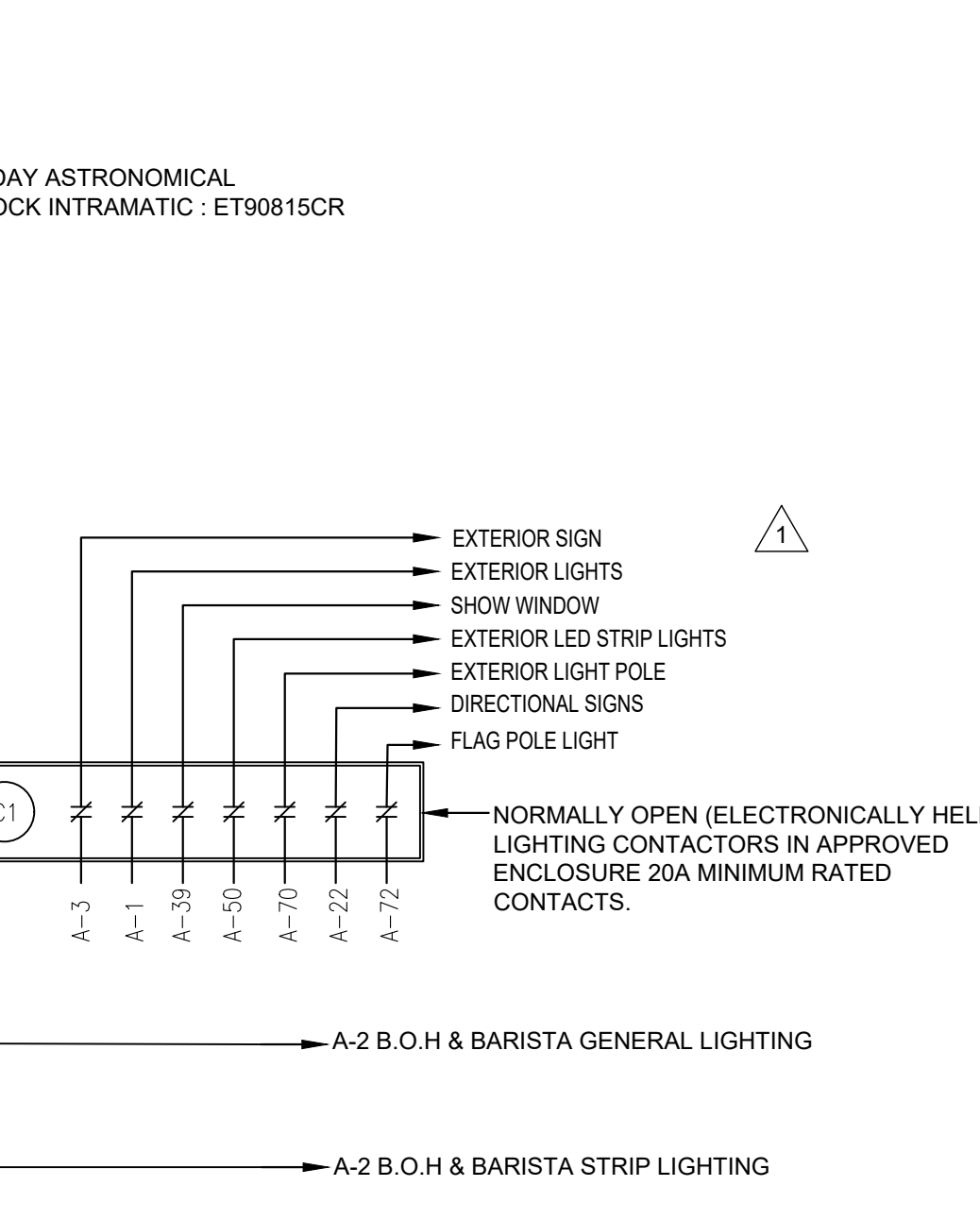
- IECC 2015**
- IECC 2015 APPLIANCE NOTES:**
- THE UNDER-COUNTER REFRIGERATION SHALL MEET THE STANDARDS FOR EFFICIENCY, PER IECC 2015, TABLE C403.2.14. NOTE THAT THE ENERGY STAR REFRIGERATORS AND FREEZERS ARE 10% MORE EFFICIENT THAN MINIMUM FEDERAL EFFICIENCY STANDARDS FOR SUCH PRODUCTS. THEREBY THEY SHOULD MEET THIS REQUIREMENT.
- IECC 2015 ELECTRICAL NOTES:**
- DAYLIGHTING REQUIRED FOR ROOMS WITH EXTERNAL WINDOWS AND 150 WATTS OR MORE OF INSTALLED LIGHTING. DAYLIGHT ZONE SHALL REACH INTO SPACE AS FAR AS THE HEIGHT OF THE TOP OF THE WINDOW SILL.
  - ALL BUILDING LIGHTING NOT CONTROLLED BY AN OCCUPANCY SENSOR (AND NOT IN AN EQUIPMENT ROOM) SHALL BE CONTROLLED BY THE BUILDING LIGHTING TIMER, AND IT SHALL BE SET AND LABELED TO BE OFF DURING NON-OCCUPIED HOURS.
- IECC 2015 ELECTRICAL COMMISSIONING NOTES:**
- ELECTRICAL COMMISSIONING IS REQUIRED. COMMISSIONING SHALL BE PER IECC 2015 C408.3 (LIGHTING SYSTEMS).

