



City of Plymouth Planning Commission

Regular Meeting Agenda

Wednesday, March 11, 2020 – 7:00p.m.
City Hall Commission Chambers

City of Plymouth
201 S. Main
Plymouth, Michigan 48170

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

1. **CALL TO ORDER**
 - a. Pledge of Allegiance
 - b. Roll Call
2. **CITIZENS COMMENTS**
3. **APPROVAL OF THE MINUTES**
 - a. Approval of the February 12, 2020 Regular Meeting Minutes
4. **APPROVAL OF THE AGENDA**
5. **COMMISSION COMMENTS**
6. **OLD BUSINESS**
 - a. PUD 19-01: 587 W Ann Arbor Trail, 686 & 674 Maple Final PUD Review – Discussion Only
7. **NEW BUSINESS**
 - a. PUD 15-01: 550 N. Holbrook, Starkweather School, (PUD Amendment Review)
8. **REPORTS AND CORRESPONDENCE**
9. **ADJOURNMENT**

Citizen Comments - This section of the agenda allows up to 3 minutes to present information or raise issues regarding items not on the agenda. Upon arising to address the Commission, speakers should first identify themselves by clearly stating their name and address. Comments must be limited to the subject of the item.

Persons with disabilities needing assistance with this should contact the City Clerk's office at 734-453-1234 Monday through Friday from 8:00 a.m. -4:30 p.m., at least 24 hours prior to the meeting. An attempt will be made to make reasonable accommodations.

City of Plymouth Strategic Plan 2017-2022

GOAL I - QUALITY OF LIFE

OBJECTIVES

1. Support the neighborhoods with high-quality customer service
2. Engage in collaboration with private entities and surrounding municipalities to implement the [Joint Recreation Master Plan](#)
3. Improve communication with the public across multiple platforms
4. Maintain a high level of cleanliness throughout the City
5. Support and host a diverse variety of events that foster community and placemaking

ONE YEAR TASKS 2020-21

- Liquor/marijuana license review
- Rooftop seating review
- Adopt Downtown Development Authority (DDA) Master Plan and identify funding sources for implementation
- Begin implementation of Kellogg Park Master Plan with fountain replacement
- Establish format & requirements for public parks sponsorship
- Resident education programs on zoning basics, ordinance change and update, services, and recycling
- City webpage - create city-wide F.A.Q. "Index" page and push out link
- Increase social media presence – 1k new followers/subscribers/etc.
- Review and evaluate City truck routes
- Complete update to Special Events Policy

GOAL II - FINANCIAL STABILITY

OBJECTIVES

1. Approve balanced budgets that maintain fiscal responsibility
2. Advocate for increased revenue sharing with the State of Michigan
3. Encourage and engage in partnerships, both public and private, to share costs of services and equipment
4. Address the issue of legacy costs
5. Seek out and implement efficient and effective inter-departmental collaboration
6. Market our successes to attract new economic and investment opportunities

ONE YEAR TASKS 2020-21

- Actively promote and participate in the 2020 census
- Explore internal and external supplemental funding of legacy costs
- Target revenue enhancements for large-scale capital projects, including grants and millage
- Assist the Michigan Municipal League (MML) in facilitating and increasing support for state revenue sharing initiatives
- Redesign Capital Improvement Plan and evaluate future funding process for Equipment Fund
- Create a rate card for payment in lieu of paid parking
- Develop financial plan for public safety model
- Identify cost estimates, timeframe and potential funding sources for central parking deck
- Complete road bond sale – phase one

GOAL III - ECONOMIC VITALITY

OBJECTIVES

1. Continue to support and improve active, vibrant downtown branding
2. Support community and economic development projects and initiatives
3. Support a mix of industrial, commercial and residential development
4. Reference the [Master Plan](#) in economic decision-making

ONE YEAR TASKS 2020-21

- Continued administration of development projects and proposals including Wilcox Mill, Saxton's, Pulte, Starkweather School, Lumber Mart, and various residential builds
- Branding – consistency across all communications (email, letterhead, agenda)
- Provide annual process and risk-management training to all boards and commissions
- Continue implementing Redevelopment Ready Community (RRC) plan to achieve certification
- Develop list of transitional properties and utilize Michigan Economic Development Corporation (MEDC), Wayne County, others to market
- Explore marketing partnerships (schools, Chamber, hotels, available publications etc.)

GOAL IV - SERVICE AND INFRASTRUCTURE

OBJECTIVES

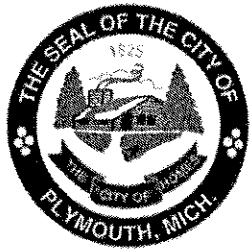
1. Support administration and staff by providing professional development opportunities, supplying resources, and maintaining a commitment to recruitment, retention and succession planning
2. Support and deliver safe and responsive emergency services
3. Maintain a sophisticated and responsive technology to communicate and manage data
4. Continually record, maintain, update, and improve City infrastructure

ONE YEAR TASKS 2020-21

- Administration to make parking recommendation to City Commission by end of first quarter
- Implement updates to parking system according to direction given by City Commission
- Actively engage employees for further career development for succession planning with special focus on the depth of Cultural Center staffing
- Continue Asset Management Plan
- Review Insurance Services Office (ISO) Report and International City/County Management Association (ICMA) Study & begin meeting to discuss viable options for the future delivery of emergency services
- Approve third version of agreement on sanitary sewer with Western Township Utilities Authority (WTUA) based on delay by Wayne County
- Develop multi-modal transportation policy to City Commission
- Implement 2020 street repairs
- Restore Commercial Motor Vehicle (CMV) enforcement
- Continue geographic information system (GIS) mapping of the City
- Define process/educate citizenry/pursue adoption/Implement form-based codes

2019 Planning Commission Goals
Adopted May 8, 2019

1. Develop a Master Plan Overview Presentation and present to all City Boards and Commissions to gain alignment and commitment towards utilization during and prior to their respective decision making. This goal will be led by Comm. Saraswat and assisted by Comm. Hawthorne, Comm. Kehoe, and Chair Sisolak.
2. To create the new zoning districts that are necessary in order to bring the zoning map in line with the master plan and to update the permitted uses matrix. This goal will be led by Comm. Kehoe and assisted by Comm. Joy and Comm. Offerman.
3. Collaborate with the City Commission and other City boards to create a comprehensive non-motorized plan and implement tactical steps as opportunities are identified. This goal will be led by Comm. Myslinski.
4. Research the use of form-based codes and overlay districts in the appropriate areas identifying appropriate incremental changes for a pilot implementation of form-based coding principles. This goal will be led by Comm. Silvers along with Comm. Adams and Chair Sisolak.



City of Plymouth

Planning Commission Meeting Minutes

Wednesday, February 12, 2020 – 6:30 P.M.
City Hall Commission Chambers

City of Plymouth
201 S. Main
Plymouth, Michigan 48170

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

1. ROLL CALL

Chair Sisolak called the meeting to order at 6:31 P.M.
The Board said the Pledge of Allegiance.

PRESENT: Chuck Myslinski (arrived at 6:34), Scott Silvers, Joe Hawthorne (arrived at 6:45), Tim Joy, Jennifer Kehoe, Shannon Adams, Adam Offerman, Hollie Saraswat, and Karen Sisolak.

ABSENT: None

Also present was Greta Bolhuis, Asst. Community Development Director, Sally Elmiger, Planning Consultant; and Nick Moroz, City Commission Liaison.

2. CITIZEN COMMENTS

None.

3. APPROVAL OF MINUTES

a) Comm. Joy, supported by Comm. Offerman, made a motion to approve the regular meeting minutes from January 8, 2020.

MOTION APPROVED 7-0

4. APPROVAL OF AGENDA

Comm. Offerman, supported by Comm. Joy, made a motion to approve the agenda, as presented.

MOTION APPROVED 7-0

5. COMMISSIONER COMMENTS

Comm. Myslinski attended the Historic District meeting where the Chair thanked the Board for applying the Standards uniformly. He believed the Planning Commission could use that Board's work as an example.

6. OLD BUSINESS

a) PUD 19-01: 587 W. Ann Arbor Trail Zoned B-2, 686 Maple & 674 Maple Zoned O-1 (Final Site Plan Review) Sally Elmiger, Planning Consultant, presented her review. She explained the deviations the applicant is requesting which includes density (additional unit), side yard setback, 1,800 square feet of open space, and the clear vision area (corner clearance). She identified issues with the ramp design and the City Engineer's questions to be answered. She discussed the expanded front porches, lighting information, and screen wall. She recommends seven conditions to be placed on the PUD.

Mark Abanatha, architect, explained the third-floor terrace which was changed from a dormer. He explained the enlarged porches with hip, shed, and gable roofs.