- NOTES BY SYMBOL**
- PROVIDE DIMMING SWITCH ON WALL FOR EXTERIOR LED STRIP LIGHTING. COORDINATE EXACT LOCATION WITH OWNER/ ARCHITECT PRIOR TO INSTALLATION.
  - EMERGENCY EGRESS LIGHT SHALL BE CIRCUITED TO UNSWITCHED LEG OF LOCAL LIGHT CIRCUIT.
  - PROVIDE LIGHT SWITCH ON WALL FOR EXTERIOR WALL/ SITE FIXTURE. COORDINATE EXACT LOCATION WITH OWNER/ ARCHITECT PRIOR TO INSTALLATION
  - PROVIDE SWITCH ON WALL FOR ILLUMINATED MONUMENT SIGN AND BUILDING SIGNS COORDINATE EXACT LOCATION WITH OWNER/ ARCHITECT PRIOR TO INSTALLATION.
  - PROVIDE SWITCH ON WALL FOR ILLUMINATED MENU BOARD/ SPEAKER. COORDINATE EXACT LOCATION WITH OWNER/ ARCHITECT PRIOR TO INSTALLATION. VERIFY EXACT POWER REQUIREMENTS PRIOR TO ROUGH-IN.
  - EXIT LIGHT SHALL BE CIRCUITED TO UNSWITCHED LEG OF LOCAL LIGHT CIRCUIT. PROVIDE CHEVRONS AS NEEDED.