Mike Polmear, engineer, explained the access ramp. He explained the enlarged turn around to the north and east and the creation of the safety zone. He explained the grading of the ramp and that 12% is the maximum grade for safe operation. He explained the ramp gate would be operated by remote control and would be three to four feet short to allow pedestrian access along the side. He explained that a metal, non-slip grated staircase is proposed in the back corner up to Deer Street to provide pedestrian access. Mr. Polmear explained the screen wall with eight eight-foot arborvitae. Ms. Elmiger clarified that the ordinance asks for a full screen of

the property and there's a break in the proposed screening. Mr. Polmear replied that they could add more arborvitae to ensure the full screen wall. He explained routing storm water onto Maple Street. He explained that the current home on the corner (686 Maple) comes to the same location as proposed with the townhomes related to corner clearance (clear vision zone).

Citizen Comments

Bill Lincoln, 606 Maple, spoke in favor of the project and appreciated the catch on the screen wall.

Rose Roose, 619 Maple, spoke in favor of the development.

Board Discussion

Comm. Joy felt that self-management was the ideal approach to the ramp and vehicular access, rather than more pavement.

Comm. Hawthorne had no issues with the plan as presented.

Comm. Kehoe echoed Comm. Myslinski's comments in Commissioner Comments. She discussed issues and possible conditions as performance guarantees, requiring a CofO for Jewell Blaisch before a CofO can be issued for the townhomes, being able to sell the property to fund restoration efforts, review and approve the easement agreement, structural engineering report, and primary parking for Jewell Blaisch is provided on City lot (sheet C-5).

Ms. Elmiger clarified that 6 additional spaces are placed on-site, which meet the requirement of the ordinance but that the remainder of the required parking spaces are provide on the adjacent City lot.

Comm. Myslinski asked to review the easement agreements.

Comm. Kehoe struggled to see the design excellence. She wanted increased interface between homeowners and pedestrians and wanted homeowners to be a participant of the City, not a spectator. She expressed concern with the overall height and the reduced side yard setback and that impact on the neighbor's one-and-one-half story home. She was also concerned about snow removal.

Mike Ferantino, applicant, explained snow removal will be handled by plowing snow into the retaining wall and then using a bobcat to stage the snow behind the Jewell Blaisch Hall over the swale.

Comm. Kehoe identified that the proposed garages are less than 22-feet wide, which is not a 2-car garage.

Comm. Silvers expressed concern with snow removal and cars parked outside of the garage.

Comm. Kehoe clarified that by ordinance the allowed height is two stories, but that the future land use plan provides for up to four stories in appropriate areas.

Comm. Silvers was not concerned about the height because he viewed the area as edge/transition. He was unhappy that the front porch provided was barely a porch. He expressed issues with design excellence and issues with the landscaping plan and screening. He wanted the ramp's turning radius met with a 19' car. He recognized that there would be minimal traffic from 10 townhomes. He also wanted to see the easement agreement with the City.

Comm. Joy asked about planting arborvitae on the edge of the swale.

Comm. Myslinski explained this site was a transition between single family and downtown and the height was less of an issue than what that height feels like. He expressed concern with the third story height and design excellence because it felt exactly like what Pulte was building on S. Mill. He was concerned with how the height would affect the area. He explained that the ramp and below ground garages were a design choice that caused many issues. He would prefer detached garages or attached garages if they were built at-grade.

Comm. Saraswat agreed that design excellence was not met. She wanted bigger, usable porches to be provided. She was concerned about the reduced side yard setback and height, and how that would make the neighbor's property feel.

Comm. Adams asked if the ramp was conceptual or if the developer had built this before.

Comm. Silvers expressed concern over the location of the HVAC condenser under the rear stairs.

Chair Sisolak considered the project's "City gives" which included the easements, tree removal, and historic home demolition. She explained the Board's job was to protect the health, safety, and welfare. She expressed

concerns over the overall height which included the 10' ceiling on the second floor, the design choice to push the garages below grade, overall massing, pitch of the roof, trash and snow removal, and swale questions.

Comm. Kehoe supported the project in concept but wanted it to fit the site.

Comm. Hawthorne clarified that there were three primary issues that needed to be addressed which was the height, the ramp, and the porches.

Comm. Kehoe stated a detached garage would alleviate the massing issue.

Comm. Myslinski explained the property could accommodate attached or detached garages without the need for an easement.

Chair Sisolak explained that there was an additional 50' of concrete across the entire site, which could be used alternatively.

City Comm. Moroz clarified that the easement agreement was part of the purchase agreement that was approved by the City Commission.

Comm. Silvers requested a 9-foot wide front porch, a 3-foot pedestrian walk up the ramp, and the 7 conditions provided in Ms. Elmiger's review.

Comm. Kehoe wanted the structural engineer's report stating the Jewell Blaisch building could be restored as planned.

Chair Sisolak wanted to see additional open space and space for people to gather and for the floor height to be reduced by 1 foot.

A motion was made by Comm. Kehoe, seconded by Comm. Silvers, to postpone approval of the final PUD review of Jewell-Maple Development (587 W. Ann Arbor Trail, 686 Maple, and 674 Maple). The conditions of postponement include the seven items provided in Ms. Elmiger's review, 9-foot wide porches, a 3-foot pedestrian walk up the ramp, and the structural engineer's report stating the Jewell Blaisch building could be restored as proposed.

MOTION APPROVED 9-0

7. NEW BUSINESS

None.

8. PUBLIC HEARING

a) PUD 19-02. 230 Wilcox (Wilcox Mill), Preliminary PUD Review, Zoned R-1

Comm. Kehoe rescued herself due to a conflict of interest.

Greg Hofman, applicant, presented his case. He explained the history of the project and explained that the Art Foundation is the primary occupant.

Chair Sisolak Opened Public Hearing at 8:44PM

Citizen Comments

Ellen Elliott, 404 Irvin, spoke in favor of the project stating it was obviously PUD eligible because it removed blight and preserved a historic structure.

Peter Karr, 1034 York, spoke in favor of the project.

Beatrice Palmer, 291 Hardenberg, spoke in favor of the project and looked forward to a safer site.

Melanie Elliott, 404 Irvin, spoke in favor of the project because it adds character the City, restores a historic building, and has tremendous public benefit.

Public Hearing Closed at 8:49PM

Board Discussion

Comm. Myslinski expressed concerns with the project including parking, the use of the site and building, the proposed addition, how the deed restrictions get enforced, how the sculpture garden would be maintained, and what was defined as "art".

Comm. Adams explained that the Board is comfortable with the project.

A motion was made by Comm. Joy, seconded by Comm. Adams, to approve 230 Wilcox for preliminary PUD review. The finding of fact is that the project meets the criteria in the ordinance.

MOTION APPROVED 9-0

Comm. Kehoe rejoined the Board.

9. GOALS

a) 2020 Planning Commission Goals

Comm. Silvers suggested updating the Master Plan as a 2021 goal.

The Board discussed rezoning and education, the mixed-use future land use district, and agreed to finalize the wording next month.

10. REPORTS AND CORRESPONDENCE

a) 2019 Annual Report

The Board did not have any comments on the Annual Report.

b) Sharing lessons learned memo

The Board did not have any comments on the memo.

Comm. Kehoe explained that Mark Menuck of 550 N. Holbrook had offered to take the Board through the Starkweather School project to show them the progress.

11. ADJOURNMENT

Hearing no further business, a motion was made by Comm. Silvers, supported by Comm. Myslinski to adjourn the meeting at 9:29 PM.

MOTION APPROVED 9-0

CITY OF PLYMOUTH
201 S. MAIN
PLYMOUTH, MI 48170
www.ci.plymouth.mi.us

ADMINISTRATIVE INFORMATION- NO ACTION REQUIRED

To: Planning Commission
From: John Buzuvis, Community Development Director
CC: S:\Community Development\PLANNING COMMISSION\2020
Date: 3/6/2020
Re: Jewell Maple Development

BACKGROUND:

As part of the continued review of the PUD for the Jewell Maple the developer has requested a working session/discussion only meeting with the Planning Commission to discuss the final outstanding details in advance of seeking Final PUD approval again. This working session will allow the Planning Commission, City Planner, developer, and administration to discuss the project and the remaining details in a less formal manner to work through any outstanding issues.

The working session/discussion will take place as part of the regular meeting on March 11, 2020 and will be open to the public. The goal of this meeting is to discuss the few remaining issues as noted in the most recent meeting minutes (enclosed) and for all parties to leave with an understanding of the next steps and expectations.

The applicant has provided some additional background materials for your reference. The City Planner has not done a formal review on these materials but will be on-hand to answer questions or provide feedback/facilitation as necessary. In addition, the City Engineer will be in attendance to answer questions and provide feedback as necessary.

There will be no formal action on this item at the meeting. A copy of the most recent site-plan/plan set will be available for reference during the discussion.

Please feel free to contact me directly in advance of the meeting if you have any questions or need clarification.

March 5, 2020

Dear Planning Commission Members:

On February 12, 2020, the Jewell Maple Development (JMD) team appeared before you to seek final approval of its preliminary PUD site plan. The decision on final site plan approval was tabled. JMD has asked for the March 11, 2020 study session to work through open issues that the Planning Commission raised. JMD has now received the approvals that it needed from the Historic District Commission to begin work on the Jewell Blaich building. The work cannot be started without obtaining final site plan approval on the PUD. We believe that we have addressed the issues raised and look forward to discussing them at the study session.