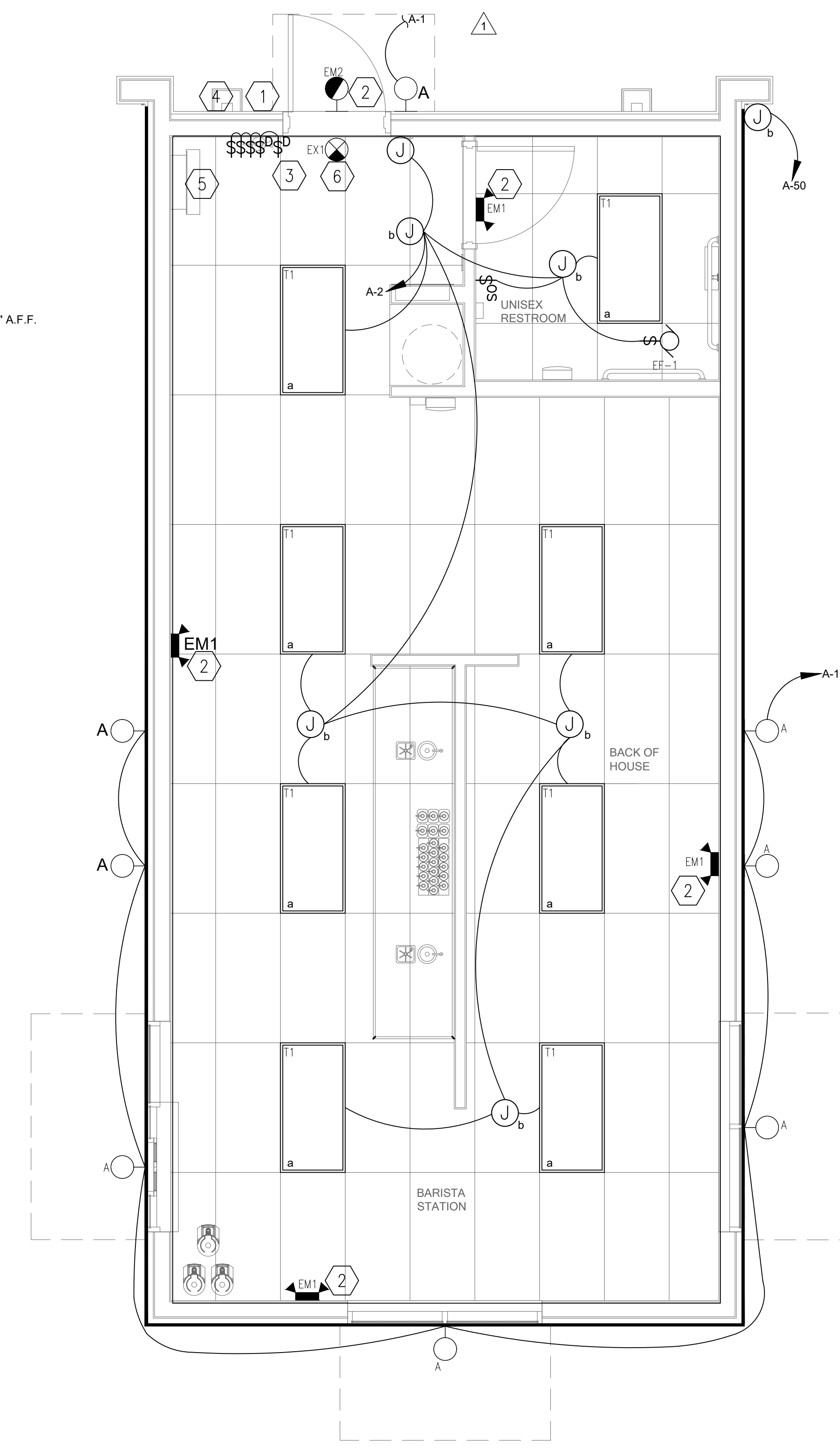


**3 SWITCHBANK DETAIL**  
 SCALE: NOT TO SCALE

- TIMECLOCK SEQUENCE OF OPERATION**
- EXTERIOR SIGN SHALL TURN ON AT 4:30AM.
  - TOILET EXHAUST SHALL ENERGIZE AT 5AM.
  - EXTERIOR SIGN SHALL TURN OFF 30- MINUTES AFTER SUNRISE.
  - EXTERIOR SIGNAGE SHALL TURN ON 30-MINUTES BEFORE SUNSET.
  - TOILET EXHAUST SHALL SHUT OFF AT 10PM.
  - EXTERIOR SIGNAGE SHALL TURN OFF AT 10:30PM.
- ALL TIMES ARE ADJUSTABLE.