Background

The Planning Commission found on October 9, 2019 that JMD was eligible for Planned Unit Development treatment. As you know, the PUD allows flexibility in zoning regulations “based on site planning criteria to achieve integration of the proposed land development project with the characteristics of the project area.” Michigan Zoning Enabling Act, MCL 125.3101, et seq (“MZEA”) (MCL 125.3503.) In other words, the purpose of PUD zoning is to conform development regulations to the characteristics of a site rather than force the site to conform to predetermined regulations. This is allowed under state law as long as the regulations otherwise are consistent with protecting public health, safety and welfare. Restricting a PUD to “one size fits all” regulation such as RM-1 or RM-2 ordinance requirements defeats the intent of PUD zoning.

The Planning Commission has been applying RM-1 and RM-2 regulations to the project and has considered allowing deviations from those regulations under Zoning Ordinance, Sec. 78-312 Residential Design Standards. Section 78-312 seems to apply to a purely Residential PUD which is being developed on property already zoned for residential purposes. The concern is not to allow greater density than already allowed by the underlying zoning category unless the design of the development meets the “design excellence” standard. This standard likely means providing amenities that the City otherwise could not or did not require under the underlying residential zoning classifications.

JMD’s project site contains only one parcel zoned for residential use. Most of the new residential development will be on property zoned for O-1 uses. The PUD also includes property zoned B-2 (Jewell Blaich site) .This is a mixed-use PUD. The central purpose is the reuse and rehabilitation of an important historic building. It seems that the more appropriate standard to allow deviations from the ordinance is found under Sec. 78-313 (b) General Design Standards.

Subsection (b) allows deviations from the zoning district regulations:

Notwithstanding subsection (a) of this section, deviations with respect to such regulation may be granted as part of the overall approval of the planned unit development, *provided there are features or elements demonstrated by the applicant and deemed adequate by the city commission upon the recommendation of the planning commission designed into the project plan for the purpose of achieving the objectives of this section.* (Emphasis added)

RECEIVED
MAR 06 2020
CITY OF PLYMOUTH
COMMUNITY DEVELOPMENT

One of the objectives of the PUD ordinance is to preserve historic property. The very small ordinance deviations that JMD needs will serve the objective of preserving historic property. Another objective of the PUD ordinance is to realize a recognizable and material benefit to the ultimate users of the project and the community when the benefit could not be realized without the application of PUD regulation. The JMD project also allows the development of a land use at the precise density and height called for in the Master Plan for this particular site. It is providing a type and design of desired housing in the targeted location. There is no existing ordinance that would allow the proposed development consistent with the Master Plan vision. The deviations from the existing zoning ordinances that JMD needs are really not deviations in the sense that they allow development entirely consistent with the future land use plan for the site.

FINAL SITE PLAN APPROVAL ISSUES

The Planning Commission conditioned preliminary plan approval on comments in the Carlisle Wortman October 2, 2019 review letter and comments/issues raised by the Planning Commission. The Planning Commission's concerns and CW comments that JMD will address in this letter include:

- (1) Access to the Townhomes through the City parking lot.
- (2) Useable open space. (1,800 s.f. vs. 4,500 s.f.)
- (3) Density (10 units proposed, vs. 9 units permitted in RM-2) – unless allowed via density bonus based on “design excellence.”
- (4) 2.5-foot side (east) setback deviation.
- (5) Building height.

The Developer will address the other open issues at the March 11, 2020 meeting.

When reviewing the final site plan, it is essential to consider the characteristics of the JMD project site. As stated, the purpose of a PUD is to allow flexibility in zoning regulations “based on site planning criteria to achieve integration of the proposed land development project with the characteristics of the project area.” The City’s plans for use of the public parking lot requires splitting off approximately 23’ x 173’ (3,979 sq. ft.) from the rear portions of the Maple Street lots that will contain most of the townhouse units. It is important to note that the 3,979 square feet also includes an area of approximately 1,196 square feet that JMD is transferring to the City. The transferred land will allow the City to have access to the parking lot property off of Deer Street over property that it will own, which it currently does have.

In order to *maximize* the footprint for the existing and future use of the City’s property, the developer needs to *minimize* the footprint of the townhouses. JMD has no problem with the City’s goals but the loss of the 3,979 square feet has created design constraints that require the regulatory flexibility of a PUD to effectuate the goals of this project. Most of the site issues that CW and the Commission have raised are based upon deviation from the rigid RM-1 or RM-2 zoning requirements. The need for the deviations exists because of the need to minimize the townhouse footprint while maximizing the area of the City’s parking lot. The need for the deviations is not self-created. The need exists based upon the nature of the project and the benefits that it will provide to the City, residents, neighbors and users of the project.

OPEN SPACE

In order to achieve the integration of the project elements it is necessary to relax the requirement for active open space. The townhouse site does not contain sufficient area to increase the open space. Moreover, JMD does not believe that increasing the active open space, which cannot be accomplished without losing a unit, would serve the ideals, goals or aesthetics of this project. The question is whether the City wants more open space or more land for its own use.

ACCESS EASEMENT

The need for an access easement is not because of the "scope of the townhomes" as it has been characterized but because the City's vision for its retained property requires splitting off the rear 3,979 square feet of the affected parcels and adding it to city owned property. It should also be emphasized that JMD is providing land to the City within the access easement area that gives the City access to the parking lot from Deer Street over land that the City will now own and control.

DENSITY

The division of the rear 3,979 square feet from the Maple parcels also affects the ability to meet the RM-2 density requirement. Those requirements would be met with the square footage that is being added to the City' property. The point again is that the Developer has not self-created the issue of meeting the RM-2 density requirement. The density also should not be an issue because the Master Plan envisions even greater density than JMD proposes for its site. Finally, CW has advised the Planning Commission that it could approve one more unit based upon the "design excellence" standard. They have suggested that enlarging the front porch meets the standard for granting additional density. The Developer has enlarged the porch as requested. The fact that JMD is providing the City with access to the parking lot which will benefit any future use of the lot should also be counted towards design excellence.

BUILDING HEIGHT

The JMD site and the immediate area adjacent to the site is surrounded by property zoned and planned for heights that equal or exceed 30 feet in height. The City has already decided based upon the existing zoning and future land use designations of the JMD site and adjacent properties that 2.5 stories or 30 feet tall buildings are appropriate at this location as a logical transitional height between the downtown and single-family neighborhood. Most of the townhouse property is zoned O-1. The height limit in the O-1 zone is 30 feet. The corner parcel on the south side of Maple and Deer is also zoned O-1 and therefore can be developed with a building that is 30 feet tall. The latter property is next to single family homes. The Future Land Use map designates JMD's Maple street lots and the entire block of Deer Street between Maple and Wing as medium density multifamily residential. The Plan therefore proposes buildings that contain 2.5 stories for the entire block which is adjacent to single family zoned parcels on Maple and Kellogg. Moreover, the west side of Deer street between vacated Maple and Wing Street is in the 3 story 40 feet height overlay district. The Saxton parking lot is in the 50 foot/ 4 story overlay zone. Based on these land use realities, there is no logical reason to impose a lower height on the townhouses when the property across the street is allowed a height of 30 feet by right, the underlying zoning of most of the JMD site also allows a 30 feet tall height by right and the Master Plan proposes 2.5 story buildings for the JMD site and along the entire block of Deer Street between Maple and Wing.

SIDE SETBACK

CW has cited a 2.5 feet side setback deficiency but has also found that it is not problematical from a public safety, health or welfare standpoint. Moreover, the east property line is tapered on an angle which creates a variable side setback width when averaged is very close to meeting the side setback requirement that the Planning Commission is imposing. JMD is also providing excellent screening that obviates any perceived issue with the setback width.

CONCLUSION

The JMD project in many respects began with the City's plans for its property and the rehabilitation of the Jewell-Blaich building. The JMD developer has presented a plan that meets those goals and addresses the concerns that the immediate neighbors had with earlier iterations of the City's redevelopment vision. If allowed to proceed as planned the JMD project will be a win-win land use solution for all interested parties. The Developer has produced an excellent design for the site that has great aesthetic appeal as well as maximizing the City's utilization of its own property. The townhomes represent a logical transitional use and building design between the single-family neighborhood and the downtown. This is a transitional use that the City desires as evidenced by its future land use map and Master Plan. The Developer has done the best that it could within the site constraints and is proud of its design and plan. The Developer hopes that you are too and grant final approval of the PUD and site plan.

Sincerely

Jewell Maple Development

RECEIVED

FEB 17 2020

CITY OF PLYMOUTH
APPLICATION FOR SITE PLAN REVIEW

Starkweather School
PUD 15-01 550 N. Holbrook
PUD Amendment Review
PC Mtg 3/11/20

CITY OF PLYMOUTH
COMMUNITY DEVELOPMENT

THE FOLLOWING INFORMATION IS TO BE COMPLETED BY THE BUILDING AND ENGINEERING DEPARTMENT AT THE TIME OF APPLICATION SUBMITTAL:

SITE PLAN NUMBER: _____

B. THE FOLLOWING IS TO BE COMPLETED BY APPLICANT PRIOR TO SUBMITTAL OF SITE PLAN (PLEASE PRINT OR TYPE).

ADDRESS OF PROPOSED DEVELOPMENT 550 N. Holbrook / Starkweather PUD

1. Developers Name CURTIS-PLYMOUTH LLC
Address 990 Pierce, Birmingham, MI 48009
Phone/Fax Number 248-730-0300 (c)
Email Address _____

(ALL CORRESPONDENCE FROM THE CITY WILL BE MAILED TO THIS ADDRESS)

2. Legal Property Owner CURTIS-PLYMOUTH LLC
Address 990 Pierce, Birmingham, MI 48009
Phone/Fax Number 248-730-0300
Email Address mark@curtisbuilding.com

3. Site Plan Designers Name Brad Brickel
Firm Name Nowak + Faus
Address 46777 Woodward Ave., Pontiac, MI 48342
Phone/Fax Number 248-332-7931
Registration No 54071
Email Address bbrickel@nfe-engr.com

Applicant MUST receive invoice from Comm. Dev. Dept. before payment

4. Description of Proposed Development. New Amendment ~~Addition~~ X

Amendment to Starkweather
School PUD to add parking,
add landscaping and to increase
Open Space

5. Address and General Location of Property.

550 N. Holbrook + 409 Plymouth Rd.

6. Legal Description of Property.

See Attached legal description

7. Provide the following data:

a. For churches, temples, stadium and sports arenas or indoor or similar outdoor place of assembly.

Seating capacity or length of proposed pews or benches.

_____ Seats

_____ Feet

b. For hospitals, sanitariums, homes for the aged, convalescent homes.

Number of beds.

_____ Beds

c. For fraternities or sororities.

Number of permitted active members _____

Members _____

d. For private clubs, lodges, theaters, auditoriums, multi-purpose rooms, pool halls, establishments for sale and consumption on premises of beverages, food or

refreshment, dance halls, and assembly halls without fixed seats.

Number of persons allowed within the maximum occupancy load as established by the fire marshal.

_____ People

e. For auto washes.

Number of employees and the number and length of wash lines.

_____ Employees

_____ Feet of lines

f. For beauty parlors, barbershops, bowling alleys, laundromats and coin operated dry cleaners, motels or hotels, motor vehicle sales and service establishments and banks.

_____ Number of chairs

_____ Number of lanes

_____ Number of washing (or dry-cleaning) and drying machines

_____ Number of auto service stalls in the service room

_____ Number of teller cages/windows

g. For gasoline/service stations.

Number of lubrication stalls, racks or pits and number of gasoline pump stands.

_____ Lubrication stalls

_____ Pump stands

h. For professional offices of doctors, dentists or similar professions.

Number of examining rooms, dental chairs or similar use areas.

_____ Chairs

- i. For industrial, furniture and appliance, household equipment, repair shops, showroom of a plumber, decorator, electrician or similar trade, shoe repair and other similar uses.

Maximum number of shift employees per shift.

_____ Employees

Prior to submittal of a site plan, the applicant shall review the following elements for inclusion, where applicable, on the proposed plan. All such required information shall be clearly noted on the site plan, and not on any attachment to the site plan, and shall be in sufficient detail to meet the intent and purpose of the review process.

The applicant shall make a check mark in the left hand column marked "Applicant" only and shall mark all applicable elements. If a particular item is not applicable to the site plan, the letters "n/a" should be written in the space. A check mark by the applicant for each of the applicable elements shall indicate that the applicant has checked that element against the site plan and that the information called for in that particular element is properly noted on the site plan.

If the applicant is satisfied that all such information required herein is properly noted on the site plan, the applicant shall sign and date the check list in the place provided and submit the signed application with the site plan to the Building and Engineering Department.

Element to be included on Site Plan	Checked by Applicant
1. Name of Development	<u>Starkweather School PUD</u> ✓
2. Name, address & phone number of:	
a. Developer	<u>CURTIS-PLYMOUTH LLC</u> ✓
b. Legal owner	<u>" "</u> ✓
c. Designer/firm	<u>Nowak + Fraus</u> ✓
d. Designer's registration number and seal (*)	<u>54071</u> ✓

(*) If the designer is a registered professional, the site plan shall include the designer's seal. For projects of less than \$15,000 and single family residential buildings of less than 3,500 square

feet, the designer need not be a registered professional, but should have sufficient experience and knowledge of site plan design to satisfactorily prepare a plan in accordance with the guidelines set forth herein. A seal of a registered professional is required on all Multiple Residential and all Non-Residential projects greater than \$15,000.

3. Scale of Drawing/Paper Size

a. Scale - Engineers scale on plan view appropriate to size of site to adequately detail the layout but in no case less than 1"=100'. Building elevations (exterior wall facade) drawings and floor plans may use architects scale of 1/8"=1' or a suitable scale of similar size.

b. Paper size – **not to exceed 24" x 36**

4. Date 12/12/19

**Element to be included on
Site Plan**

**Checked by
Applicant**

5. North Point (Refer to drawings)
6. Complete legal description of the entire site (i.e. Metes and Bounds) description if acreage parcel, lot number(s), and subdivision name. All legal descriptions shall include:
- a. Gross number of acres _____
 - b. Net usable acres _____
 - c. Section Number _____
7. Vicinity sketch or site location map which does not have to be drawn to scale.
8. The location of all existing and proposed in ground and above ground on site utility easements including their connection capability to off-site utility easements. The applicant shall provide a statement verifying that he has researched the availability of all public utilities involved in the site development and is satisfied that same is available and of adequate capacity to meet development needs (*).









(*). The applicant may want to retain the services of a professional engineer to conduct a utility feasibility survey for the site. When such studies are made, a copy shall be submitted as a part of this check list. The site plan should also include a dimensional survey

9. The provision of a water supply adequate to serve the development for both potable water and for fire emergency use shall be satisfactorily shown to exist or to be provided for.

The location of all existing fire hydrants within 300 feet of the development shall be shown on the site plan.

**Element to be included on
Site Plan**

**Checked by
Applicant**

<p>10. Grading plan and floor elevations. Drainage of the site shall be shown to adequately assure storm water run-off will not adversely effect off-site properties</p>	_____	_____ 
<p>11. Water retention or detention ponds are designed to provide a natural appearing pond with side slopes of no greater than 6 on 1 appropriately landscaped and without fencing</p>	_____	_____ 
<p>12. Location of woodlands, wetlands and waterways shall be shown on the site plan and on property immediately abutting the site under consideration at the adjacent property line</p>	_____	_____ 
<p>13. Existing zoning classification</p>	_____	_____ 
<p>14. Existing zoning classification of adjacent parcels</p>	_____	_____ 
<p>15. Existing land use on adjacent parcels</p>	_____	_____ 
<p>16. The location of all existing buildings and structures within 100' of the parcel</p>	_____	_____ 
<p>17. The location of all buildings and structures on site including photos of such structures if they are to remain (*).</p>	_____	_____ 

(*) Photographs are optional - they will be useful in the review process if provided.

**Element to be included on
Site Plan**

**Checked by
Applicant**

- | | | | |
|-----|---|-------|-----------------|
| 18. | All building structure heights.
(Existing & Proposed) | _____ | _____ N/A _____ |
| 19. | Location of all off-street parking spaces, including required handicapped spaces, vehicle maneuvering lanes, and service drives. | _____ | _____ ✓ _____ |
| 20. | Location of all loading/unloading facilities. | _____ | _____ ✓ _____ |
| 21. | Location of all driveways, drives and turning lanes. | _____ | _____ ✓ _____ |
| 22. | Location of all drives, driveways and intersections across abutting streets from parcel. | _____ | _____ ✓ _____ |
| 23. | Names, locations, existing and projected right-of-way widths as shown on City, County thoroughfare ROW plans, centerline, and pavement widths of all bordering roads, streets, and easements. | _____ | _____ ✓ _____ |
| 24. | Location of all sidewalks, footpaths and bikeways. | _____ | _____ |

**Element to be included on
Site Plan**

**Checked by
Applicant**

25.	Critical site dimensions:	_____	_____
	a. Along property lines.	_____	✓
	b. Between buildings.	_____	✓
	c. Between parking and buildings.	_____	✓
	d. Between parking and parcel lines.	_____	✓
	e. Between principal and accessory buildings.	_____	✓
	f. Parking space width and length (typical).	_____	✓
	g. Vehicle maneuvering lane/service drive widths.	_____	
	h. Curb radius (entrances).	_____	
	I. Between buildings and parcel lines.	_____	✓
	j. Between buildings and retention/detention ponds.	_____	✓
26.	Building layouts (typical floor plan) including:	_____	N/A
	a. Principal entrances and service entrances.	_____	
	b. The relationship between units within a building.	_____	N/A
	c. Exterior building wall facade drawings of all exposed walls.	_____	N/A
27.	The type and color of exterior building wall facade materials to be used.	_____	
28.	The location and extent of any outdoor storage areas noted on site plan. If no outdoor storage is proposed it shall be so noted on the site plan.	_____	
		_____	N/A

**Element to be included on
Site Plan**

**Checked by
Applicant**

29. The type, height and extent of screening for outdoor storage areas.

N/A

30. The type and height of screening for trash receptacles including the types of materials to be used in the screen and the color of the material, and the location of the receptacle and screen on the site.