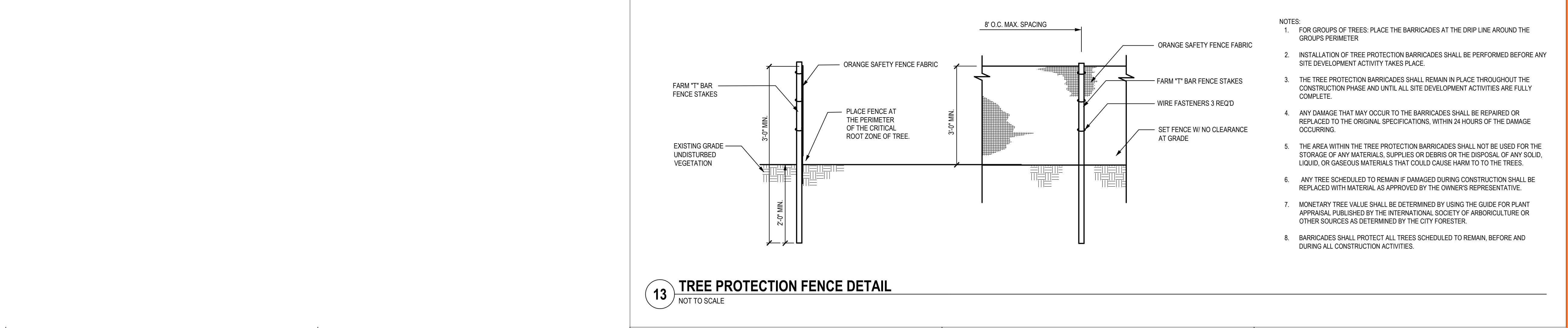
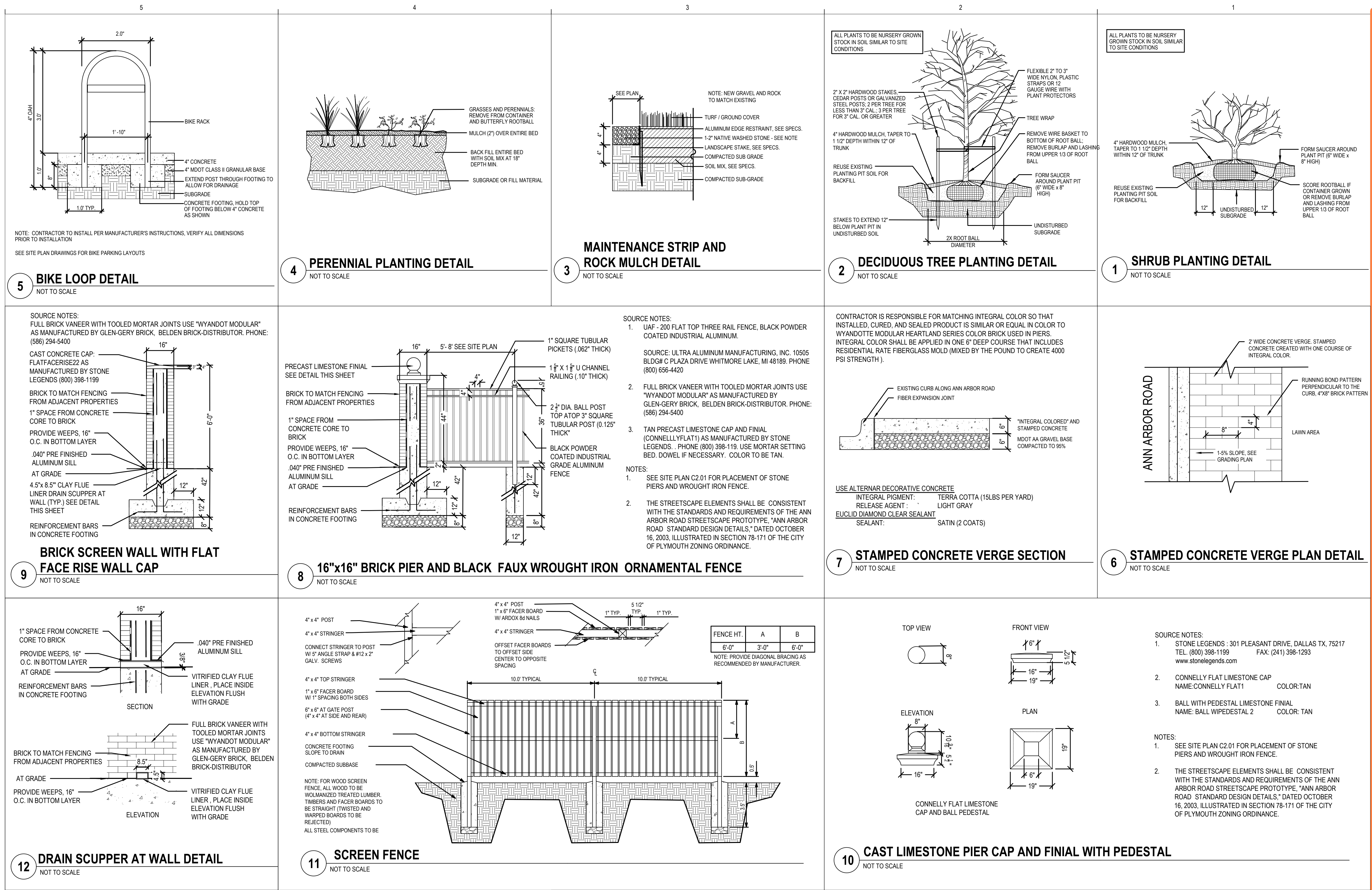


**2 TIME CLOCK DIAGRAM**  
 SCALE: NOT TO SCALE



**1 LIGHTING FLOOR PLAN**  
 SCALE: 3/8" = 1'-0"

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**SCOOTER'S COFFEE**

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1490 WEST ANN ARBOR RD., PLYMOUTH, MI 48170

**ISSUANCE**  
MDOT REVIEW  
12/01/2021

**REVISIONS**  
NO. DATE DESCRIPTION

FILE NUMBER 91880004  
PROJECT MANAGER JPM  
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