N/A

31. The location, type and extent of any required screening devices. When architectural masonry walls are used a section drawing of the wall shall be provided detailing footings, the type of wall materials to be used, color and height. When landscaped earth berms are used, they shall be shown on the site plan.

N/A

32. A complete landscape planting plan identifying all landscape plantings by location, type and height. Where earth berms are used, their height and width shall be noted and a cross section of the berm included. Plant material sizes shall be noted on the site plan.

~~N/A~~ ✓

33. The location and type of all outdoor lighting by symbol denoting location or by a typical detail drawing of the lighting standard proposed, its lumination power, its height and color of standard, including a photometric layout of the site

✓ (though may not be applicable)

**Element to be included on
Site Plan**

**Checked by
Applicant**

- | | | | |
|-----|---|-------|------------------------|
| 34. | If a site is to be developed in phases each phase shall be clearly identified on the site plan. | _____ | _____ <u>N/A</u> _____ |
| 35. | This section is for Multiple Dwelling and Cluster Housing Developments. | | |
| a. | The maximum lot coverage of all buildings shown | _____ | _____ <u>N/A</u> _____ |
| b. | Formula for distances between buildings shown | _____ | _____ <u>N/A</u> _____ |
| c. | Site density computations including total number of dwelling units and number of bedrooms per unit. When development is in phases, the requirements for b. and c. above shall be shown for each phase. Each phase shall meet density requirements or an appropriate guarantee acceptable to the City shall be provided assuring that suitable open space shall be reserved and improved to meet density requirements for the phase under development. | _____ | _____ <u>N/A</u> _____ |
| 36. | The size, and location of any and all signs to be used on the site are clearly noted on the site plan. | _____ | _____ <u>N/A</u> _____ |

**Element to be included on
Site Plan**

**Checked by
Applicant**

- | | | | |
|-----|---|--|--|
| 37. | FOR NON-RESIDENTIAL USES | | |
| a. | Proposed use | | occupancy permitted |
| b. | Gross and net usable square footage of floor area | | d. Number of medical examining rooms, dental chairs, and square footage of waiting rooms or beds |
| c. | Seating capacity or maximum | | e. Number of employees in |

largest working shift

_____	N/A
_____	N/A
_____	N/A
_____	N/A
_____	N/A
_____	N/A
_____	N/A

I certify hereon that I have read and understand the above check list items and that those items that apply are included on the site plan submitted.



Signature of Applicant

1/12/20

Date

**SUMMARY OF FACTS
STARKWEATHER SCHOOL PUD AMENDMENT REQUEST**

The Starkweather School PUD has been approved for the re-purposing of the existing 1927 school house into a 22-unit apartment building with the excess land to be developed into 23 single family homes.

The Planning Commission approved the plan, which was subsequently approved by the City Council. The PUD includes excess property that was not originally part of the Starkweather School. An additional 1.2+/- acres was originally added to and included in the plan and as part of the approved PUD. This extra parcel ("Vacant Parcel") was purchased from the owners of 409 Plymouth Rd ("Parkview Properties"). Before the purchase/sale of the Vacant Parcel, a site plan was prepared for the Parkview Properties parcel to be sure that it retained enough area to meet the required minimum parking under the ordinance. In this case, that number is 59 parking spaces.

Parkview Properties was originally built in the 1950s, with a further addition in 1978, for a total building size of approximately 22,500 square feet. Christine Williams has owned the building since 2004.

As a longtime "resident" of the City of Plymouth, Parkview Properties is enjoying much success with the building's occupancy. The problem with its success is that it is finding the parking lot to be deficient for the tenants, despite meeting the ordinance minimum. Parkview Properties is desirous to add parking to its lot to accommodate its tenants' needs. For what it's worth, Curtis-Plymouth entered into a purchase agreement with Parkview Properties, to purchase its excess property for the inclusion into the PUD in July of 2014. The need for more parking arose as a result of their more recent success in occupancy, which we did not anticipate over 4 years ago.

Ms. Williams has asked Curtis-Plymouth LLC, as owners of the property and a party to the PUD, if Parkview Properties can expand their parking into this area to accommodate more parking. Curtis-Plymouth is willing to oblige and allow parking in this area. However, since the area requested for additional parking is now part of the PUD, we, through the Planning Department, have determined it necessary to request this Amendment to the PUD to allow this modification.

Given the fact that a PUD must provide a public benefit, we feel the same standard will or ought to apply for this request for an amendment.

The overall area is over the storm water retention and there is not much use for this land but as open space as well as proposed access to Hines Park, the latter being reserved for a time when Wayne County wishes to connect from its right of way.

The proposed area of encroachment for additional parking would cover 2,306.63 square feet of the current open area. To compensate for this, we, both Curtis-Plymouth and Parkview Properties, propose the following plan, which will enhance the current PUD and provide additional public benefit in the form of more open space:

1. Add 2,250 square feet of more open space area to the park by reducing the lot depth for lots 17, 18 & 19
 - a. These lots would be reduced by 15' in depth and still provide for large/oversized total lot area
 - b. As revised, these lots will still conform with the PUD site plan and provide large/oversize total area for each (Lot 17 - 7,829.62 s.f., Lot 18 - 7,778.99 s.f. and Lot 19 - 7,728.36 s.f.)

RECEIVED

FEB 17 2020

CITY OF PLYMOUTH
COMMUNITY DEVELOPMENT

**Starkweather School
PUD 15-01 550 N. Holbrook
PUD Amendment Review
PC Mtg 3/11/20**

- c. The area to be taken out of the lots and used as open space is adjacent to the current park area and will increase the open space, accordingly
2. To further compensate for the additional parking area requested (again, 2,306.63 square feet), Parkview will provide 3,362 additional square feet of its own property as open space for the benefit of the City.
 - a. This proposed area is almost 1.5 times the amount requested for additional parking
3. Lastly, Parkview will plant trees and shrubs in and around the park area as depicted on the attached plan. The plantings will include:
 - 10 8' HT Black Hills Spruce
 - 1 Honey Locust – 2.5" caliper
 - 6' HT (19 total) Arborvitae

The City of Plymouth has desired to have more trees planted within the City and this area can provide some small benefit for hopefully an equal burden for parking. If the City so desires, the trees can be of a species determined by the Planning Commission or any body it sees qualified. The location of the plantings may be changed by the City as well, even offsite, if the City so desires. We proposed planting of arbor vitae along the frontage adjacent to and in front of the proposed eight (8) parking spaces along the north end, will also serve to shield the vehicles and their lights from the proposed neighboring home. However, a fence would work if the City prefers.

We are open to further comment and suggestions to the Commission as it deems appropriate in an effort to accomplish this request.

TRANSMITTAL SHEET

Anthony S. Nestor, P.E.
1071 Thorn Ridge Drive
Howell, Mi 48843
Phone: 810-217-9156

Date: 12-4-19	Number of pages (w/ cover) 1
To: Gus Haengel – Haengel & Associates LLC, Mi.	From: Anthony Nestor, P.E.
Regarding: Soil testing – Density and materials for backfill over existing CMP UDS Existing system. Starkweather Site in Plymouth, Mi. 409 Plymouth Drive- Plymouth, Mi.	

Gus:

As discussed, I have a customer - Curtis Builders – (Good guys – They pay their bills- & I have worked with them for years)) that has a recently installed UDS system (7-2019) originally planned as a greenbelt area.

They want to verify if this can be transformed into a parking area.

This engineering scope of work is soils and geotechnical related only as civil engineering will be completed by others.

As you know, engineered granular soils can act as both backfill support for a CMP pipe and support a parking lot. The proposed location over the “Dog-Leg” portion of the system (west of outlet manhole No. 2.)

Area of hatching on page 2 shows the approximate location of the proposed parking lot.

The basis of this engineering study is to conclude that suitable granular soils exists around the UDS system and compaction was (or can) be obtained (Or in those areas “May be obtained by typical means”).

This is for our friends at Wayne County Permit Office, so you will have to seal the final report.

Data included;

A layout and CMP UDS that was installed in July of 2019 – See page 2 of 4 for address of site. This design was approved and permitted by Wayne County Permit office. The UDS system consists of 12 gauge Aluminized Type II coated 114 inch diameter CMP as shown on page 3 as page 4 shows typical backfill materials of this attachment.

RECEIVED

FEB 17 2020

HAB - Soil Inspection - Starkweather of Plymouth MP + required engineering design - 12-04-19

CITY OF PLYMOUTH
COMMUNITY DEVELOPMENT

**Starkweather School
PUD 15-01 550 N. Holbrook
PUD Amendment Review
PC Mtg 3/11/20**

Design Inputs - The amount of soil cover over the system was designed to vary between 3.5 feet (NW end) to 2.0 feet of soil cover (Outlet manhole).

Minimum cover over 114 inch CMP UDS should be around 24 inches for HS-20 loading assuming no rutting.

Included are 2 pages from the shop drawings showing backfill specification which generally consisted using 6-A-stone to spring-line, placing non-woven fabric and placement of MDOT Class II sand compacted to subgrade elevation.

FYI - Wade Trim's inspector was on site during backfill operations so they may have some data.

Engineering Scope of work;

Site visit - Verify 2 risers of west end of dog leg from enclosed drawings (We can send more drawings if you need them).

Verify the location of the pipe runs - Hand drill to top of pipe - verify and classify soil types.

Excavate to the top of the CMP pipe to verify location - Offset risers will do the same thing.

Take x number of in place soil density readings I.E. such as Dynamic Cone Penetrometers (DCP) values along the pipe length (I.E. 1 per 50 foot) - DO NOT PENETRATE ROD INTO CMP PIPE. VERIFY LOCATION AND DEPTH FIRST!

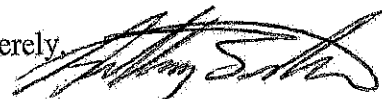
Document & locate the DCP with soil description results and conclude an "in-place" density of the soils from the DCP results.

Document soil types, strengths in soil density and requirements (If required) to provide an adequate parking lot subgrade envelope.

Final report to be used for submission and use by the Civil Engineer & Wayne County.

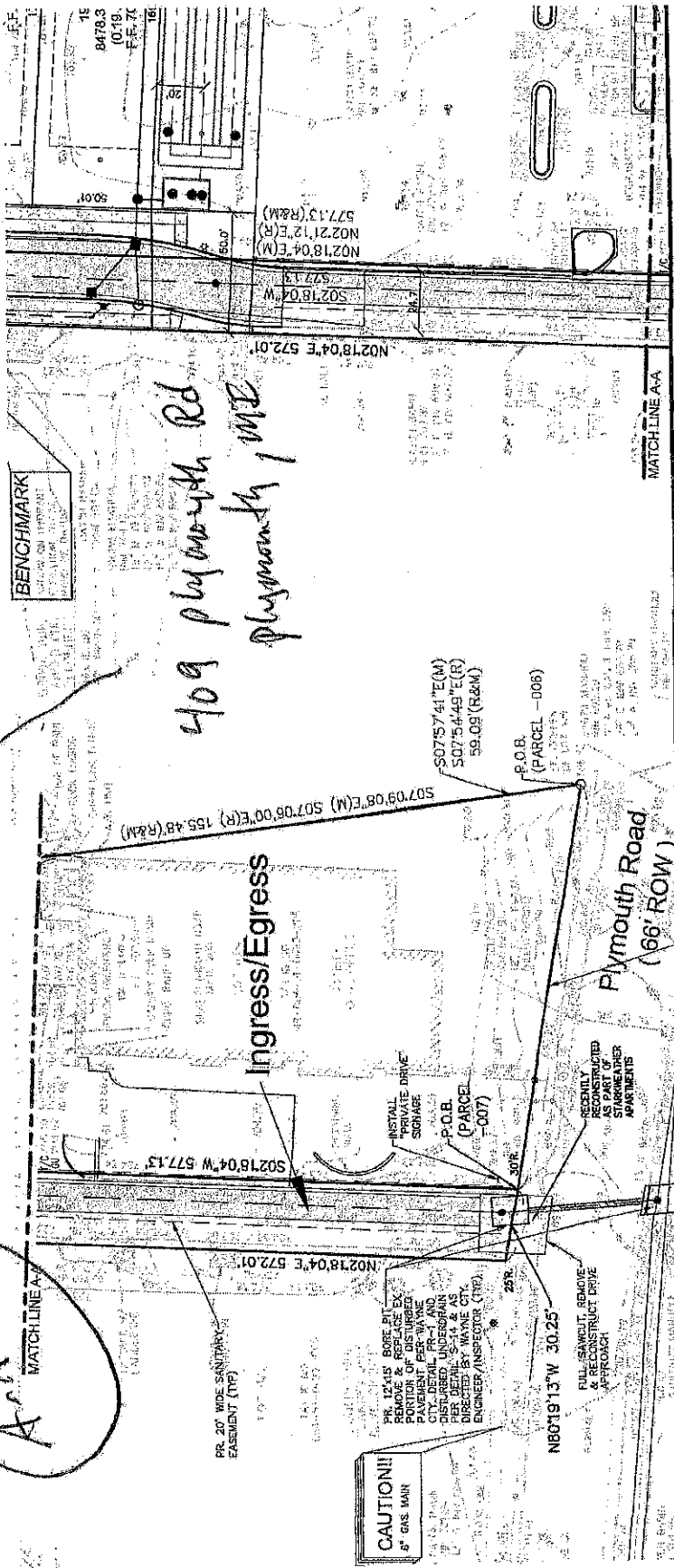
Send me your scope of work for my review and then you can work directly with the customer as I can assist. Thanks again & please contact me at (810) 217-9156 if you have additional questions regarding this subject.

Sincerely,



Anthony S. Nestor, P.E.

Enclosures - Pages 1 - 4 - Location plan - Portion C-4 "Dog Leg" UDS location, UDS Drawing C-1 & Soil Backfill drawing C-2.



AA

BENCHMARK

409 Plymouth Rd
Plymouth, ME

Ingress/Egress

Plymouth Road
(66' ROW)

CAUTION!!
8" GAS MAIN

NO.	DESCRIPTION
1	PRECAST CONCRETE CAP M/F REVEAL
2	8" x 8" x 16" CON. CORE MORTARED IN PLACE
3	PROPOSED VENEER BRICK COLOR AND PATTERN TO MATCH PROPOSED BUILDING FACADE
4	CONTINUOUS REINFORCEMENT AS REQUIRED PER MAISON
5	8" WIDE AGGREGATE BACKFILL
6	FINISH BRICKLAYMAN
7	CONTINUOUS 12" WIDE CONCRETE FOOTING TO BE REINFORCED AS REQUIRED
8	UNDISTURBED SUBGRADE

1. DETAIL

MATCHLINE A-A

P.O.B. (PARCEL - 006)

S0757'41"E(M)
S0756'449"E(R)
59.08'(R&M)

P.O.B. (PARCEL - 007)

S0709'08"E(M) S0708'00"E(R) 155.48'(R&M)

N0218'04"E 572.01'

S0218'04"W 577.13'

N0218'04"E(M)
S0218'04"E(R)
577.13'(R&M)

S0218'04"W
577.13'

N0218'04"E 572.01'

15
8478.3
(0.19)
F.F. 71

50.01'

50.01'

50.01'

50.01'

50.01'

50.01'

50.01'

50.01'

50.01'

50.01'

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50.01'

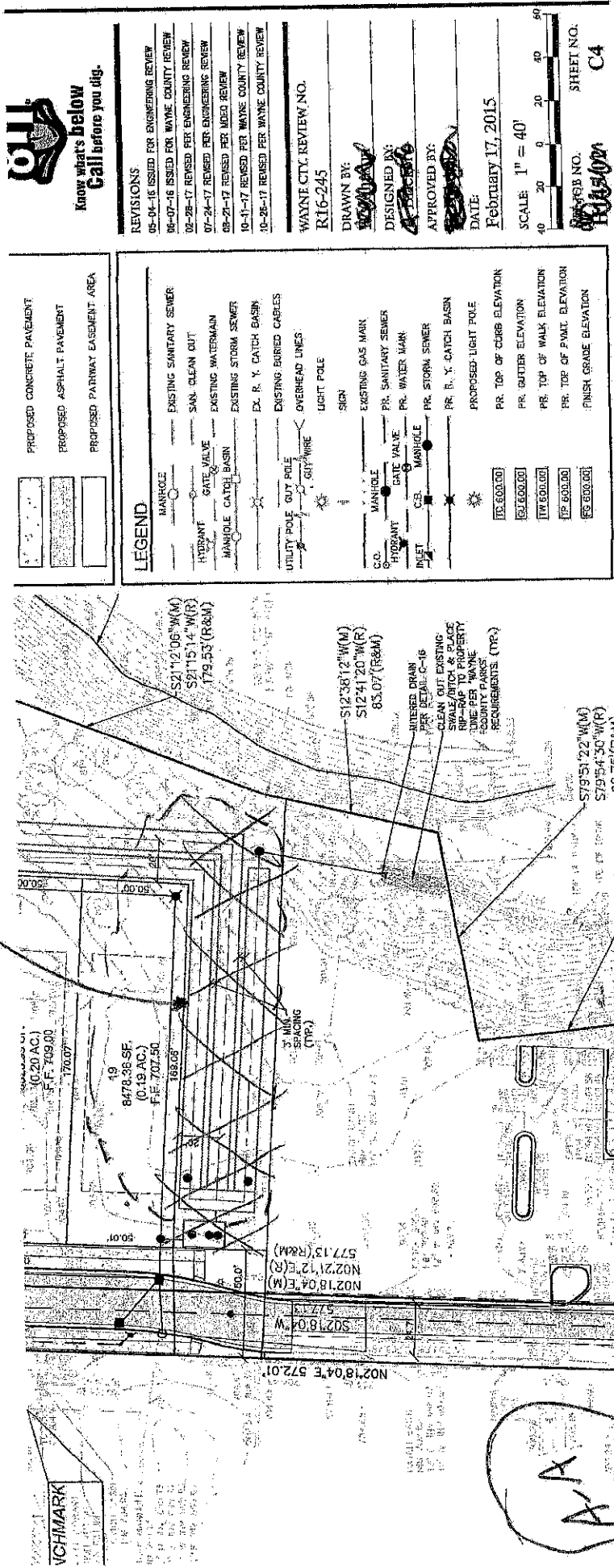
50.01'

50.01'

50.01'

89416

Area of Investigation



PROPOSED CONCRETE, PAVEMENT
 PROPOSED ASPHALT PAVEMENT
 PROPOSED PARKWAY EASEMENT AREA

LEGEND

MANHOLE	EXISTING SANITARY SEWER	PR. SANITARY SEWER	PR. TOP OF CURB ELEVATION
HYDRANT	SKAL CLEAN OUT	PR. WATER MARK	PR. BUTTER ELEVATION
GATE VALVE	EXISTING WATERMAIN	PR. STORM SEWER	PR. TOP OF FINISH GRADE ELEVATION
MANHOLE CATCH BASIN	EXISTING STORM SEWER	PR. E. Y. CATCH BASIN	
UTILITY POLE	EX. R. Y. CATCH BASIN	PROPOSED LIGHT POLE	
OUT POLE	EXISTING BURIED CABLES		
CITY WIRE	OVERHEAD LINES		
SIGN	LIGHT POLE		
EXISTING GAS MARK			
PR. MANHOLE			
PR. GAS VALVE			
PR. C.B. MANHOLE			
PR. INLET			
PR. PROPOSED LIGHT POLE			
PR. TOP OF CURB ELEVATION			
PR. BUTTER ELEVATION			
PR. TOP OF WALK ELEVATION			
PR. TOP OF FINISH GRADE ELEVATION			

REVISIONS

05-04-16	ISSUED FOR ENGINEERING REVIEW
06-07-16	ISSUED FOR WAYNE COUNTY REVIEW
02-28-17	REMOVED PER ENGINEERING REVIEW
07-24-17	REMOVED PER ENGINEERING REVIEW
08-21-17	REMOVED PER VIDEO REVIEW
10-11-17	REMOVED PER WAYNE COUNTY REVIEW
10-26-17	REMOVED PER WAYNE COUNTY REVIEW

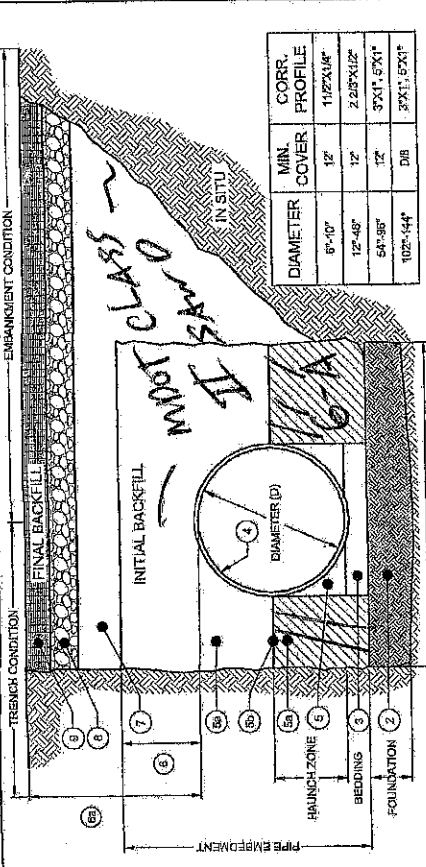
WAYNE CITY REVIEW NO.
 R16-245

DRAWN BY: *[Signature]*
 DESIGNED BY: *[Signature]*
 APPROVED BY: *[Signature]*
 DATE: February 17, 2015

SCALE: 1" = 40'
 SHEET NO. C4

A-A
 MATCH LINE

Pg 6/6



INITIAL FILL ENVELOPE (1) (2)

BACKFILL REQUIREMENTS FOLLOW THE GUIDELINES OF AASHTO LIFTED BRIDGE DESIGN (SEC. 13) AND CONSTRUCTION (SEC. 28).

MINIMUM TRENCH WIDTH MUST ALLOW ROOM FOR PROPER COMPACTION OF HAUNCH MATERIALS UNDER THE PIPE.

MINIMUM TRENCH WIDTH (12.6.6.1):
 PIPE ≤ 12": 2'-4" (1.0)
 PIPE > 12": 1.50 * D

MINIMUM EMBANKMENT WIDTH (12.6.6.2):
 PIPE ≤ 24": 3.0D
 PIPE 24" - 48": 1.50 * D + 4.0'
 PIPE > 48": 1.50 * D + 10.0'

2. BEDDING UNDER THE PIPE AND SIDE BACKFILL SHALL BE ADEQUATE TO SUPPORT THE LOADS ACTING UPON IT (26.6.2).

3. BEDDING MATERIAL SHALL BE A RELATIVELY LOOSE GRANULAR MATERIAL THAT IS ROUGHLY SHAPED TO FIT THE BOTTOM OF THE PIPE, AND A MINIMUM OF TWICE THE CORROGATION DEPTH IN THICKNESS, WITH THE MAXIMUM PARTICLE SIZE OF ONE-HALF OF THE CORROGATION DEPTH (26.6.3).

4. CORRUGATED STEEL PIPE (CSP) (PEL-COR), GAGE PER AASHTO SECTION 12 OR MDOT 2003 STANDARD SPECIFICATION FOR CONSTRUCTION.

5. HAUNCH ZONE MATERIAL SHALL BE HAND SHOVELED OR SHOVEL SUGED INTO PLACE TO ALLOW FOR PROPER COMPACTION (26.6.4).

5a. INITIAL BACKFILL FOR PIPE EMBEDMENT SHALL BE CRUSHED STONE ANGBULAR FILL, SUCH AS #5, #57, #60#6A, #3, #36, #46, OR APPROVED EQUIV., COMPACTED TO 90% STANDARD PROCTOR (1-99).

5b. GEOTEXTILE SHOULD BE CONSIDERED FOR USE TO PREVENT SOIL MIGRATION INTO VARYING SOIL TYPES (PROJECT ENGINEER).

5c. BACKFILL PLACED ABOVE THE SPRINGLINE TO MEET AASHTO A-3, MDOT CLASS B SAND OR AS APPROVED BY THE ENGINEER, COMPACTED TO 90% STANDARD PROCTOR (1-99). MAXIMUM PARTICLE SIZE SHALL EXCEED 2" (12.6.4.2). ALL LIFTS PLACED IN A CONTROLLED MANNER. IT IS RECOMMENDED THAT THE PIPE BE UNCOMPACTED TO PREVENT UNEVEN LOADING, AND THE LESSER OF 1/3 THE DIAMETER OR 24" AS THE MAXIMUM DIFFERENTIAL SIDE-TO-SIDE (26.6.4).

5. INITIAL BACKFILL ABOVE PIPE MAY INCLUDE ROAD BASE MATERIAL (AND RIGID PAVEMENT IF APPLICABLE). SEE TABLE ABOVE.

5b. TOTAL HEIGHT OF COMPACTED COVER FOR CONVENTIONAL HIGHWAY (LOADS IS MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT) (12.6.6.5).

7. MDOT CLASS II SAND PLACED IN 6" LIFTS, COMPACTED TO 90% STANDARD PROCTOR (1-99).

8. GRANULAR ROAD BASE (MDOT 21-AA OR EQUIV.).

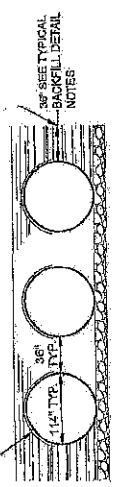
8. RIGID OR FLEXIBLE PAVEMENT.

NOTE:
 FOR MULTIPLE BARREL INSTALLATIONS THE RECOMMENDED STANDARD SPACING BETWEEN PARALLEL PIPE RUNS SHALL BE PIPE DIA. BUT NO LESS THAN 12" OR 36" FOR PIPE DIAMETERS 72" AND LARGER. CONTRACT YOUR CONTACT REPRESENTATIVE FOR NONSTANDARD SPACING (TABLE C2.6.7.1).

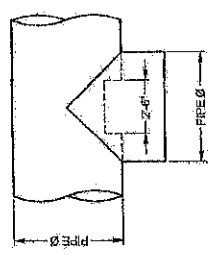
TYPICAL MICHIGAN DOT BACKFILL DETAIL
 NOT TO SCALE

114"Ø UNDERGROUND DETENTION SYSTEM - 513740-040
 STARKWEATHER-PLYMOUTH MI
 PLYMOUTH, MI
 SITE DESIGNATION: UDS

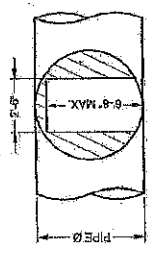
PROJECT NO.	513740	DATE	2/16/2018
DESIGNED BY	KAC	APPROVED BY	BER
DRAWN BY	KAC	DATE	
CHECKED BY	KAC	DATE	
SHEET NO.	C2 OF 5		



SEE TYPICAL BACKFILL DETAIL NOTES



PLAN



FRONT

80% TO 144" FITTING REINFORCEMENT MAY BE REQUIRED BASED ON HEIGHT OF COVER AND LIVE LOAD CONDITION

TYPICAL MAINWAY DETAIL
 NOT TO SCALE

CONTECH
 ENGINEERED SOLUTIONS LLC
 www.conteches.com
 7037 Ridge Road, Huntley, MD 21086
 888-794-3318 410-785-8695 888-376-3811 FAX

CONTECH
 CMP DETENTION SYSTEMS
 CONTRACT DRAWING

REVISION	DATE	DESCRIPTION



Carlisle | Wortman

ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

MEMORANDUM

TO: City of Plymouth Planning Commission

FROM: Sally M. Elmiger, AICP, LEED AP

DATE: March 5, 2020

RE: Starkweather School PUD – Proposed Amendment

The applicant is requesting to extend the existing parking lot from the adjoining office property into the small park that is part of the Starkweather School PUD. The reason for the parking expansion is that the current use of the adjoining site -- while it meets ordinance requirements -- cannot accommodate the current number of vehicles for their tenants.

A similar amendment was requested in December 2018. The 2018 plans located the parking lot one-foot from the residential property line. At the Planning Commission meeting, the applicant made verbal changes to the plan, including adding 2,300 s.f. to the park from the rear of Lots #17, #18 and #19. The Planning Commission discussed the proposal, but a motion to approve the change failed. At this meeting, it was suggested that expanding the adjacent parking into this site could be acceptable if Lot #19 were eliminated and made into a park.

This set of plans shows locating eight (8) parking spaces in the PUD park. A concrete sidewalk directs pedestrians from the sidewalk along the street, past the new parking spaces, and into the remaining green space. The plans also shorten Lots #17, #18, and #19 by 15-feet, and add this area to the park at the rear of the lots. The plans also add 3,362 square feet of steep slopes (16%) east of the parking lot to the PUD park.

PUD Eligibility

The small park (and public access to Hines Drive) at the southeast corner of the site was offered by the applicant as two of three public benefits to justify the Planned Unit Development treatment. The narrative provided by the applicant in response to the PUD criteria (received by the City on May 1, 2015) states the following:

Criteria 1: Grant of the planned unit development will result in one (1) of the following:

- a. **A recognizable and material benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved without application of the planned unit development regulations;**

APPLICANT’S RESPONSE: Our proposal includes 3 benefits: 1) preservation of the Starkweather School and to repurpose it as a multi-family building; 2) a pledge to provide a public access, either on or off site, to connect to Hines Drive; and 3) improve a small park on the east side of the proposed development.

The Planning Commission approved this as part of the “PUD Eligibility.”

Final Site Plan Approval

At the August 12, 2015 Planning Commission meeting, the Planning Commission granted Final Site Plan Approval, conditioned upon the applicant supplying a number of informational items on the site plan that would be reviewed administratively by the City’s staff and consultants.

One item related to the small park was described as follows:

The easement for the sidewalk/bike path connection to Hines Park added to the underground detention area.

The detention area is shown in the small park, and has been installed. The 20-foot wide easement is not shown on plans. However, a 20-foot dimension is provided. We assume that this is illustrating that there is 20-feet of space allocated for pedestrian movements (comprised of a 7-foot wide concrete sidewalk segment, and 13-feet of open space adjacent to the new parking spaces).

PUD Agreement

Once the PUD received Final Site Plan approval, the project was sent to the City Commission, who approved the project along with a PUD Agreement. The agreement identifies “underground storm retention, which will include open space” as an element of the project.

PUD Ordinance

Per Section 78-318 of the Zoning Ordinance, a change in land use which is different than land uses previously approved in the PUD shall be re-submitted to the Planning Commission, and a new public hearing shall be required.

The proposed land use change is reducing the park and eliminating the access easement, and replacing them with a parking lot.

Carlisle/Wortman Comments

We have the following comments regarding this request:

1. The PUD is to develop multi-family and single-family residential units on this site. A parking lot extension to serve the adjoining office use is not consistent with the overall plan concept or intent.
2. The park constitutes one of the three public benefits that the Planning Commission used to determine PUD Eligibility. This proposal reduces/eliminates two of them.
 - It reduces the “usable” part of the park.

- The space from the rear of the lots is not visible from the street, and in our opinion, isn't as safe for children's use.
- The space on the east side of the existing parking lot has slopes of 16% and isn't usable.

We consider the park as approved is integral to the PUD plan, and an important component to justify the deviations from the ordinance that this project was granted.

We consider an appropriate "land swap" would be to eliminate Lot #19 and use this property as the "park" approved as part of the PUD.

4. A second public benefit that will be eliminated by this proposal, which is a 20-foot easement across the park to establish a connection with Hines Park. While a sidewalk is shown next to the proposed parking spaces, it ends when the parking lot ends. The easement needs to extend to the edge of the property, if retained.
5. Regarding the proposed parking lot:
 - a. The proposed parking lot is located on top of the stormwater structure. The applicant states in their narrative that they will plant trees along the adjacent property line (Lot #19) to screen the parking lot from Lot #19. This isn't possible, as trees can't be planted on top of this underground stormwater structure.
 - b. In addition, the parking spaces are only 18-feet long (vs. the required 20-feet). The lot needs to be shifted two-feet to the north to meet the minimum 20-foot length. This action will then reduce the access easement by two-feet.
 - c. The ordinance requires an obscuring wall when a parking lot abuts a residential district. No wall is shown. Also, it appears that the stormwater structure is right up against the property line (with Lot #19), making not space to install footings for a wall.
 - d. This new section of parking would most likely require additional lighting. This would impact the residential neighbor.
6. The application includes a request for proposal from an engineer to determine if the soils over the underground stormwater structure is sufficient to support a parking lot. No information or opinion about whether this can be accomplished has been provided. Also, Wayne County will need to approve any parking lot construction over the underground structures.
7. Has the adjacent property owner investigated what it will take to construct the parking spaces to the east of their existing parking lot? While slopes exist over approximately 650 square feet, there is plenty of space to install more parking spaces.

In summary, constructing a parking lot to serve the adjoining property is not consistent with the overall concept or intent of this residential PUD. The Planning Commission approved deviations from the ordinance in exchange for public benefits. With this proposal, two of the three benefits offered by this project will be reduced and/or eliminated.

We consider the park an integral and important element of the PUD, both for eligibility purposes and to provide common open space to the residential homes that will occupy the site. The park as currently configured has usable space that is easily accessible and visible from the street. It is the only green space offered by the PUD, and it is the location of the access easement to Hines Park. It also provides a buffer

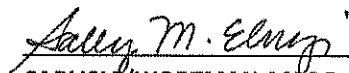
between a residential use and a very large parking lot. Also, the park was to be “improved” as indicated in the applicant’s narrative.

In our opinion, constructing a parking lot here would:

1. Be wholly inconsistent with the residential PUD concept and intent.
2. Essentially eliminate two of the three public benefits of the PUD eligibility (that were offered in exchange for ordinance deviations). The space to the east would not be safely accessible by children, and is not usable at a 16% slope.
3. Eliminate the buffer between this development and the large parking lot to the south, placing the edge of a large parking lot, along with needed lighting, close to the adjacent home.
4. The proposed parking lot is not in compliance with the zoning ordinance. It doesn’t provide a sufficient buffer, sufficient space length, the ability to install a screen wall, and will negatively impact the neighboring home with lighting, and possibly noise.
5. Whether Wayne County will approve a parking lot over the underground stormwater structure is unknown. Also, the applicant has not provided any definitive engineering analysis to confirm that this can actually be accomplished.

For these reasons, we do not recommend amending the PUD to accommodate a parking lot on this site.

If the applicant were to eliminate Lot #19 and make this space into a park in exchange for expanded parking into the current park area, we would consider this to be a more balanced exchange. Lot #19 is usable as a park, visible from the street, and would offer this residential neighborhood a viable open/gathering space.



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